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**AGENDA**  
**PLANNING AND ZONING COMMISSION MEETING**  
**CITY OF CREVE COEUR, MISSOURI**  
**MONDAY, NOVEMBER 7, 2011**  
**7:00 PM**

**1. ROLL CALL**

Mr. Michael Barton  
Mr. Gary Eberhardt  
Mr. James Faron  
Mr. Ken Howard  
Ms. Cynthia Kramer  
Mr. Tim Madden  
Mr. Jim Schnarr  
Mr. Carl Lumley, City Attorney  
Mr. Paul Langdon, AICP, Director of Community Development  
Ms. Whitney Kelly, AICP, City Planner  
Ms. Julie Lowery, Recording Secretary

Pursuant to Section 610.022 RSMO, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or confidential or privileged communications with the City Attorneys as provided under Section 610.021(1)RSMO or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

*Special disabled service may be arranged by contacting the Office of the City Administrator in advance.*

**2. ADDITIONS TO – ACCEPTANCE OF THE AGENDA**

**3. APPROVAL OF MINUTES**

**A. Draft minutes from October 17, 2011 meeting.**

**4. PUBLIC COMMENT**

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

5. **UNFINISHED BUSINESS**

None

6. **NEW BUSINESS**

**A. PUBLIC HEARING**

**Application #11-028: Request to amend a conditional use permit to allow for Sunday hours of operation for the Valvoline Instant Oil Change at 11333 Olive Boulevard. Staff recommends repealing Ordinances numbers 1074, 1594, and 1694, and replace with a new conditional use permit.**

Applicant/Agent: Jason Coil  
Area Manager  
Valvoline Instant Oil Change  
3499 Blaser Parkway  
Lexington, KY 40509

**B. Application # 11-029 Request for review and approval, per Chapter 89 of the Missouri Revised Statutes, of the replacement of sidewalks at the Government Center to be compliant with current ADA standards.**

Applicant/Agent: Jim Heines  
Director of Public Works

7. **WORK AGENDA**

None

8. **OTHER BUSINESS**

- A. Planning Division Report**
- B. City Attorney Report**

9. **ADJOURNMENT**



**CITY OF CREVE COEUR - MINUTES  
PLANNING AND ZONING COMMISSION MEETING  
MONDAY, OCTOBER 17, 2011  
7:00 P.M.**

A public hearing and regular meeting of the Planning and Zoning Commission of the City of Creve Coeur, Missouri was held on Monday, October 3, 2011, at the Creve Coeur Government Center, 300 North New Ballas Road. Chair Tim Madden called the meeting to order at 7:00 p.m.

**MEMBERS PRESENT:**    *Mr. Timothy Madden, Chair*  
                                  *Mr. Gary Eberhardt*  
                                  *Mr. James Faron*  
                                  *Mr. Jim Schnarr*  
                                  *Mr. Ken Howard*  
                                  *Dr. Michael Barton*

**OTHERS PRESENT:**    *Mr. Carl Lumley, City Attorney*  
                                  *Mr. Paul Langdon, Director of Community Development*  
                                  *Ms. Whitney Kelly, City Planner*  
                                  *Ms. Julie Lowery, Recording Secretary*

**2.    ADDITIONS TO – ACCEPTANCE OF THE AGENDA**

The Agenda was accepted as written.

**3.    APPROVAL OF MINUTES**

**Draft Minutes of October 3, 2011**

Mr. Eberhardt moved approval of the draft minutes as written which carried unanimously.

**4.    PUBLIC COMMENT**

None

**5.    UNFINISHED BUSINESS**

None

**6.    NEW BUSINESS**

- A.    Application #11-027 for rezoning from “C” Single-Family Residential to “GC” General Commercial and Site Development Plan approval for the property located at 11122 Olive Boulevard for use as a Goddard School for Early Childhood Development.**

Applicant/Agent: Andrew Brown  
Brownstone Properties, LLC  
635 Trade Center Boulevard  
Chesterfield, MO 63005

Applicant's Representative:  
Ed Griesedieck, III  
Herzog Crebs, Attorneys At Law  
100 North Broadway, 14<sup>th</sup> Floor  
Saint Louis, MO 63102-2728

### **Start of Public Hearing**

#### **Applicant's Presentation:**

Mr. Ed Griesedieck, representing Andrew Brown, of Brownstone Properties, presented a request to rezone 11122 Olive Boulevard (formerly Rose Hill Masonic Temple) from "C" Single Family Residential District to "GC" General Commercial District, for the use as a Goddard School for Early Childhood Development. The Goddard School is a child daycare with an educational component, addressing the market from infant to five (5) year old children. The property is located on 1.544 acres. The request and the use is consistent with the City's Comprehensive Plan for the area and the surrounding uses are either zoned commercial or they are used commercially along Olive. The building on the property is currently vacant and the use is consistent with the Comprehensive Plan. The rezoning from Single Family to General Commercial is called "neighborhood oriented commercial use". The applicant has proposed significant interior and exterior improvements, with unique and distinct architecture. Some of the exterior changes are inserting windows in the front of the building, working on the roof line, and adding some roofs to add dynamics and aesthetics. There is also a green area along Olive with proposed trees and plantings. There is parking in the front of the building as well as the back. The hours of operation are 6:30am-6:00pm, Monday through Friday.

Mr. Griesedieck stated that there is no change to lighting or the existing trees, just adding some trees and new landscape, which are proposed to be maintained by sprinkler systems. The trash receptacle will be placed in the rear of the site, as required and will be built of materials consistent with the building.

Mr. Griesedieck observed that there is an existing 5 foot sidewalk that runs all the way along Olive; on both sides it is adjacent to the road. He indicated that staff recommends that the sidewalk be moved back and have a 3 foot greenspace next to Olive and remove the 5 foot sidewalk and put in a 6 foot sidewalk. Brown Properties would like to leave the existing sidewalk in place as they feel they are already spending a significant amount of money on many other things to make the building and site more attractive.

Mr. Griesedieck further stated that the signage will be per City code. The building already has full access going around the parcel, which is going to be maintained by Brown Properties, and have received verbal approval from the fire department. The building previously had both a west access and an east access. Brown Properties would like to close the west access point and instead of having one lane in, there would be three (3) lanes in, towards the building, extending on the east side. The applicant feels that by closing the

access point, safety is improved. Also, by not being a school, there are soft start and stop times, so there is not an influx of traffic, due to the children being dropped off over a three hour time span, so they do not feel there will be any significant traffic concerns on Olive.

Comments or questions from Commission members:

Chairman Madden wanted to know if there was parking being taken out for playgrounds. Mr. Griesedieck replied that they would be taking out the parking directly behind the building and put in two playgrounds which are fenced in and only accessible from the building. Chairman Madden also inquired on the number of children that will be attending on average, and Mr. Griesedieck responded around 150 children from ages, infant to 5 years old.

Mr. Eberhardt questioned what the staff report says in regards to the sidewalks, as opposed to what Mr. Griesedieck proposed. Mr. Griesedieck replied that the staff requests within the front 15 feet, a 6 foot wide sidewalk with landscaping is being recommended by staff. Mr. Eberhardt then questioned the greenspace proposal. Mr. Griesedieck then went on to explain the requirements of the City. Mr. Eberhardt asked for more explanation of what the staff proposed for the sidewalk requirements. Ms. Kelly, City Planner, spoke to address the sidewalk questions. Ms. Kelly stated that the Pedestrian Plan called for a 15 foot street corridor, so it is a minimum of 3 feet, and then 6 foot of landscape with trees in between the street and sidewalk, but the minimum of all of that being 15 feet. There is a condition of the ordinance that would be approved by Missouri Department of Transportation (MoDOT). Ms. Kelly also pointed out, that even if MoDOT does not want the street trees on the curb side of the sidewalk, there should be enough landscaping on the opposite side to provide those street trees. Mr. Faron expressed his concern why the applicant would not want to do what staff recommended. Mr. Faron also stated that it would set a precedent going forward for other developers. Mr. Griesedieck responded that they prefer the appearance of the sidewalk adjacent to the road, that the children will not be walking along Olive, and with the limited amount of space they feel they are working with, that aesthetics will be lost if they do as staff recommends. Dr. Barton agreed with Mr. Faron's point, that it would set a negative precedent.

Comments and questions from the audience:

Mr. Henry Klaus, 626 Graeser Road, stated that he and his wife walk this stretch of property quite often and that he does not agree with the staff's recommendations regarding the sidewalk because the properties slope downward too quickly.

Mr. Eberhardt asked Ms. Kelly about the maintenance of the existing buffers. Mr. Eberhardt wanted to know if it could be required to sprinkler and maintain the current buffers, and if existing trees were to die, they would be required to replace them with new trees. Ms. Kelly replied that there is a condition in the draft ordinance that would require dead trees be replaced and removed, per the plan, but there is no requirement that the existing buffer needs to be sprinkled, only that it be maintained.

After more discussion the Commission agreed to leave it up to staff's discretion to determine specifics on the landscaping/buffers and sidewalk plans.

Mr. Caldwell, 257 Brooktrail Court, wanted to know if we could allow the use of the building for what the applicant proposed, but if the zoning could remain "C" Single Family

Residential. Ms. Kelly replied that schools and daycares are conditional uses within residential districts, but they require a minimum of 3 acres and this particular building sits on a 1.544 acre, and it is on Olive Boulevard.

There being no further comments, the City Attorney, Mr. Lumley, presented the exhibits for the record and the public hearing was closed.

**(This ends the Public Hearing; see verbatim transcript for further information)**

No further comments and questions from the audience or the Commission.

There being no further comments, the motion was made by Mr. Faron to approve the rezoning and site development plan attached to the staff report on application #11-027, subject to the conditions contained in the draft ordinance attached to the staff report dated October 14, 2011, with conditions that the Planning Director will make the final say on the landscape plan and the sidewalk plan. Mr. Eberhardt seconded the motion with the resultant vote as follows:

Mr. Faron – aye  
Mr. Schnarr – aye

Mr. Eberhardt – aye  
Dr. Barton – aye

Chair – aye  
Mr. Howard - aye

**7. WORK AGENDA**

None

**8. OTHER BUSINESS**

**A. Planning Division Report**

Mr. Langdon stated there will be a Public Hearing at the next meeting, November 7, 2011, on a request to allow Valvoline to have operating hours on Sundays. Mr. Langdon also reported that they are moving closer to being able to present a draft of the Downtown zoning.

**B. City Attorney Report**

None

**9. ADJOURNMENT**

There being no further business to come before the Planning and Zoning Commission, upon motion being made and duly seconded, the meeting was adjourned at 8:00 p.m.

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*Timothy Madden, Chair*

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*Julie Lowery, Recording Secretary*



# city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141  
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966  
www.creve-coeur.org

**APPLICATION TO PLANNING AND ZONING COMMISSION  
#11-028 TO REPEAL ORDINANCE NUMBERS 1074, 1594, AND 1694 AND  
REPLACE WITH A NEW CONDITIONAL USE PERMIT FOR VALVOLINE  
INSTANT OIL CHANGE SERVICE STATION LOCATED  
AT 11333 OLIVE BOULEVARD**

**FOR THE MEETING OF:** November 7, 2011

**LOCATION:** 11333 Olive Boulevard

**REQUEST:**

Jason Coil, Area Manager for Valvoline Instant Oil Change, has submitted a request to amend the conditional use permit to include Sunday hours of operation from 9 AM to 5 PM. The property is located at 11333 Olive Boulevard, on the northside of Olive Boulevard, east of Craig Road and west of Park West Drive, and is currently zoned "CB" Core Business District. Current hours of operation are limited to 8:00 AM to 7:00 PM, Monday through Friday, and 8:00 AM to 6:00 PM, Saturday.

**ADDITIONAL INFORMATION:**

Gasoline Service Stations, which include automobile service stations, are a Conditional Use in the "CB" Core Business District. Valvoline's original Conditional Use Permit was issued in 1984 (Ordinance # 1074), amended in 1993 (Ordinance # 1594), and in 1995 (Ordinance # 1694). Staff recommends repealing all of the previous ordinances and replacing with a new ordinance.

**Key Issues:**

- Does the request integrate with the existing permitted use?
- Does the request further the goals and/or implement the Comprehensive Plan?

**Comp. Plan References**

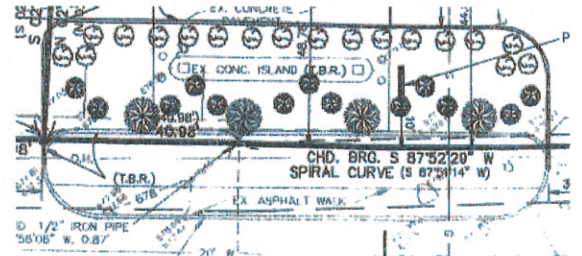
- Central Business District
- Design Guidelines: Landscaping

**Zoning Code References**

- Section 405.120 Definition of Terms
- Section 405.370 "CB" Core Business District
- Section 405.470 Conditional Uses

**APPLICANTS:** Jason Coil  
Area Manager  
Valvoline Instant Oil Change  
3499 Blaser Parkway  
Lexington, KY 40509

**OWNER:** Noles Peoperties  
Dorsett 270, LLC  
11361 Olive Blvd  
Creve Coeur, MO 63141



**REPORT PREPARED BY:**

*Whitney Kelly*  
Whitney Kelly, AICP, City Planner

11/4/2011

Date

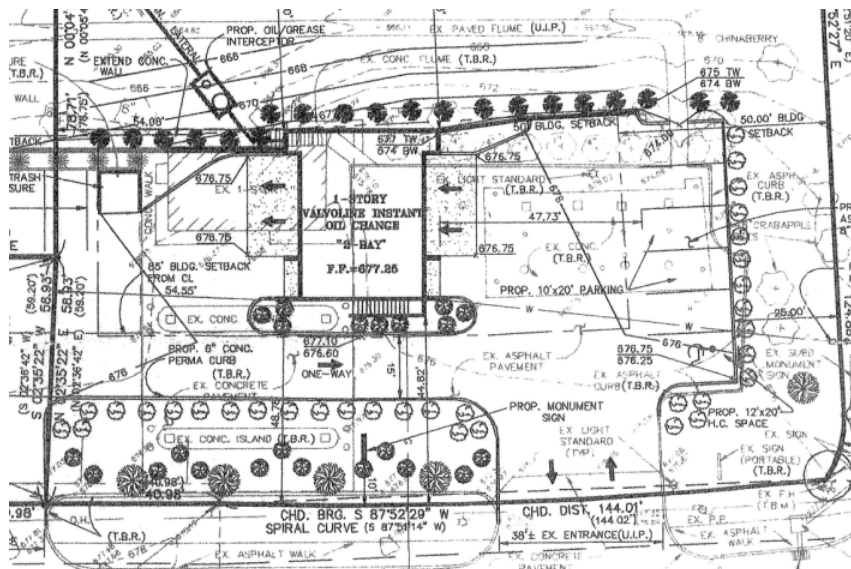
**ATTACHMENTS:** Draft Ordinance  
Ordinance Nos. 1074, 1594, and 1694

Jason Coil, Area Manager for Valvoline Instant Oil Change, has submitted a request to amend the conditional use permit to include Sunday hours of operation from 9 AM to 5 PM. The property is located at 11333 Olive Boulevard, on the northside of Olive Boulevard, east of Craig Road and west of Park West Drive, and is currently zoned “CB” Core Business District. Current hours of operation are limited to 8:00 AM to 7:00 PM, Monday through Friday, and 8:00 AM to 6:00 PM, Saturday. No changes to the building or site are being proposed.

**GASOLINE SERVICE STATION:** A use primarily for supplying gasoline, oil, air and water, tires, accessories and services for motor vehicles at direct retail to the consumer including the incidental washing of motor vehicles and the making of minor repairs, but not including such major repairs as: spray painting, body, fender, clutch, transmission, differential, axle, spring and frame repairs; major overhauling of engines or radiators, requiring removal thereof or recapping or retreading of tires.

In 1984, the City Council approved a conditional use permit for a service station at 11333 Olive Boulevard that included the hours of operation of 6:00 AM to midnight, seven days per week (Ordinance #1074).

In 1993, the CUP was amended (Ordinance #1594) to allow for minor automobile servicing for oil changes, transmission fluid changes and minor parts replacement, and site development plan for the construction of the two-bay oil change facility as a Valvoline Instant Oil Change. The conditions of approval included a requirement that a final detailed landscape plan must be reviewed and approved by the Creve Coeur Planning and Zoning Commission. The hours of operation were limited to 8:00 AM to 6:00 PM, Monday through Saturday. The final Site Development Plan, including landscaping, received approval from the Planning and Zoning Commission on December 20, 1993. A detail of the site development plan landscaping is below:



In 1995, Valvoline amended the CUP (Ordinance # 1694) for additional operating hours limited to 8:00 AM to 7:00 PM Monday through Friday, and 8:00 AM to 6:00 PM Saturday. Sunday hours were requested, but not approved. Ordinance #1694 also required that a complete review of the detailed landscape plan shall be made and the landscaping shall be brought into conformance with the approved landscape plan. The approved plan was the same plan approved by Ordinance #1594.

In 2003, Valvoline Instant Oil Change, requested Sunday hours of operation from 10:00 AM to 5:00 PM, and again the site was deemed out of compliance with the approved site development plan regarding the landscaping. The request was denied at the Planning and Zoning Commission and the applicant withdrew prior to City Council review.

In February 2010, Valvoline received Planning and Zoning Commission approval for a minor Site Development for façade improvements and new signage to the building. This did not require a new ordinance and the landscape was not discussed

Given the number of ordinances that govern the site, and the potential confusion for the operator, the owner, and the City, Staff is recommending that the prior three ordinances be repealed and replaced with a new ordinance.

#### **LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The adjacent zoning and land uses are as follows:

| DIRECTION | USE              | ZONED                         | SEPARATED BY    |
|-----------|------------------|-------------------------------|-----------------|
| North     | Residences       | St. Louis Co. R-3 Residential | N/A             |
| South     | Office buildings | "CB Core Business             | Olive Boulevard |
| East      | Office buildings | "CB" Core Business            | Park West Drive |
| West      | Retail           | "CB" Core Business            | N/A             |

#### **COMPREHENSIVE PLAN REVIEW**

The subject property is located within the Central Business District that encourages a mix of uses, including retail, residential, government, and park uses. The applicant is not proposing any changes to the use or development of the site and building, and as a retail service, the use is in keeping with the Comprehensive Plan.

#### ***Design Guidelines***

The landscaping was recently removed and the site is no longer in compliance with the previous approved site development plan from 1993. Further, the previous plan no longer meets with the recommendations of the Design Guidelines. As shown above, the proposed landscaping in 1993 was very linear with straight rows of hedges. Chapter 4/Landscape Design states that The City of Creve Coeur strongly encourages high quality landscaping that accentuates the building and site, softens the effects of parking area and enhances the quality of life of the City. All landscape plans should exhibit a clear design concept. The building should be incorporated into the landscape design. Further, it is recommended that landscaped areas are to be maximized and balanced throughout the site. Tree and shrub plantings should be grouped together to create strong accent points with the site plan (page 16). Therefore Staff recommends that a condition of

approval include that the applicants submit a new landscape plan that meets or exceeds the recommendations of the Design Guidelines and the Comprehensive Plan.

#### **ZONING REVIEW**

Section 405.1070 Conditional Use Permits provides the Standards for approving Conditional Use Permits which are:

- E. Standards. The City Council shall not approve a conditional use unless it finds that the application and evidence presented clearly indicate that the proposed conditional use:
  - 1. Complies with all other applicable provisions of this Chapter including environmental performance standards presented in Section 405.550, the criteria in Section 405.470 and the standards of this Chapter in regard to yard and setback, parking and loading areas, screening and buffering, refuse, storage and service areas and signs.
  - 2. Will contribute to and promote the community welfare and convenience at the specific location.
  - 3. Will not cause substantial injury to the value of neighboring property.
  - 4. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation there from.
  - 5. Will provide, if applicable, erosion control and on-site stormwater detention in accordance with the standards contained in this Chapter.
  - 6. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

The applicant is not proposing any changes to the building or site, and is generally in conformance with requirements for a gasoline service station, except for the landscaping. Included in the condition for the hours of operation, Staff is recommending that the Zoning Administrator shall have authority to approve additional business hours without having to amend the Conditional Use Permit, similar to other businesses within the "CB" Core Business District.

#### *Landscaping*

As discussed earlier, Valvoline has removed the landscaping along Olive Boulevard as well as along the northside of the building, and thus, the site is out of compliance with the approved landscape plan from 1993, and with the goals and recommendations of the Comprehensive Plan. Due to the utility poles along Olive Boulevard, replacing the landscape to the prior approved plan would not be an option. Also, the 1993 Landscape Plan no longer represents the design aesthetic that the City would now expect.

Section 405.540(F) Design Standards for Landscape Plan states:

- 10. All landscaping shall be permanently maintained in good condition with at least the same quality and quantity of landscaping as initially approved. In order to present a healthy, neat and orderly appearance, all landscaped areas including interior parking lot islands and grass areas shall be provided with adequate irrigation for the maintenance of grass, shrubs, ground covering and other landscaping. An underground irrigation system shall be installed, operated and maintained to meet the intent of this Section. Such

systems shall be required for all new developments and redevelopments projects. For sites proposing additions and/or expansions, an underground irrigation system shall be installed, operated and maintained to meet the intent of this Section, where physically practical and reasonable, as determined by the Planning and Zoning Commission.

Therefore, Staff recommends that a conditional of approval include that the applicant submit a new landscape plan be submitted for Staff approval with substantially the same number of plantings as the prior approved plan, however the type and design of the materials may be altered, in order to meet or exceed the goals and objectives of the Comprehensive Plan and Design Guidelines. Also included is the requirement that an underground irrigation system be installed and maintained to serve new landscaped areas identified on the final approved landscape plan.

#### *Noise*

Section 405.550 (2) Noise of Environmental Performance Standards requirements that sound levels and impulsive type noises shall comply with the St. Louis County noise standards as established and enforced by the St. Louis County Noise Abatement Office of the Department of Community Health and Medical Care. Therefore, the draft ordinance includes a condition for approval that the service bay doors remain closed while service is underway to protect the residents to the north in the same manner as the recent requirements for similar uses in the "LI" Light Industrial District.

#### **FORM OF THE DRAFT ORDINANCE**

The draft ordinance is generally in keeping with the original ordinances with the added condition that the applicant submits a revised Landscape Plan for Staff approval. This and other conditions discussed within the staff report which are included in the draft ordinance include:

- This Conditional Use Permit shall be for the operation of an automobile service station located at 11333 Olive Boulevard.
- The hours of operation shall be: 8:00 a.m. to 7:00 p.m. Monday through Friday; 8:00 a.m. to 6:00 p.m. Saturday; and 9:00 a.m. to 5:00 p.m. Sunday.
- Additional business hours are permitted with the Zoning Administrator's approval.
- The applicant shall submit a landscape plan for approval by the Director of Community Development that shall consist of no less than the same number of plantings as the prior Site Development Plan dated December 20, 1993, approved by Ordinance #1594.
- Approval of the Landscape Plan shall be based on the conformance with the goals and objectives of the Comprehensive Plan and Design Guidelines.
- The site shall be maintained in accordance with the final approved Site Development Plan, and revised landscape plan required by this ordinance.
- An underground irrigation system shall be installed and maintained to serve new landscaped areas identified on the landscape plan.
- Service bay doors shall remain closed while service is underway.

#### **ACTION**

If the Planning and Zoning Commission finds the attached draft conditional use permit ordinance to be in conformance with the purposes and regulations of the Comprehensive Plan and Zoning

Code, it may vote on a recommendation to the City Council. Any changes to the draft ordinance should be discussed and made by separate actions.

**MOTION**

The following is an example of an appropriate motion for this application:

“I move to recommend approval of the Conditional Use Permit for Valvoline Instant Oil Change submitted with Application #11-028, subject to the conditions contained in the draft ordinance attached to the staff report dated November 4, 2011” (conditions may be added, eliminated, or modified by preceding motion).

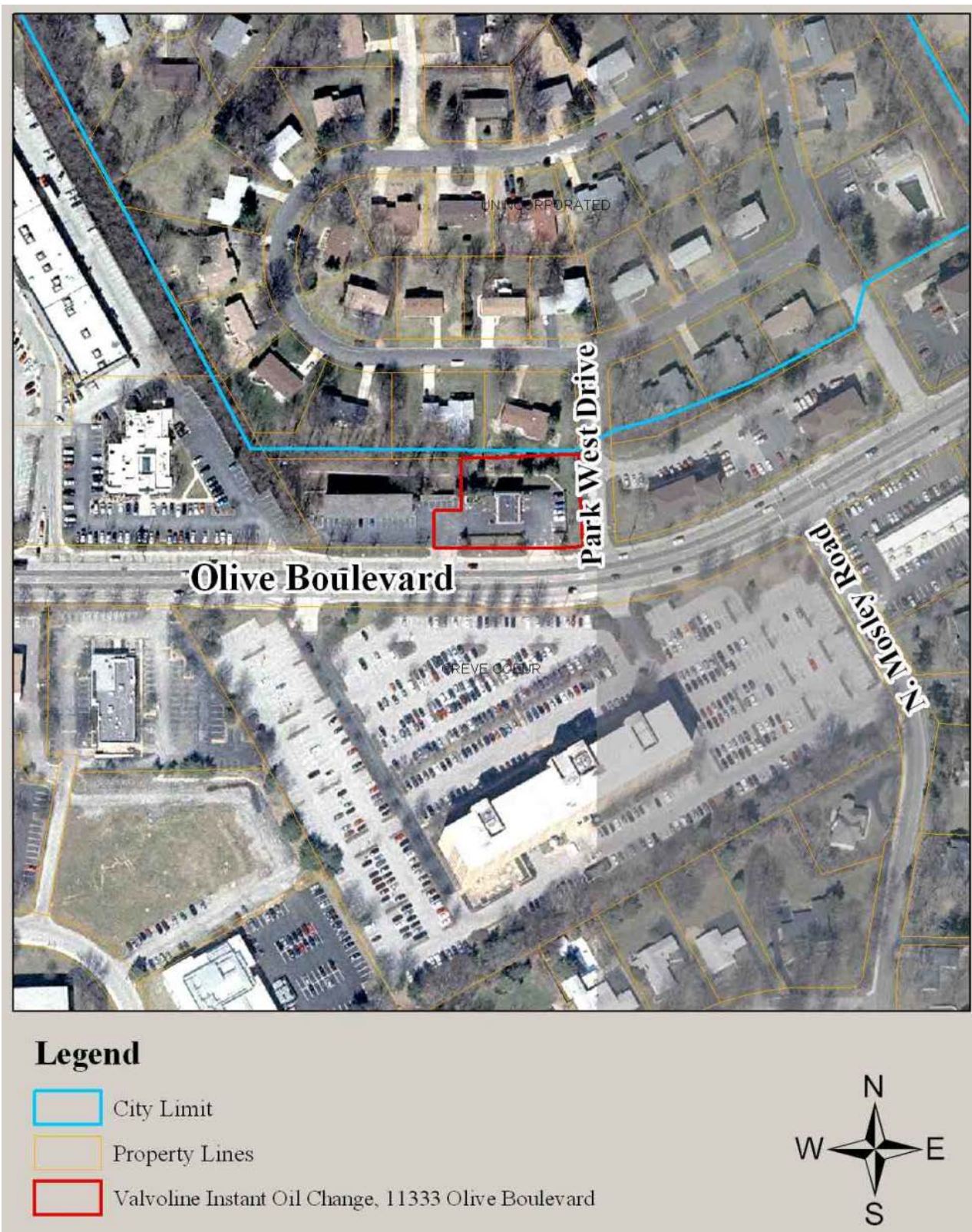
**APPENDIX 1: COMPREHENSIVE PLAN**

Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 2: ZONING CODE**

Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 3: AERIAL MAP**



**APPENDIX 4: SITE PHOTOGRAPHS**

Photo Date: 10/28/2011 & 11/2/2011



Description: View of the property from the west entrance looking east. Notice the lack of landscaping.



Description: View of property looking west from the sidewalk.



Description: Another view of the middle island looking east from further out at the west entrance.



Description: View of the north side of the building from the northeast corner of the property. Notice the absence of the landscaping along the building and retaining wall required by the 1993 landscape plan.

BILL NO. \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE REPEALING ORDINANCE NUMBERS 1074, 1594, AND 1694,  
AND AUTHORIZING THE ISSUANCE OF A NEW CONDITIONAL USE PERMIT FOR  
OPERATION OF A VALVOLINE INSTANT OIL CHANGE SERVICE STATION  
LOCATED AT 11333 OLIVE BOULEVARD**

**WHEREAS**, under Section 405.360(C), Gasoline Service Stations in the “CB”, Commercial zoning district require the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

**WHEREAS**, conditional use permit ordinance #1074, was approved by the City Council on September 10, 1984, and amended on July 26, 1993 (ordinance #1594) and on March 13, 1995 (ordinance #1694), to allow for an automobile service station; and

**WHEREAS**, an application was submitted by Jason Coil, on behalf of Valvoline Instant Oil Change, to amend Ordinance #1694 to allow for hours of operation on Sunday from 9:00 a.m. to 5:00 p.m.; and

**WHEREAS**, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, November 7, 2011, beginning at 7:00 p.m. or immediately following the close of the previous public hearing, on said application for the conditional use permit as provided by Section 405.1070(D)(2); and

**WHEREAS**, notice of said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur and otherwise posted and published in accordance with the Zoning Ordinance; and

**WHEREAS**, the Planning and Zoning Commission reviewed and, by a \_\_\_\_\_ vote, recommended approval of the improvements, subject to the conditions contained herein, at its meeting on November 7, 2011; and

**WHEREAS**, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

**WHEREAS**, the City Council finds that the application and evidence presented clearly indicate that the proposed conditional use, when subject to certain conditions set forth herein:

1. Will contribute to and promote the community welfare and convenience at the specific location.
2. Will not cause substantial injury to the value of neighboring property.
3. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation therefrom.
4. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

**BILL NO.** \_\_\_\_\_

**ORDINANCE NO.** \_\_\_\_\_

**NOW, THEREFORE,** be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

**Section 1:** Ordinance #1074, Ordinance #1594, and Ordinance #1694 is hereby repealed.

**Section 2:** A Conditional Use Permit is authorized to be issued pursuant to Section 4 hereof for the operation of a automobile service station located at 11333 Olive Boulevard, in the "CB" Core Business zoning district, whose legal description is as follows:

Part of Lot 1 of the Subdivision in partition of the farm of S.S. Matson in U.S. Survey 1962, Township 45 North, Range 5 East, A diagram of which is attached to deed recorded in Book 448 Page 306 of the records of the City (former County) of St. Louis and described as:

Beginning at a point in the north line of Olive Street Road, 60 feet wide, at its intersection with west line of said Lot 1; thence along the west line of said lot 1, north 29 degrees 26 minutes west 171.83 feet to a point in the south line of lot "F" of Park West Plat No. 2, a plat of which is recorded in Plat Book 85 Page 46 of the St. Louis County records; thence along the south line of lots "F" and "E" north 89 degrees 45 minutes 40 seconds East 321.38 feet to a point; thence continuing along the south line of lot "E" and the south line of lot "D" of said subdivision, north 87 degrees 08 minutes and 40 seconds East 150.63 feet to a point in the west line of Park West Drive, 50 feet wide, a private street, shown on said plat of Park West, Plat No. 2; thence along the west line of said drive, south 2 degrees 31 minutes 20 seconds East 125 feet to a point of curve; thence southwestwardly along a curve to the right, having a radius of 25 feet, a distance of 39.27 feet to a point in the north line of Olive Street Road; thence along the north line of said road, South 87 degrees 08 minutes 40 seconds West 129.06 feet to a point and south 89 degrees 45 minutes 40 seconds West 241.00 feet to the point of beginning, excepting therefrom that part taken by the State of Missouri for road widening in cause No. 265592 of the St. Louis County records.

**Section 3:** The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. This Conditional Use Permit shall be for the operation of an automobile service station located at 11333 Olive Boulevard.
2. The hours of operation shall be: 8:00 a.m. to 7:00 p.m. Monday through Friday; 8:00 a.m. to 6:00 p.m. Saturday; and 9:00 a.m. to 5:00 p.m. Sunday.
3. Additional business hours are permitted with the Zoning Administrator's approval.
4. The applicant shall submit a landscape plan for approval by the Director of Community Development that shall consist of no less than the same number of plantings as the prior Site Development Plan dated December 20, 1993, approved by Ordinance #1594.
5. Approval of the Landscape Plan shall be based on the conformance with the goals and objectives of the Comprehensive Plan and Design Guidelines.
6. The site shall be maintained in accordance with the final approved Site Development Plan, and revised landscape plan required by this ordinance.
7. An underground irrigation system shall be installed and maintained to serve new landscaped areas identified on the landscape plan.

8. Vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed and in a prompt and workmanlike manner as dictated by accepted horticultural standards.
9. All signs and banners shall be in conformance with Article VII, Sign Regulations, of the Zoning Code.
10. No pennants, fringes, lights, pinwheels, or other similar devices for attracting attention may be displayed at any time in connection with the operation of the service station.
11. No additional curbcuts shall be granted in connection with the operation of said service station, other than those shown on the site plan.
12. Refuse, such as rags or other items incidental to the use of the service stations, shall be stored indoors or shall be enclosed in a sight-proof area or container, which container shall be screened from public view.
13. No auto, trailer, tool or equipment rental shall be permitted on the site.
14. Automobile servicing on the premises shall be limited to oil changes, transmission fluid changes, differential fluid changes and minor parts replacement, such as air filter, PCV valves, transmission filters, etc.
15. Sales shall be limited to automobile fluids, minor automobile parts, small automotive accessories, individual prepackages snack food and soft drinks.
16. Service bay doors shall remain closed while service is underway.
17. A copy of all herein attached conditions shall be furnished by the owner or petitioner to the operator(s) or manager(s), including successive operator(s), owner(s), or manager(s), who shall forward to the Zoning Administrator an acknowledgement that he or she has read and understood each of these conditions and agrees to comply therewith.
18. Any mechanical equipment installed for the site shall be properly screened with approved materials.
19. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
20. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
21. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

**Section 4:** The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

**BILL NO.** \_\_\_\_\_

**ORDINANCE NO.** \_\_\_\_\_

**Section 5:** This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2011.

\_\_\_\_\_  
TARA NEALEY  
PRESIDENT OF CITY COUNCIL

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2011.

\_\_\_\_\_  
HAROLD DIELMANN  
MAYOR

ATTEST:

\_\_\_\_\_  
DEBORAH RYAN, MRCC  
CITY CLERK

BILL NUMBER 1097

ORDINANCE NUMBER 1074

AN ORDINANCE REPEALING ORDINANCE NO. 760 AND GRANTING A NEW CONDITIONAL USE PERMIT TO A SERVICE STATION AT THE NORTHWEST CORNER OF PARK WEST DRIVE AND OLIVE BOULEVARD, 11345 OLIVE BOULEVARD, IN A "CB" CORE BUSINESS DISTRICT, SUBJECT TO CONDITIONS HEREIN.

WHEREAS, APPLICATION WAS MADE FOR A GENERAL CONDITIONAL USE PERMIT FOR A SERVICE STATION LOCATED AT PARK WEST DRIVE AND OLIVE BOULEVARD IN THE "CB" CORE BUSINESS DISTRICT, AND

WHEREAS, THE PLANNING AND ZONING COMMISSION RECOMMENDED APPROVAL OF SAID APPLICATION, AND

WHEREAS, A PUBLIC HEARING WAS HELD BY THE BOARD OF ALDERMEN ON MONDAY, APRIL 9, 1984, AT 8:30 P.M. ON SAID APPLICATION FOR THE CONDITIONAL USE PERMIT AS PROVIDED BY ARTICLE VIII, SECTION 26-114 OF ORDINANCE NO. 1044 OF THE CITY OF CREVE COEUR, AND

WHEREAS, NOTICE OF PUBLICATION FOR SAID PUBLIC HEARING HAD BEEN PREVIOUSLY PUBLISHED IN THE ST. LOUIS COUNTIAN ON THE 21 AND 28 DAY OF MARCH AND APRIL 4, 1984, AND

WHEREAS, ALL PARTIES DESIRING TO BE HEARD, EITHER FOR OR AGAINST SAID APPLICATION, WERE GIVEN AN OPPORTUNITY TO BE HEARD; AND

WHEREAS, THE BOARD OF ALDERMEN BEING FULLY INFORMED FINDS THAT THE GRANTING OF THE APPLICATION WOULD BE IN HARMONY WITH THE PUBLIC HEALTH, SAFETY, COMFORT AND CONVENIENCE OF THE CITIZENS OF THE CITY OF CREVE COEUR AND IN CONFORMANCE WITH GOOD ZONING PRACTICE:

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

SECTION 1: ORDINANCE NO. 760 IS HEREBY REPEALED.

SECTION 2: A NEW CONDITIONAL USE PERMIT IS HEREBY GRANTED FOR AN AUTOMOBILE SERVICE STATION ON THE NORTHWEST COERNER OF PARK WEST DIRVE AND OLIVE BOULEVARD IN A "CB" CORE BUSINESS DISTRICT SUBJECT TO THE HEREINAFTER STATED CONDITIONS ON THE FOLLOWING DESCRIBED PROPERTY:

PART OF LOT 1 OF THE SUBDIVISION IN PARTITION OF THE FARM OF S.S. MATSON IN U.S. SURVEY 1962, TOWNSHIP 45 NORTH, RANGE 5 EAST, A DIAGRAM OF WHICH IS ATTACHED TO DEED RECORDED IN BOOK 448 PAGE 306 OF THE RECORDS OF THE CITY (FORMER COUNTY) OF ST. LOUIS AND DESCRIBED AS:

BEGINNING AT A POINT IN THE NORTH LINE OF OLIVE STREET ROAD, 60 FEET WIDE, AT ITS INTERSECTION WITH WEST LINE OF SAID LOT 1; THENCE ALONG THE WEST LINE OF SAID LOT 1, NORTH 29 DEGREES 26 MINUTES WEST 171.83 FEET TO A POINT IN THE SOUTH LINE OF LOT "F" OF PARK WEST PLAT NO. 2, A PLAT OF WHICH IS RECORDED IN PLAT BOOK 86 PAGE 46 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG THE SOUTH LINE OF LOTS "F" AND "E" NORTH 89 DEGREES 45 MINUTES 40 SECONDS EAST 321.38 FEET TO A POINT; THENCE CONTINUING ALONG THE SOUTH LINE OF LOT "E" AND THE SOUTH LINE OF LOT "D" OF SAID SUBDIVISION, NORTH 87 DEGREES 08 MINUTES 40 SECONDS EAST 150.63 FEET TO A POINT IN THE WEST LINE OF PARK WEST DRIVE, 50 FEET WIDE, A PRIVATE STREET SHOWN ON SAID PLAT OF PARK WEST, PLAT NO. 2; THENCE ALONG THE WEST LINE OF SAID DRIVE, SOUTH 2 DEGREES 31 MINUTES 20 SECONDS EAST 125 FEET TO A POINT OF CURVE; THENCE SOUTHWESTWARDLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25 FEET, A DISTANCE OF 39.27 FEET TO A POINT IN THE NORTH LINE OF OLIVE STREET ROAD; THENCE ALONG THE NORTH LINE OF SAID ROAD, SOUTH 87 DEGREES 08 MINUTES 40 SECONDS WEST 129.06 FEET TO A POINT AND SOUTH 89 DEGREES 45 MINUTES 40 SECONDS WEST 241.00 FEET TO THE BEGINNING, EXCEPTING THEREFROM THAT PART TAKEN BY THE STATE OF MISSOURI FOR ROAD WIDENING IN CAUSE NO. 265592 OF THE ST. LOUIS COUNTY RECORDS.

SECTION 3: THE CONDITIONAL USE PERMIT GRANTED SHALL BE SUBJECT TO ALL ORDINANCES, RULES AND REGULATIONS, AND THE FOLLOWING CONDITIONS:

1. A COMPLETE REVIEW OF THE SITE PLAN SHALL BE MADE TO ASSURE THAT PRESENT CONDITIONS ARE IN CONFORMANCE THEREWITH.
2. A COMPLETE REVIEW OF THE DETAILED LANDSCAPE PLAN SHALL BE MADE AND THE LANDSCAPING SHALL BE BROUGHT INTO CONFORMANCE THEREWITH.
3. THERE SHALL BE NO ADDITIONAL SIGNS, UNLESS PRESENTLY ALLOWED UNDER THE CITY'S SIGN ORDINANCE.
4. NO PENNANTS, FRINGE, LIGHTS, PINWHEELS, OR OTHER SIMILAR DEVICES FOR ATTRACTING ATTENTION MAY BE DISPLAYED AT ANY TIME IN CONNECTION WITH THE OPERATION OF THE SERVICE STATION.

5. NO ADDITIONAL CURB CUTS SHALL BE GRANTED IN CONNECTION WITH THE OPERATION OF SAID SERVICE STATION, OTHER THAN THOSE SHOWN ON THE SITE PLAN.

6. REFUSE, SUCH AS RAGS, OR OTHER ITEMS INCIDENTAL TO THE USE OF THE SERVICE STATIONS SHALL BE STORED INDOORS OR SHALL BE ENCLOSED IN A SIGHT-PROOF AREA OR CONTAINER, WHICH CONTAINER SHALL BE SCREENED FROM PUBLIC VIEW.

7. NO AUTO, TRAILER, TOOL OR EQUIPMENT RENTAL SHALL BE PERMITTED ON THE SITE.

8. THERE SHALL BE NO AUTOMOBILE REPAIRS ON THE PREMISES.

9. SALES ARE TO BE LIMITED TO GASOLINE, OIL, SMALL AUTOMOTIVE ACCESSORIES, INDIVIDUAL PRE-PACKAGED SNACK FOODS, SMALL PERSONAL CARE ITEMS, CIGARETTES AND TOBACCO PRODUCTS, SMALL CONVENIENCE ITEMS AND NON-ALCOHOLIC BEVERAGES, EXCLUDING MILK AND LARGE CONTAINERS OF JUICE. SALES OF ITEMS EXPRESSLY PROHIBITED ARE BEER, WINE, BREAD, EGGS, MILK, FRESH MEATS, CHEESES, BUTTER, PREPARED FOODS, ICE CREAM, TV DINNERS, FROZEN PIZZAS, CANNED GOODS, LAUNDRY DETERGENT, SPICES AND CEREALS.

10. HOURS OF OPERATION SHALL BE LIMITED TO 6:00 A.M. TO MIDNIGHT SEVEN DAYS PER WEEK.

11. A COPY OF ALL HEREIN ATTACHED CONDITIONS SHALL BE FURNISHED BY THE OWNER OR PETITIONER TO THE OPERATOR(S) OR MANAGER(S), INCLUDING SUCCESSIVE OPERATOR(S), OWNER(S), OR MANAGER(S), WHO SHALL FORWARD TO THE ZONING ENFORCEMENT OFFICER AN ACKNOWLEDGEMENT THAT HE OR SHE HAS READ AND UNDERSTOOD EACH OF THESE CONDITIONS AND AGREES TO COMPLY THEREWITH.

12. ANY TRANSFER OR OWNERSHIP OR LEASE OF THE PROPERTY SHALL INCLUDE IN THE TRANSFER OR LEASE AGREEMENT A PROVISION THAT THE PURCHASER LESSEE AGREES TO BE BOUND BY THE CONDITIONS HEREIN SET FORTH AND APPROVED DEVELOPMENT PLAN FOR THE PROPERTY.

13. ALL CONDITIONS CONTAINED WITHIN THIS PERMIT SHALL BE POSTED UPON THE PROPERTY IN SUCH A MANNER THAT IT IS VISIBLE TO THE PUBLIC AND TO THE OPERATOR OF SAID FACILITY.

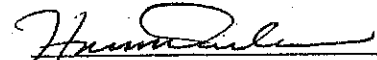
14. FAILURE TO COMPLY WITH ANY ONE OR ALL OF THE  
CONDITIONS OF THIS PERMIT SHALL BE ADEQUATE CAUSE FOR THE REVOCATION  
OF SAID PERMIT BY THE BOARD OF ALDERMEN, PROVIDED, HOWEVER, NO  
PERMIT SHALL BE REVOKED WITHOUT REASONABLE NOTICE TO THE OWNER OF THE  
INTENTION OF THE BOARD OF ALDERMEN TO REVOKE AND REASONABLE TIME  
GRANTED TO THE OWNER TO CORRECT ANY SUCH BREACH OF CONDITION.

SECTION 4: THIS ORDINANCE SHALL BECOME EFFECTIVE UPON THE  
EXPIRATION OF FIFTEEN (15) DAYS AFTER ADOPTION BY THE BOARD OF ALDER-  
MEN AND THE SIGNING THEREOF BY THE MAYOR.

PASSED THIS 10TH DAY OF SEPTEMBER 1984.

  
HAROLD L. DIELMANN, MAYOR

APPROVED THIS 10TH DAY OF SEPTEMBER 1984.

  
HAROLD L. DIELMANN, MAYOR

ATTEST:

  
LAVERNE COLLINS, CMC  
CITY CLERK

BILL NUMBER 1630

ORDINANCE NUMBER 1594

AN ORDINANCE AMENDING ORDINANCE NUMBER 1074 WHICH AUTHORIZED THE ISSUANCE OF A CONDITIONAL USE PERMIT FOR THE OPERATION OF A SERVICE STATION LOCATED ON THE NORTHWEST CORNER OF THE INTERSECTION OF OLIVE BOULEVARD AND PARK WEST DRIVE, IN THE "CB" CORE BUSINESS DISTRICT BY DELETING CONDITIONS 8, 9, 10 AND 14 AND ENACTING IN LIEU THEREOF NEW CONDITIONS NUMBERED 8, 9, 10 AND 14 AND BY THE ADDITION OF NEW CONDITIONS NUMBERED 15 AND 16.

WHEREAS, APPLICATION WAS MADE FOR AN AMENDMENT TO THE CONDITIONAL USE PERMIT AUTHORIZED BY ORDINANCE 1074 FOR THE OPERATION OF A SERVICE STATION TO ALLOW THE PERFORMANCE OF MINOR AUTOMOBILE SERVICING ON SITE TO INCLUDE OIL CHANGES, TRANSMISSION FLUID CHANGES AND MINOR PARTS REPLACEMENT. ALSO, TO ALLOW THE DEMOLITION OF EXISTING FACILITIES ON SITE AND TO CONSTRUCT A NEW TWO BAY OIL CHANGE FACILITY. THE USE IS LOCATED ON THE NORTHWEST CORNER OF OLIVE BOULEVARD AND PARK WEST DRIVE, IN THE "CB" CORE BUSINESS DISTRICT, AND

WHEREAS, THE CREVE COEUR PLANNING AND ZONING COMMISSION RECOMMENDED APPROVAL OF SAID APPLICATION, AND

WHEREAS, A PUBLIC HEARING WAS HELD BY THE CREVE COEUR CITY COUNCIL ON MONDAY, JUNE 28, 1993 AT 6:30 P.M. OR IMMEDIATELY FOLLOWING THE CLOSE OF THE PREVIOUS PUBLIC HEARING, ON SAID APPLICATION FOR THE CONDITIONAL USE PERMIT AS PROVIDED BY ARTICLE VIII, SECTION 26-114 OF ORDINANCE NUMBER 1044 OF THE CITY OF CREVE COEUR, AND

WHEREAS, NOTICE OF PUBLICATION FOR SAID PUBLIC HEARING HAD BEEN PREVIOUSLY PUBLISHED ON JUNE 9, 16, AND 23, 1993 IN THE ST. LOUIS COUNTIAN, A NEWSPAPER OF GENERAL CIRCULATION IN THE CITY OF CREVE COEUR, AND

WHEREAS, ALL PARTIES DESIRING TO BE HEARD, EITHER FOR OR AGAINST SAID APPLICATION, WERE GIVEN AN OPPORTUNITY TO BE HEARD AT SAID PUBLIC HEARING, AND

WHEREAS, THE CITY COUNCIL BEING FULLY INFORMED FINDS THAT THE GRANTING OF THE APPLICATION WOULD BE IN HARMONY WITH AND BEAR A SUBSTANTIAL RELATION TO THE PUBLIC WELFARE, HEALTH, SAFETY, COMFORT AND CONVENIENCE OF

THE CITIZENS OF THE CITY OF CREVE COEUR AND IN CONFORMANCE WITH GOOD ZONING PRACTICE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI, THAT ORDINANCE NUMBER 1074, SECTION 2 OF THE CITY OF CREVE COEUR SHALL BE AND IS HEREBY AMENDED AS FOLLOWS:

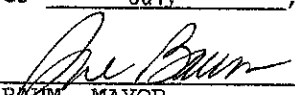
SECTION 1: ORDINANCE NUMBER 1074, SECTION 2 CONDITIONS 8, 9, 10 AND 14 ARE HEREBY REPEALED AND ENACTING IN LIEU THEREOF NEW CONDITIONS 8, 9, 10 AND 14 AND THE ADDITION OF CONDITIONS 15 AND 16 ALL TO READ AS FOLLOWS:

8. AUTOMOBILE SERVICING ON THE PREMISES SHALL BE LIMITED TO OIL CHANGES, TRANSMISSION FLUID CHANGES, DIFFERENTIAL FLUID CHANGES AND MINOR PARTS REPLACEMENT, SUCH AS AIR FILTERS, PCV VALVES, TRANSMISSION FILTERS, ETC.
9. SALES SHALL BE LIMITED TO AUTOMOBILE FLUIDS, MINOR AUTOMOBILE PARTS, SMALL AUTOMOTIVE ACCESSORIES, INDIVIDUAL PREPACKAGED SNACK FOODS AND SOFT DRINKS.
10. HOURS OF OPERATION SHALL BE LIMITED TO 8:00 A.M. TO 6:00 P.M. MONDAY THROUGH SATURDAY.
14. FAILURE TO COMPLY WITH ANY ONE OR ALL OF THE CONDITIONS OF THIS PERMIT SHALL BE ADEQUATE CAUSE FOR THE REVOCATION OF SAID PERMIT BY THE CITY COUNCIL PROVIDED, HOWEVER, NO PERMIT SHALL BE REVOKED WITHOUT PRIOR NOTICE TO THE OWNER OF THE INTENTION OF THE CITY COUNCIL TO REVOKE THIS PERMIT AND REASONABLE TIME GRANTED TO THE OWNER TO CORRECT OR REMEDY ANY SUCH BREACH OF CONDITION, EXCEPT FOR REPEATED BREACHES OR VIOLATIONS.
15. THE FINAL BUILDING PLANS FOR THE FACILITY MUST BE REVIEWED AND APPROVED BY THE CREVE COEUR PLANNING AND ZONING COMMISSION.
16. THE FINAL DETAILED LANDSCAPE PLAN MUST BE REVIEWED AND APPROVED BY THE CREVE COEUR PLANNING AND ZONING COMMISSION AND MUST INDICATE PROPOSED SCREENING AND BUFFERING OF THE ADJACENT RESIDENTIAL AREA.

SECTION 2. THE CITY ADMINISTRATOR OF THE CITY OF CREVE COEUR IS HEREBY AUTHORIZED AND DIRECTED TO ISSUE A CONDITIONAL USE PERMIT IN ACCORDANCE WITH THE PROVISIONS OF THIS ORDINANCE, SAID PERMIT TO EXPRESSLY PROVIDE FOR THE CONDITIONS AND STIPULATIONS HEREINABOVE SET OUT IN SECTION 1 OF THIS ORDINANCE.

SECTION 3. THIS ORDINANCE SHALL BECOME EFFECTIVE AT THE EXPIRATION OF FIFTEEN (15) DAYS AFTER ADOPTION BY THE CITY COUNCIL AND THE SIGNING THEREOF BY THE MAYOR.

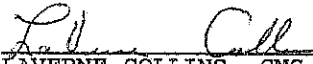
PASSED THIS 26th DAY OF July, 1993

  
SUE BAUM, MAYOR

APPROVED THIS 26th DAY OF July, 1993

  
SUE BAUM, MAYOR

ATTEST:

  
LAVERNE COLLINS, CMC  
CITY CLERK

830/36



BILL NUMBER 1736

ORDINANCE NUMBER 1694

AN ORDINANCE FURTHER AMENDING ORDINANCE NUMBER 1074 AS AMENDED BY ORDINANCE NUMBER 1594 WHICH AUTHORIZED THE ISSUANCE OF A CONDITIONAL USE PERMIT FOR THE OPERATION OF A SERVICE STATION LOCATED AT 11333 OLIVE BOULEVARD, IN THE "CB" CORE BUSINESS DISTRICT, BY DELETING SECTION 2 OF ORDINANCE NUMBER 1074 AS AMENDED IN ITS ENTIRETY AND ENACTING IN LIEU THEREOF A NEW SECTION 2 AS CONTAINED HEREIN.

WHEREAS, THE CITY OF CREVE COEUR RECOGNIZED THE NEED TO CONSIDER AN AMENDMENT TO THE CONDITIONAL USE PERMIT AUTHORIZED BY ORDINANCE NUMBER 1074 AND AMENDED BY ORDINANCE NUMBER 1594 TO ADDRESS THE ISSUE OF EXTENDED OPERATING HOURS, AS REQUESTED BY VALVOLINE INSTANT OIL CHANGE, MR. GEORGE STOCK, JR., REPRESENTATIVE, FOR THE FACILITY LOCATED AT 11333 OLIVE BOULEVARD, IN THE "CB" CORE BUSINESS DISTRICT, AND

WHEREAS, THE CREVE COEUR PLANNING AND ZONING COMMISSION HAS RECOMMENDED APPROVAL OF SUCH AMENDMENT, AND

WHEREAS, A PUBLIC HEARING WAS HELD BY THE CREVE COEUR CITY COUNCIL ON MONDAY, JANUARY 23, 1995 AT 7:30 P.M. ON SAID AMENDMENT FOR THE CONDITIONAL USE PERMIT AS PROVIDED BY ARTICLE VIII, SECTION 26-114 OF ORDINANCE NUMBER 1044 OF THE CITY OF CREVE COEUR, AND

WHEREAS, NOTICE OF PUBLICATION FOR SAID PUBLIC HEARING HAD BEEN PREVIOUSLY PUBLISHED ON JANUARY 3, 10 AND 17, 1995 IN THE ST. LOUIS COUNTIAN, A NEWSPAPER OF GENERAL CIRCULATION IN THE CITY OF CREVE COEUR, AND

WHEREAS, ALL PARTIES DESIRING TO BE HEARD, EITHER FOR OR AGAINST SAID AMENDMENTS, WERE GIVEN AN OPPORTUNITY TO BE HEARD, AND

WHEREAS, THE CREVE COEUR CITY COUNCIL BEING FULLY INFORMED FINDS THAT THE PROPOSED AMENDMENTS WOULD BE IN HARMONY WITH HEALTH, SAFETY, COMFORT, CONVENIENCE AND GENERAL WELFARE OF THE CITIZENS OF THE CITY OF CREVE COEUR AND IN CONFORMANCE WITH GOOD ZONING PRACTICE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI, THAT ORDINANCE NUMBER 1074 AS AMENDED BY ORDINANCE NUMBER 1594, SECTION 2 OF THE CITY OF CREVE COEUR SHALL BE AND IS HEREBY AMENDED AS FOLLOWS:

SECTION 1: ORDINANCE NUMBER 1074, SECTION 2, AS AMENDED BY ORDINANCE NUMBER 1594 IS HEREBY REPEALED IN ITS ENTIRETY AND ENACTING IN LIEU THEREOF A NEW SECTION 2 TO READ AS FOLLOWS:

1. A COMPLETE REVIEW OF THE SITE PLAN SHALL BE MADE TO ASSURE THAT PRESENT CONDITIONS ARE IN CONFORMANCE THEREWITH.
2. A COMPLETE REVIEW OF THE DETAILED LANDSCAPE PLAN SHALL BE MADE AND THE LANDSCAPING SHALL BE BROUGHT INTO CONFORMANCE THEREWITH.
3. THERE SHALL BE NO ADDITIONAL SIGNS, UNLESS PRESENTLY ALLOWED UNDER THE CITY'S SIGN ORDINANCE.
4. NO PENNANTS, FRINGES, LIGHTS, PINWHEELS, OR OTHER SIMILAR DEVICES FOR ATTRACTING ATTENTION MAY BE DISPLAYED AT ANY TIME IN CONNECTION WITH THE OPERATION OF THE SERVICE STATION.
5. NO ADDITIONAL CURB CUTS SHALL BE GRANTED IN CONNECTION WITH THE OPERATION OF SAID SERVICE STATION, OTHER THAN THOSE SHOWN ON THE SITE PLAN.
6. REFUSE, SUCH AS RAGS OR OTHER ITEMS INCIDENTAL TO THE USE OF THE SERVICE STATIONS, SHALL BE STORED INDOORS OR SHALL BE ENCLOSED IN A SIGHT-PROOF AREA OR CONTAINER, WHICH CONTAINER SHALL BE SCREENED FROM PUBLIC VIEW.
7. NO AUTO, TRAILER, TOOL OR EQUIPMENT RENTAL SHALL BE PERMITTED ON THE SITE.
8. AUTOMOBILE SERVICING ON THE PREMISES SHALL BE LIMITED TO OIL CHANGES, TRANSMISSION FLUID CHANGES, DIFFERENTIAL FLUID CHANGES AND MINOR PARTS REPLACEMENT, SUCH AS AIR FILTER, PCV VALVES, TRANSMISSION FILTERS, ETC.
9. SALES SHALL BE LIMITED TO AUTOMOBILE FLUIDS, MINOR AUTOMOBILE PARTS, SMALL AUTOMOTIVE ACCESSORIES, INDIVIDUAL PREPACKAGED SNACK FOODS AND SOFT DRINKS.
10. HOURS OF OPERATION SHALL BE LIMITED TO 8:00 A.M. TO 7:00 P.M. MONDAY THROUGH FRIDAY, AND 8:00 A.M. TO 6:00 P.M. SATURDAY.

11. A COPY OF ALL HEREIN ATTACHED CONDITIONS SHALL BE FURNISHED BY THE OWNER OR PETITIONER TO THE OPERATOR(S) OR MANAGER(S), INCLUDING SUCCESSIVE OPERATOR(S), OWNER(S), OR MANAGER(S), WHO SHALL FORWARD TO THE ZONING ENFORCEMENT OFFICER AN ACKNOWLEDGEMENT THAT HE OR SHE HAS READ AND UNDERSTOOD EACH OF THESE CONDITIONS AND AGREES TO COMPLY THEREWITH.

12. ANY TRANSFER OR OWNERSHIP OR LEASE OF THE PROPERTY SHALL INCLUDE IN THE TRANSFER OR LEASE AGREEMENT A PROVISION THAT THE PURCHASER OR LESSEE AGREES TO BE BOUND BY THE CONDITIONS HEREIN SET FORTH AND THE APPROVED DEVELOPMENT PLAN FOR THE PROPERTY.

13. ALL CONDITIONS CONTAINED WITHIN THIS PERMIT SHALL BE POSTED UPON THE PROPERTY IN SUCH A MANNER THAT IT IS VISIBLE TO THE PUBLIC AND TO THE OPERATOR OF SAID FACILITY.

14. FAILURE TO COMPLY WITH ANY ONE OR ALL OF THE CONDITIONS OF THIS PERMIT SHALL BE ADEQUATE CAUSE FOR THE REVOCATION AND/OR MODIFICATION OF SAID PERMIT BY THE CITY COUNCIL PROVIDED, HOWEVER, NO PERMIT SHALL BE REVOKED OR MODIFIED WITHOUT PRIOR NOTICE TO THE OWNER OF THE INTENTION OF THE CITY COUNCIL TO REVOKE OR MODIFY THIS PERMIT AND REASONABLE TIME GRANTED TO THE OWNER TO CORRECT OR REMEDY ANY SUCH BREACH OF CONDITION, EXCEPT FOR REPEATED BREACHES OR VIOLATIONS.

15. THE FINAL BUILDING PLANS FOR THE FACILITY MUST BE REVIEWED AND APPROVED BY THE CREVE COEUR PLANNING AND ZONING COMMISSION.

16. THE FINAL DETAILED LANDSCAPE PLAN MUST BE REVIEWED AND APPROVED BY THE CREVE COEUR PLANNING AND ZONING COMMISSION AND MUST INDICATE PROPOSED SCREENING AND BUFFERING OF THE ADJACENT RESIDENTIAL AREA.

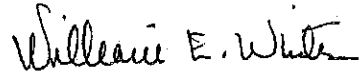
SECTION 2: THE CITY ADMINISTRATOR OF THE CITY OF CREVE COEUR IS HEREBY AUTHORIZED AND DIRECTED TO ISSUE AN AMENDED CONDITIONAL USE PERMIT IN ACCORDANCE WITH THE PROVISIONS OF THIS ORDINANCE, SAID PERMIT TO EXPRESSLY PROVIDE FOR THE CONDITIONS AND STIPULATIONS HEREINABOVE SET OUT IN SECTION 1 OF THIS ORDINANCE.

SECTION 3: THIS ORDINANCE SHALL BECOME EFFECTIVE AT THE EXPIRATION OF FIFTEEN (15) DAYS AFTER ADOPTION BY THE CITY COUNCIL AND THE SIGNING THEREOF BY THE MAYOR.

ADOPTED BY CITY COUNCIL THIS 13 DAY OF March, 1995.

  
ROBERT PENNELL  
PRESIDENT OF CITY COUNCIL

APPROVED THIS 13 DAY OF March, 1995.

  
WILLIAM E. WINTER  
MAYOR

ATTEST:

  
LAVERNE COLLINS, CMC  
CITY CLERK

112/202



## DEPARTMENT OF PUBLIC WORKS STAFF MEMORANDUM

**DATE:** November 2, 2011

**TO:** Planning and Zoning Commission

**CC:** Paul Langdon, AICP, Director of Community Development  
Jim Heines, Director of Public Works

**FROM:** Matt Wohlberg, P.E., City Engineer

**SUBJECT:** Government Center Sidewalk Project

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City staff proposes to add a handicapped-accessible sidewalk to the Creve Coeur Government Center to provide an accessible path from the north parking lot to the front door of the building. This project would be funded through a Community Development Block Grant.

### **Project Discussion**

The Creve Coeur Government Center currently has no outdoor, handicapped-accessible route between its northern parking lot and the building's public or employee entrances. This project proposes to create such a path with a new concrete sidewalk and to replace sections of outdated and deteriorated sidewalk adjacent to the new sidewalk.

A concept drawing that illustrates the proposed improvements is attached.

### **Project Financing**

City staff proposes to seek funding for this project through the Community Development Block Grant (CDBG) program. The CDBG program helps finance projects to provide or improve accessibility for public facilities, and staff feels that the current proposal falls within the breadth of the CDBG program. The City currently has funding available through this program, and staff anticipates that the improvements could be implemented before the end of the year.

This project is identified in the FY2012 capital improvement fund under the account "ADA Improvements," which is in place for projects performed through the CDBG program.

### **Construction Approval**

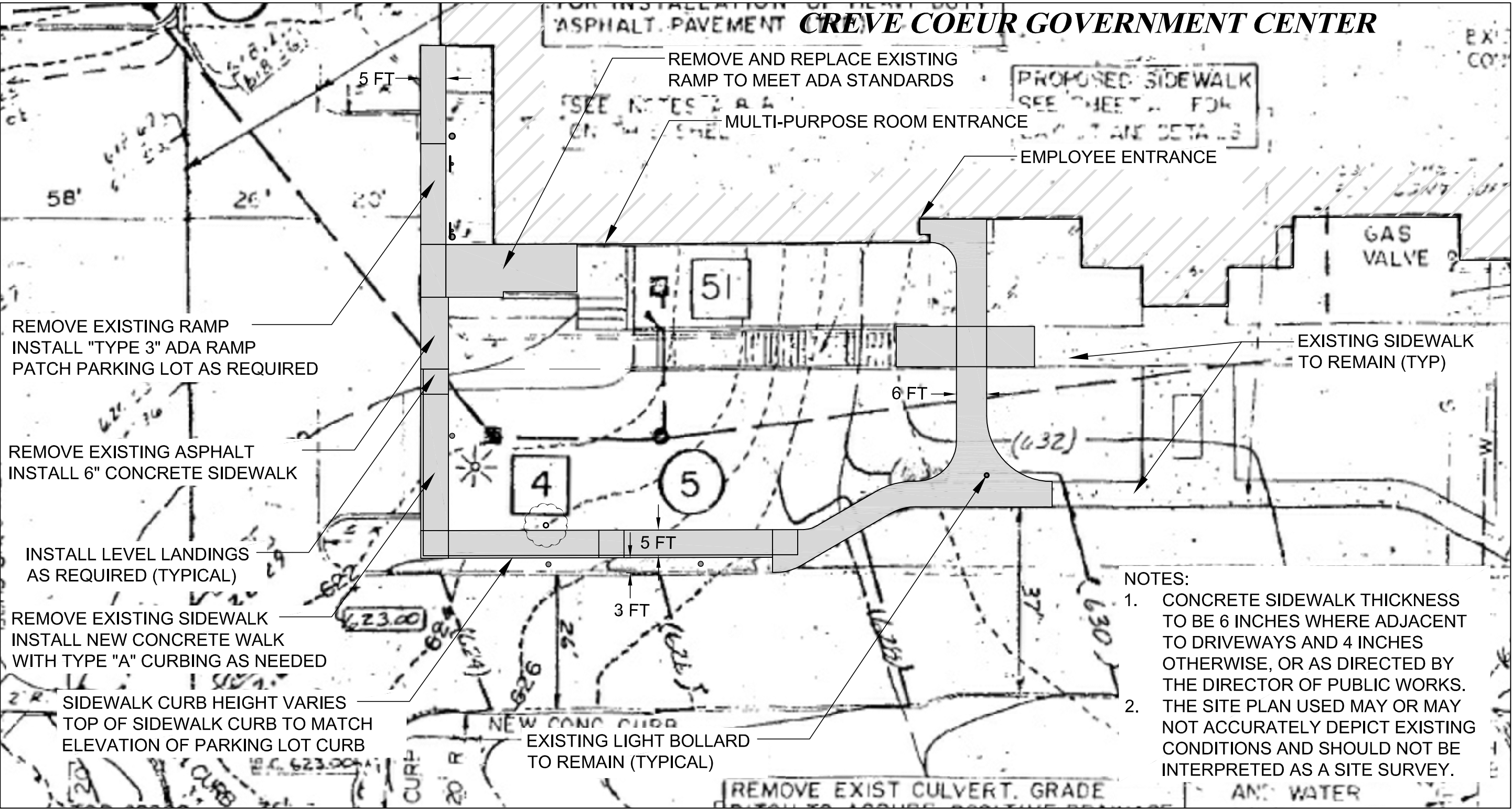
City staff seeks the Commission's approval or disapproval to proceed with the construction of the current proposal for improvements to the Creve Coeur Government Center. According to Section 89 of Missouri state law, the City must obtain the approval of such development of public property from the Planning and Zoning Commission prior to the commencement of work.

Award of the contract for the sidewalk improvements at the Creve Coeur Government Center will be brought before the City Council for their review.

A sample motion would be as follows:

*I move to (approve/disapprove) the improvements to the Creve Coeur Government Center as currently proposed and as required by Section 89 of Missouri state law.*

The Commission's options are to approve or disapprove the current proposal.



| REVISIONS |      |             |         |
|-----------|------|-------------|---------|
| REV.      | DATE | DESCRIPTION | SHEET # |
|           |      |             |         |
|           |      |             |         |
|           |      |             |         |
|           |      |             |         |

DESIGNED BY: MRW  
DRAFTED BY: MRW  
APPROVED BY:

|                 |                                                |
|-----------------|------------------------------------------------|
| PROJECT NAME:   | <b>GOVERNMENT CENTER SIDEWALK IMPROVEMENTS</b> |
| DRAFT STATUS:   |                                                |
| OCTOBER 4, 2011 |                                                |



|                |                          |
|----------------|--------------------------|
| DRAWING TITLE: | <b>CONSTRUCTION PLAN</b> |
| DRAWING SCALE: | NOT TO SCALE             |

|                 |        |
|-----------------|--------|
| DRAWING NUMBER: | 1      |
| SHEET NUMBER:   | 1 OF 1 |

| NEW     | REVISIONS |         |         |        |
|---------|-----------|---------|---------|--------|
| 1-11-90 | 10-13-97  | 11-2-98 | 7-31-07 | 1-1-10 |

ST. LOUIS COUNTY PROJ.

SHEET  
NUMBER

TOTAL  
SHEETS

## GENERAL NOTES

- Do not scale drawing, follow dimensions.
- Construction joint and tie bars may be omitted when curb is poured integral with pavement.
- Minimum thickness for pavement is:  
Concrete pavement thickness =  $\frac{(T)}{12}$   
Bituminous Concrete pavement thickness =  $\frac{(T)}{12}$   
All residential minor and local streets 6" 9"  
Residential collector, residential major collector, all County and non-residential streets 7" 10-1/2"  
All Arterial Streets 8" 12"
- Type "G" Transverse Joint is required for Arterial, County, Non-Residential and Residential Major Collector Streets. Use Type "C" Transverse Joint for all others.
- For Subdivision or Minor Streets having 6" concrete pavement 1/2"  $\phi$  deformed tie bars 30" long at 30" centers shall be used for Type "B" Longitudinal Joints.
- Refer to Pavement Construction Details for "Integral Vertical Curb and Concrete Pavement Typical Sections and Details", Std. Dwg. C502.01 and "Integral Rolled Curb and Concrete Pavement Typical Sections and Details", Std. Dwg. C502.02 for joint and bar requirements for different street classifications. Note that width and location of each poured portion of the pavement may change the type and location of joint required.
- All deformed bars for joints and curbs shall be in accordance with AASHTO M 31, Grade 40 and epoxy coated, conforming to the requirements in Section 1057.4 of the St. Louis County Standard Specifications.
- Length of the tie bars shall equal the thickness of pavement plus the height of curb less 3". Tie bars shall be placed at 24" centers.
- Transverse or longitudinal construction joints in slip formed pavements may be made with a groover or tool, if such device has been approved in advance by the Department.
- The free end of the dowel bar for a length of at least 11 inches shall be coated with an approved graphite grease conforming to Section 1057.3.1 of the St. Louis County Standard Specifications or may substitute completed basket units pre-dipped in an approved bond breaker solution conforming to Section 1057.3.2.
- All dowel bars 18" long @ 12" centers shall be epoxy coated.
- Superpave SP 125 is to be used in lieu of Type "C" Bituminous Concrete on Arterial roads, when directed by the Department or when specified in the County contract documents.
- Certain streets will be required to overlay the gutter with 2" Type "C" Bituminous Concrete wearing surface as directed by the Department.

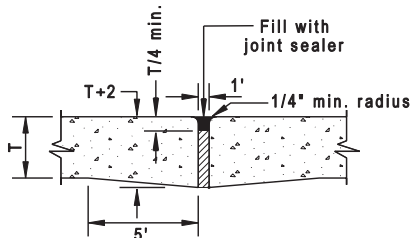
SAINT LOUIS COUNTY  
DEPARTMENT OF HIGHWAYS AND TRAFFIC  
CLAYTON, MISSOURI

PAVEMENT CONSTRUCTION DETAILS

## JOINTS AND CURBS

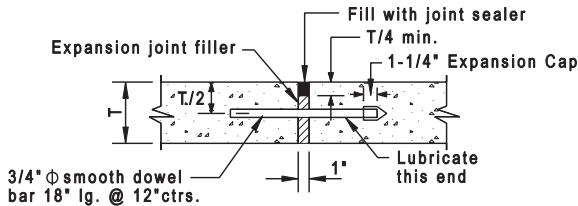
REVISION DATE: January 1, 2010

DRAWING  
C502.03



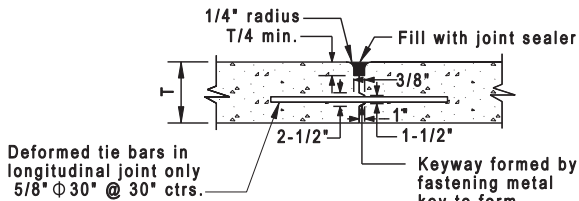
**TYPE "A"**

EXPANSION JOINT



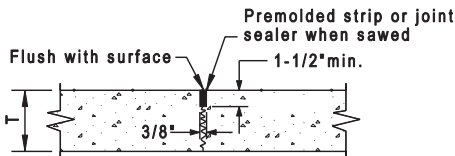
**TYPE "AA"**

ALTERNATE EXPANSION JOINT



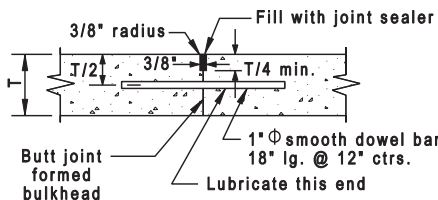
**TYPE "B"**

LONGITUDINAL  
CONSTRUCTION JOINT  
(See Note 5)



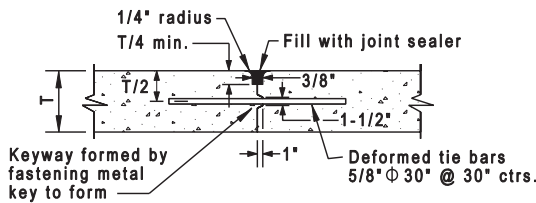
**TYPE "C"**

SAWED OR PREMOLDED STRIP  
TRANSVERSE OR LONGITUDINAL  
CONSTRUCTION JOINT  
(See Note 4)



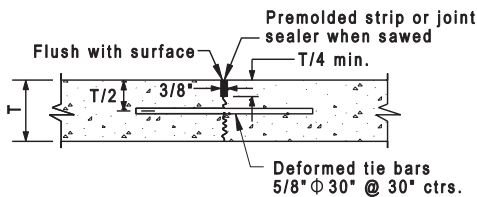
**TYPE "D"**

TRANSVERSE CONSTRUCTION JOINT



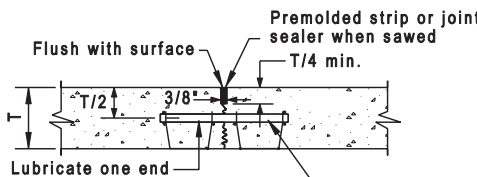
**TYPE "E"**

TIED TRANSVERSE  
CONSTRUCTION JOINT  
(To be used at point not on 20' spacing)



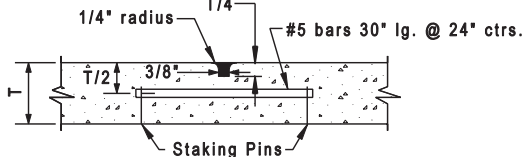
**TYPE "F"**

SAWED OR PREMOLDED STRIP  
LONGITUDINAL CONSTRUCTION JOINT



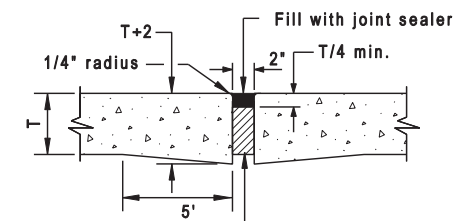
**TYPE "G"**

SAWED OR PREMOLDED STRIP  
TRANSVERSE CONSTRUCTION JOINT  
(See Note 4)



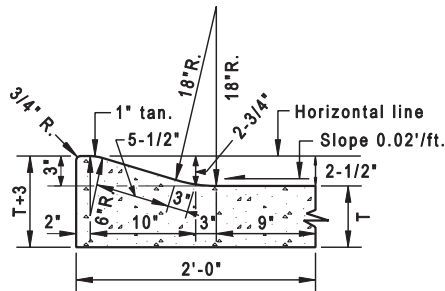
**TYPE "H"**

SAWED JOINT WITH TIE BARS

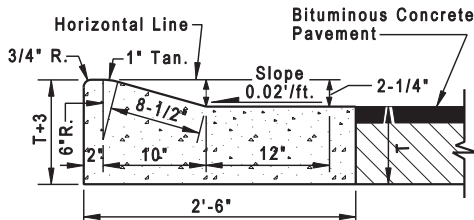


**TYPE "A2"**

EXPANSION JOINT

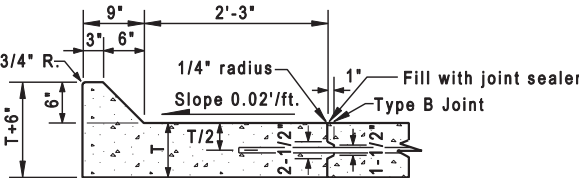


**INTEGRAL ROLLED CURB**

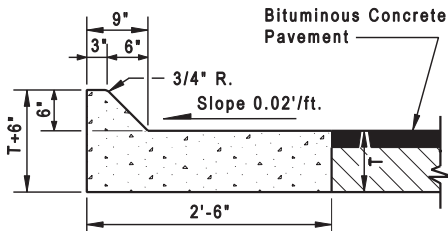


**ROLLED CURB AND GUTTER (2'-6" WIDE)**

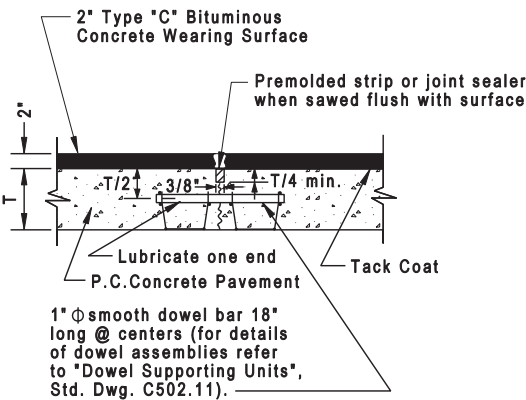
(See Note 13)



**MOUNTABLE CURB AND GUTTER**

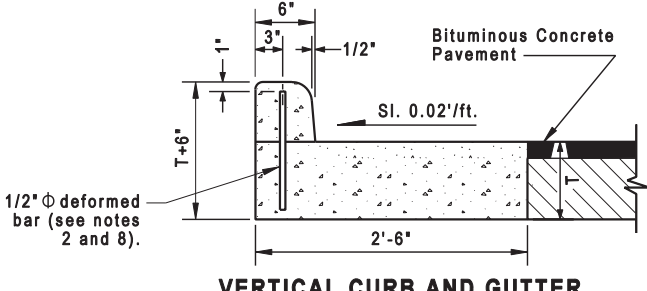


**MOUNTABLE CURB AND GUTTER  
(2'-6" WIDE)**

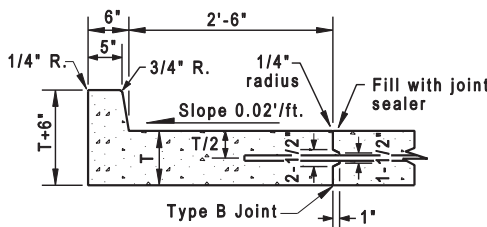


**TYPE "J"**

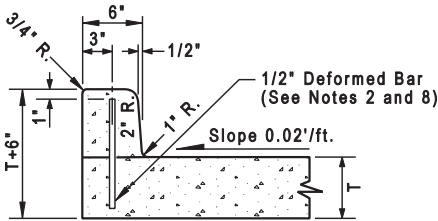
SAWED OR PREMOLDED STRIP  
TRANSVERSE CONSTRUCTION JOINT  
WITH BITUMINOUS OVERLAY



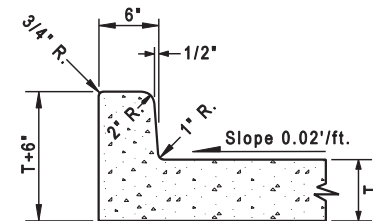
**VERTICAL CURB AND GUTTER  
(2'-6" WIDE)**



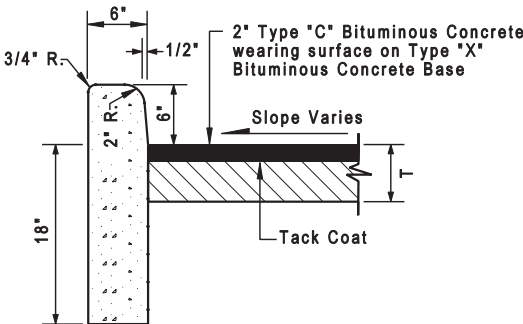
**VERTICAL CURB AND GUTTER  
(INTEGRAL TO PAVEMENT)  
(3'-0" WIDE)**



**TYPE "A" VERTICAL CURB  
(INTEGRAL)**



**TYPE "A" VERTICAL CURB  
(MONOLITHIC)**



**TYPE "S" CONCRETE CURB**

| NEW    | REVISIONS |  |  |  |
|--------|-----------|--|--|--|
| 3-1-10 |           |  |  |  |

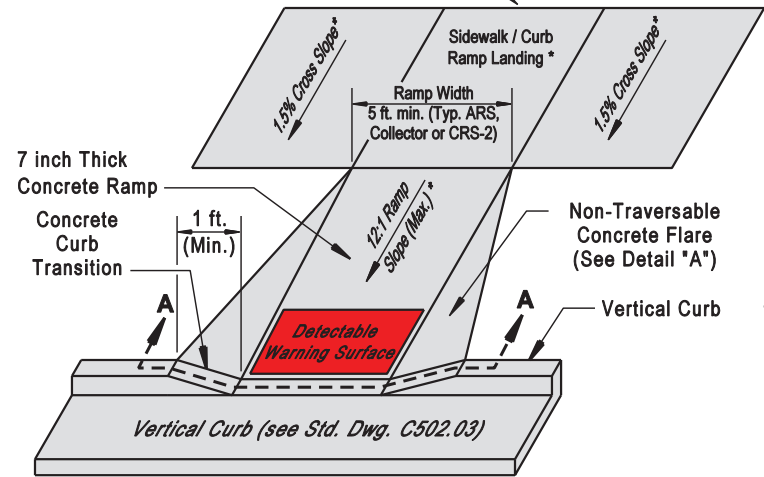
ST. LOUIS COUNTY PROJ.

| SHEET NUMBER | TOTAL SHEETS |
|--------------|--------------|
|              |              |

Sidewalk Width 5 or 6 Feet Wide (Typ.),  
Per Use and Approved Plans

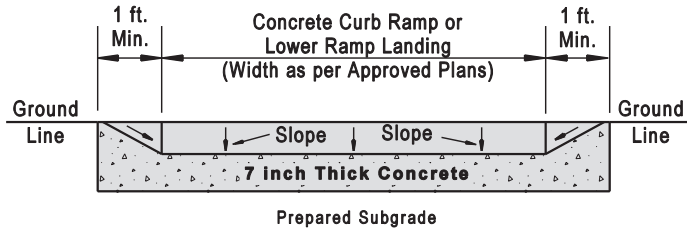
Sidewalk Width 4 foot Wide (Typ. Residential),  
Per Use and Approved Plans

+ From Front of Curb Line  
++ For Truncated Dome Mat Detail, See Std. Dwgs. C608.51

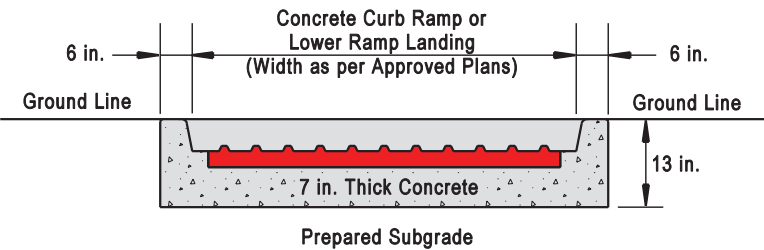


**Type "1" Curb Ramp  
(Vertical Curb - ARS, Collector &  
CRS-2 Roads Typical)**

\* See General Notes,  
Item #13

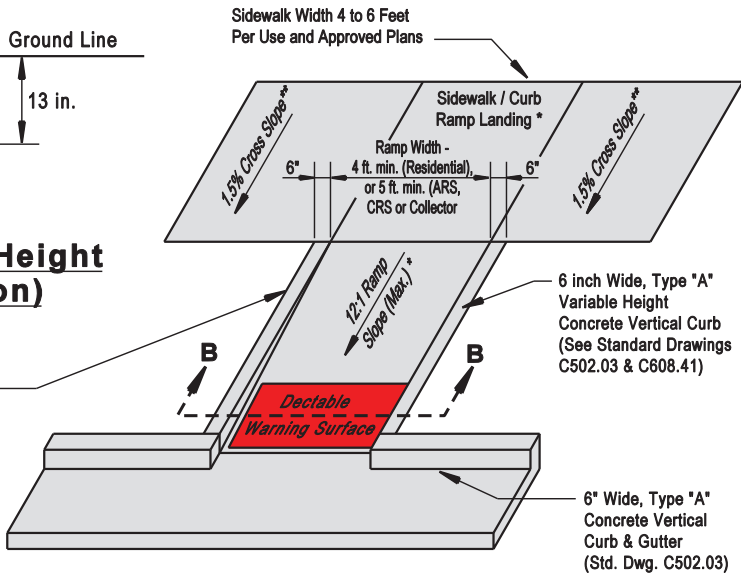


**Section A - A  
(Concrete Transition Section)**

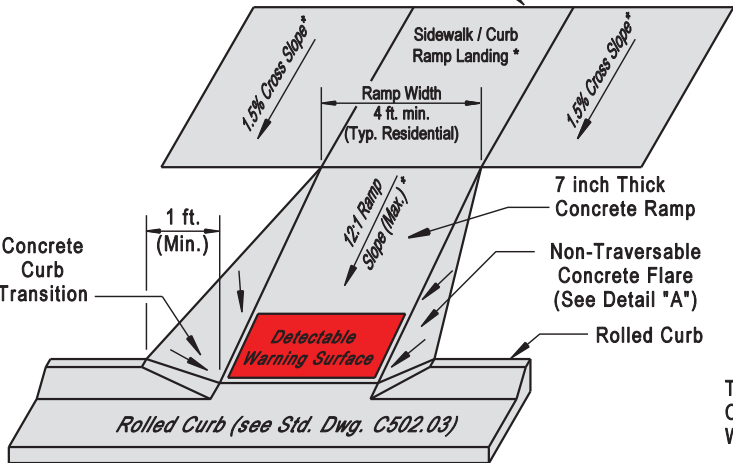


**Section B - B  
(6 Inch Wide, Type "A" Variable Height  
Concrete Vertical Curb Section)**

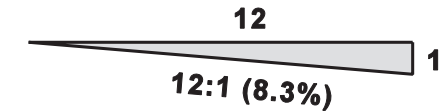
6 inch Wide, Type "A"  
Variable Height  
Concrete Vertical Curb  
(See Standard Drawings  
C502.03 & C608.41)



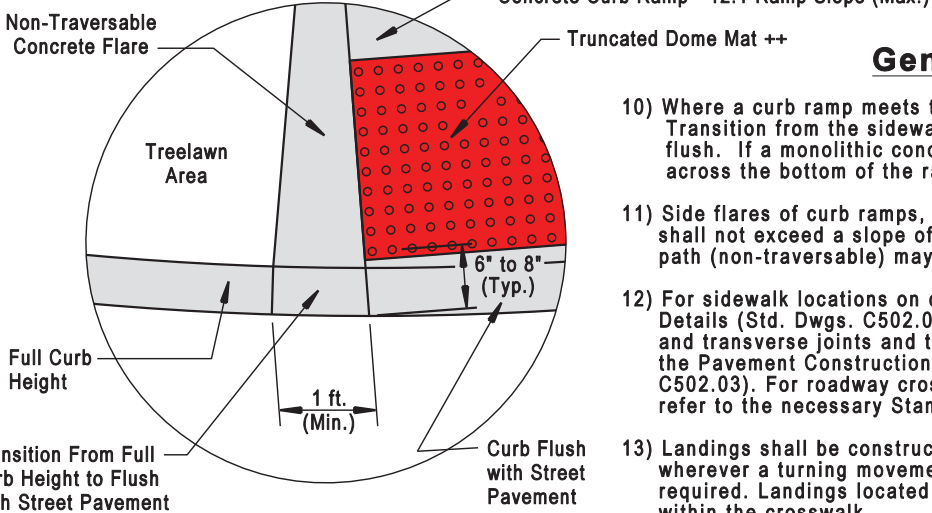
**Type "2" Curb Ramp  
(Vertical Curb)**



**Type "1" Curb Ramp  
(Rolled Curb - Residential  
Street Typical)**



**12:1 Maximum Ramp Slope**



**Detail "A"**

**General Notes**

- 1) Do not scale drawing, follow dimensions.
- 2) All areas of the pedestrian access route must be compliant with the "Americans with Disabilities Act Accessibility Guidelines (ADAAG)". Exceptions must be approved by the Engineer. Guidelines may be viewed online on the United States Access Board's Internet website at [www.access-board.gov](http://www.access-board.gov). It is the Contractor's responsibility to meet these guidelines. Areas of non-compliance shall be removed and corrected at the Contractor's expense.
- 3) The width for sidewalks shall be a minimum of 4 feet wide for residential streets and a minimum of 5 feet wide for collector or arterial roadways. The minimum width for sidewalks located adjacent to a vertical or rolled curb shall be 6 feet wide (narrow width right-of-way). Required sidewalk width will be determined during plan review and approval, and will be based on site conditions and usage. (see Standard Drawing C608.50, "Concrete Sidewalk Details")
- 4) Designed ramp length may be adjusted in the field by the Contractor, as approved by the Engineer based on actual measurements of street grade, using the curb ramp length tables on drawing C608.41.
- 5) Ramp running slope shall be a maximum of 12:1 or 8.3%. Curb ramp landings shall have a minimum size of 4 ft. by 4 ft. (not including the truncated dome mat), with a cross slope of 1.5% (+ or - 0.5%) in any direction (Slope: 1.0% Min. to 2.0% Max.). Sidewalk cross slope shall be 1.5% (+ or - 0.5%) (Slope: 1.0% Min. to 2.0% Max.).
- 6) All sidewalk sections shall be 4 inches thick, except where required to be thicker such as driveway crossings, etc., as shown on other Standard Drawings or approved plans. All curb ramps, lower landings adjacent to the curb and concrete slabs containing detectable warning surface (truncated dome mat), shall be a minimum of 7 inches thick. Sidewalk joints shall be troweled or sawn with a minimum 1/2 inch depth joint. Finished sidewalk shall be a stable, slip resistant surface, and does not pond water. Pedestrian access route shall continue across driveways.
- 7) The running grade of a sidewalk shall not exceed 5.0% unless it is matching the grade of the adjacent roadway.
- 8) Storm water inlets, signs, posts, manhole covers, pull boxes and other access lids should be avoided within the sidewalk. If such a location is necessary, the feature must meet ADA standards. Mailbox and utility pole placement should also be avoided in the sidewalk. If it is necessary, use the standards shown on Standard Drawing C608.56, "Mailbox and Utility Pole Placement Standards". An accessible route must have minimum 3 foot (36 inch) clear width (ADA Accessibility Guidelines).
- 9) All sidewalk sections, bus stop pads, and landings at the top of curb ramps, shall be paid for as "Concrete Sidewalk". Curb ramps and landings at the bottom of curb ramps, shall be paid for as "Concrete Curb Ramp". No direct payment will be made for variable height curb, concrete flares, or saw cut when constructed as part of a landing or curb ramp. No direct payment will be made for pre-molded expansion joint filler with joint sealer.

**General Notes (Cont.)**

- 10) Where a curb ramp meets the pavement, a bullnose will not be permitted. Transition from the sidewalk to the gutter to the roadway surface must be flush. If a monolithic concrete curb is constructed, strike a dummy joint across the bottom of the ramp at the curb line.
- 11) Side flares of curb ramps, in the path of pedestrian travel (traversable), shall not exceed a slope of 10H:1V. Side flares outside the pedestrian path (non-traversable) may be 2H:1V slope or vertical.
- 12) For sidewalk locations on cul-de-sacs, refer to Pavement Construction Details (Std. Dwgs. C502.06 through C502.10). For pavement longitudinal and transverse joints and tie bar requirements and dimensions, refer to the Pavement Construction Details for "Joints and Curbs" (Std. Dwg. C502.03). For roadway cross slopes, pavement types, and thickness, refer to the necessary Standard Typical Section.
- 13) Landings shall be constructed at the top and/or bottom of a curb ramp wherever a turning movement or access to pedestrian push button is required. Landings located in the roadway must be completely contained within the crosswalk.
- 14) Detectable Warning Surface (DWS) shall consist of a surface of truncated domes aligned in a square or radial grid pattern. The pattern shall be aligned with the edge of pavement in the direction of travel. The DWS shall extend 24 inches in the direction of travel and span the full width of the curb ramp (exclusive of flares), landing or blended transition. The DWS shall contrast visually with the ramp, landing, raised island and cut-through island surfaces, and shall be dark-on-light (or light-on-dark with the approval of the engineer) (see Std. Dwg. C608.51). Truncated domes shall be aligned parallel to the running slope of a ramp, in a square grid, when installed in the direction of pedestrian travel, to permit wheels to roll between the domes. When installed on a landing or blend transition, DWS shall be aligned perpendicular or radial to the break between the ramp, landing or blended transition and the street. DWS shall be installed 6 in. to 8 in. from the face of curb (see Detail "A" on this drawing). DWS in concrete cut-through island, shall be aligned with the face of the curb of the cut-through island (see Std. Dwg. C608.49). The Detectable Warning Surface (DWS) or Truncated Dome Mats, shall be consistent throughout the project and are required to be installed on all curb ramps at public and private street intersections; signalized entrances; and at channelized or raised islands where a curb ramp or cut-through is provided. DWS may be omitted on curb ramps adjacent to non-signalized private or commercial entrances. No direct payment will be made for detectable warning surfaces.
- 15) The DWS type shall be "Cast-in-Place with Screw Anchoring" (both new and retrofit application) or "Surface Applied with Adhesive" (retrofit only), with the approved manufacturers listed on the "MoDOT Qualified Lists, Qualified Truncated Domes, FS-1067 Table 1" (also see Std. Dwg. C608.51, General Note 4). The "MoDOT Qualified Lists" are located on Internet at: [www.modot.org/business/materials/pdf/main/tables.pdf](http://www.modot.org/business/materials/pdf/main/tables.pdf)
- 16) Detectable Warnings (truncated domes) shall be installed per manufacturer's recommendations and instructions (see Std. Dwg. C608.51). Truncated Domes shall span the full width of the ramp, landing or cut-through island. Stamped concrete truncated domes or grooves will not be accepted.

SAINT LOUIS COUNTY  
DEPARTMENT OF HIGHWAYS AND TRAFFIC  
CLAYTON, MISSOURI

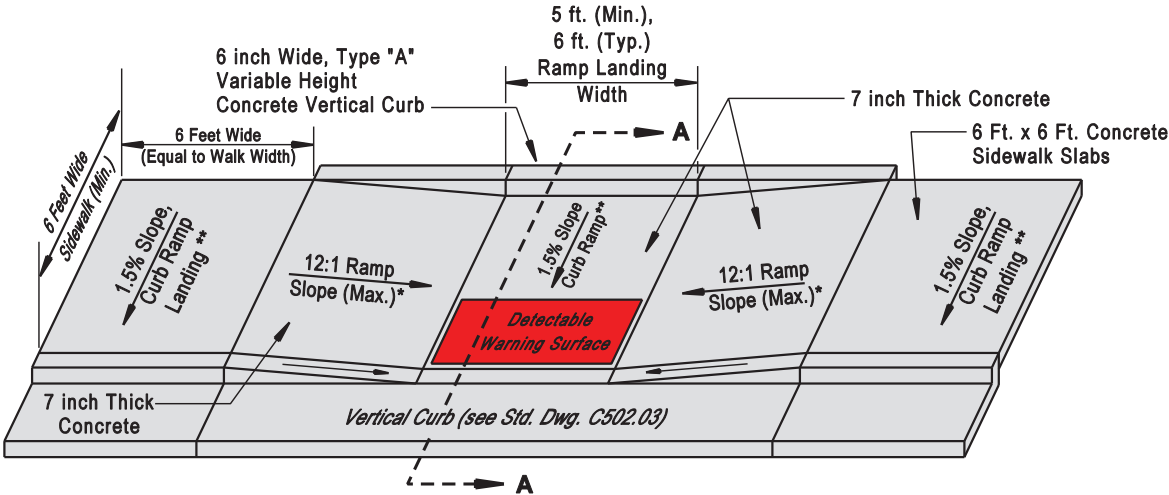
**SIDEWALK & CURB RAMP DETAILS  
CONCRETE SIDEWALK AND  
CURB RAMP DETAILS  
(TYPES 1 & 2)**

REVISION DATE: March 1, 2010

DRAWING  
C608.40

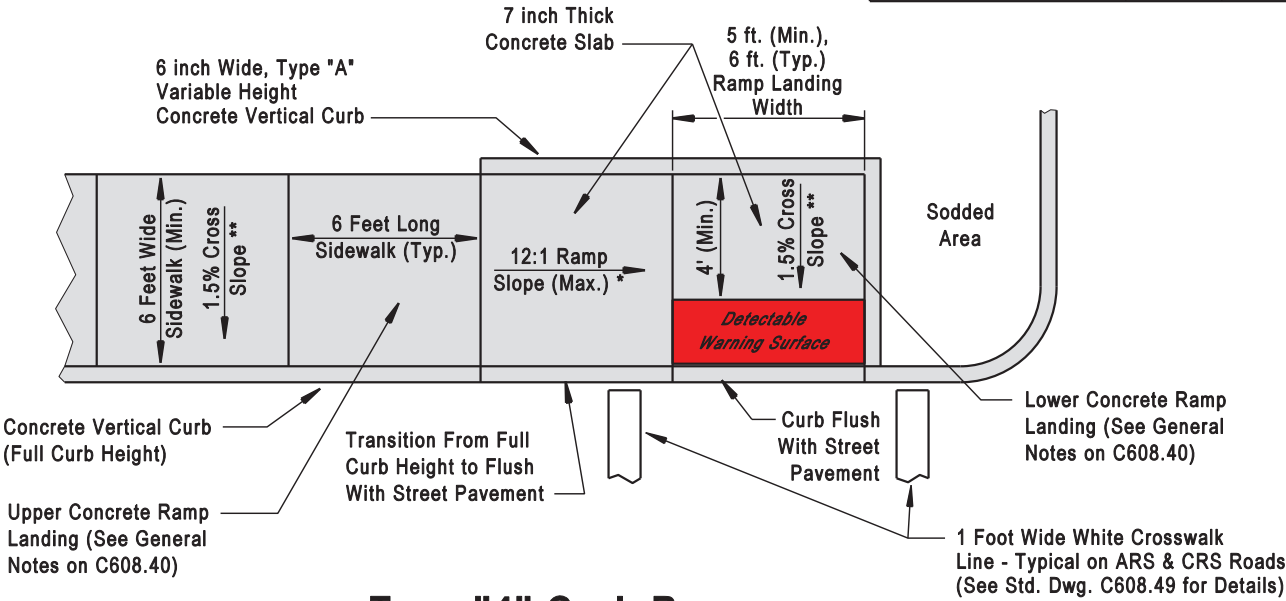
| NEW    | REVISIONS |  |  |  |
|--------|-----------|--|--|--|
| 3-1-10 |           |  |  |  |

| ST. LOUIS COUNTY PROJ. |              |              |
|------------------------|--------------|--------------|
|                        | SHEET NUMBER | TOTAL SHEETS |
|                        |              |              |

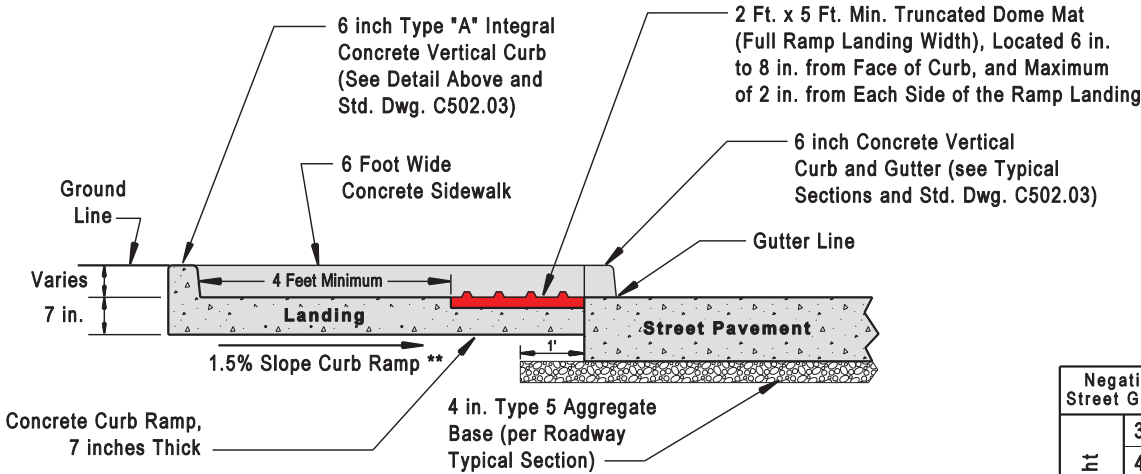


\* See General Notes (Std. Dwg. C608.40)  
 \*\* Cross Slope 1.5% (+ or - 0.5%)

**Type "3" Curb Ramp (Sidewalk Back of Vertical Curb)**



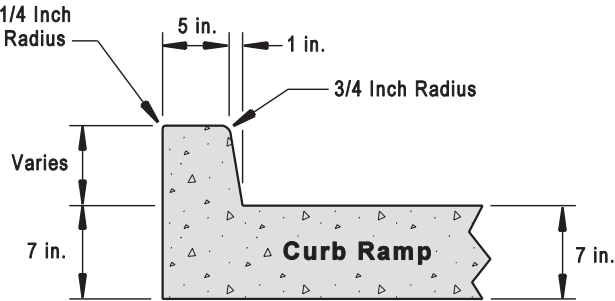
**Type "4" Curb Ramp  
(Parallel Changing Direction)**



**Section A - A**

**General Notes**

- 1) Do not scale drawing, follow dimensions.
- 2) See Standard Drawing C608.40, "Concrete Curb Ramp Details (Types 1 & 2)" for the remainder of the "General Notes" for this drawing as well as ramp construction details.



**Type "A"  
Concrete Vertical Curb  
(Monolithic)**

**Curb Ramp (Type 3 & 4) Length Tables ##**

| Negative Street Grade |       | 0%      | - 1%    | - 2%     | - 3%     | - 4%    | - 5%     | - 6%     | - 7%    | - 8%    |
|-----------------------|-------|---------|---------|----------|----------|---------|----------|----------|---------|---------|
| Curb Height           | 3 in. | 3ft-0in | 2ft-8in | 2ft-5in  | 2ft-2in  | 2ft-0in | 1ft-11in | 1ft-9in  | 1ft-8in | 1ft-6in |
|                       | 4 in. | 4ft-0in | 3ft-7in | 3ft-3in  | 2ft-11in | 2ft-8in | 2ft-6in  | 2ft-4in  | 2ft-2in | 2ft-0in |
|                       | 5 in. | 5ft-0in | 4ft-6in | 4ft-1in  | 3ft-8in  | 3ft-5in | 3ft-2in  | 2ft-11in | 3ft-0in | 3ft-0in |
|                       | 6 in. | 6ft-0in | 5ft-4in | 4ft-10in | 4ft-5in  | 4ft-1in | 3ft-9in  | 3ft-6in  | 3ft-0in | 3ft-0in |
|                       | 7 in. | 7ft-0in | 6ft-3in | 5ft-8in  | 5ft-2in  | 4ft-9in | 4ft-5in  | 4ft-1in  | 4ft-0in | 4ft-0in |
|                       | 8 in. | 8ft-0in | 7ft-2in | 6ft-5in  | 5ft-11in | 5ft-5in | 5ft-0in  | 4ft-8in  | 4ft-0in | 4ft-0in |

| Positive Street Grade |       | 0%      | + 1%     | + 2%     | + 3%      | + 4%     | + 5%     | + 6%     | + 7% | + 8% |
|-----------------------|-------|---------|----------|----------|-----------|----------|----------|----------|------|------|
| Curb Height           | 3 in. | 3ft-0in | 3ft-5in  | 3ft-11in | 4ft-8in   | 5ft-9in  | 7ft-6in  | 10ft-9in | #    | #    |
|                       | 4 in. | 4ft-0in | 4ft-7in  | 5ft-3in  | 6ft-3in   | 7ft-8in  | 10ft-0in | 14ft-3in | #    | #    |
|                       | 5 in. | 5ft-0in | 5ft-8in  | 6ft-7in  | 7ft-10in  | 9ft-7in  | 12ft-6in | #        | #    | #    |
|                       | 6 in. | 6ft-0in | 6ft-10in | 7ft-11in | 9ft-5in   | 11ft-6in | 15ft-0in | #        | #    | #    |
|                       | 7 in. | 7ft-0in | 7ft-11in | 9ft-3in  | 10ft-11in | 13ft-6in | #        | #        | #    | #    |
|                       | 8 in. | 8ft-0in | 9ft-1in  | 10ft-6in | 12ft-6in  | #        | #        | #        | #    | #    |

# - Indicates Ramp Excess of 15 Feet and May Require Alternate Design as Determined by the Engineer.  
 ## - Includes Type 1 Ramp When Located in 4 inch Raised Monolithic Concrete Island.

SAINT LOUIS COUNTY  
 DEPARTMENT OF HIGHWAYS AND TRAFFIC  
 CLAYTON, MISSOURI

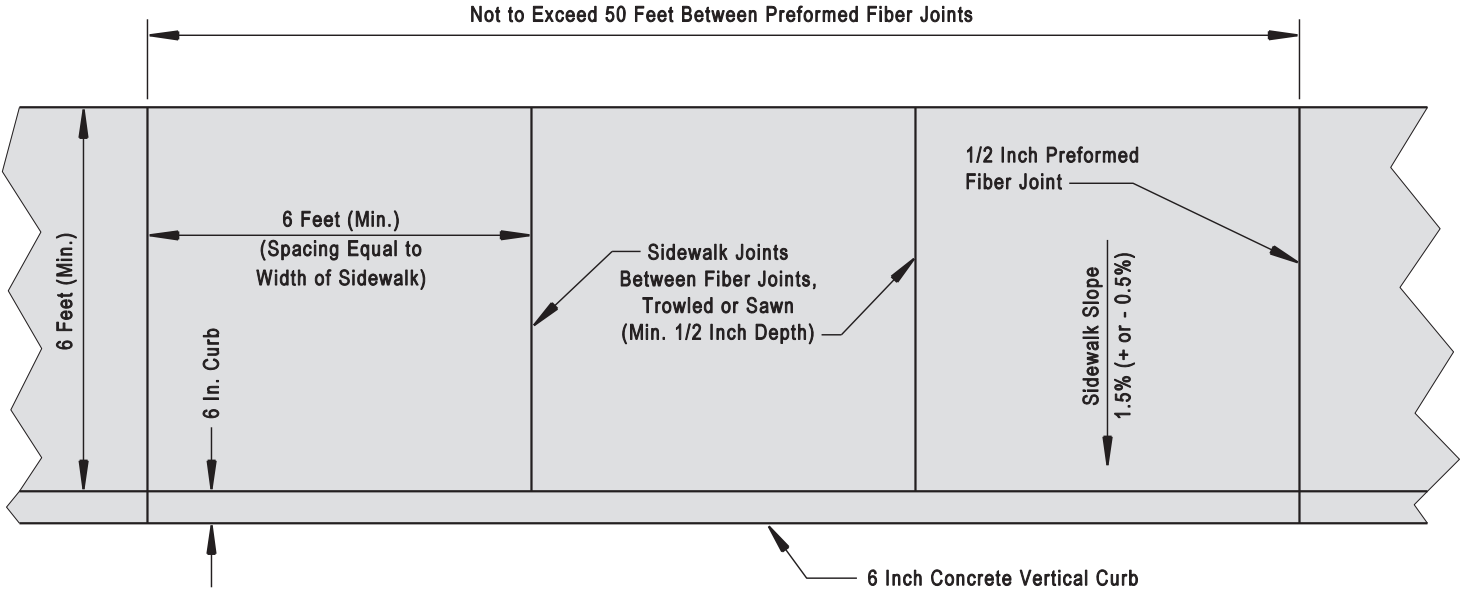
**SIDEWALK & CURB RAMP DETAILS  
 CONCRETE SIDEWALK AND  
 CURB RAMP DETAILS  
 (TYPES 3 & 4)**

REVISION DATE: March 1, 2010

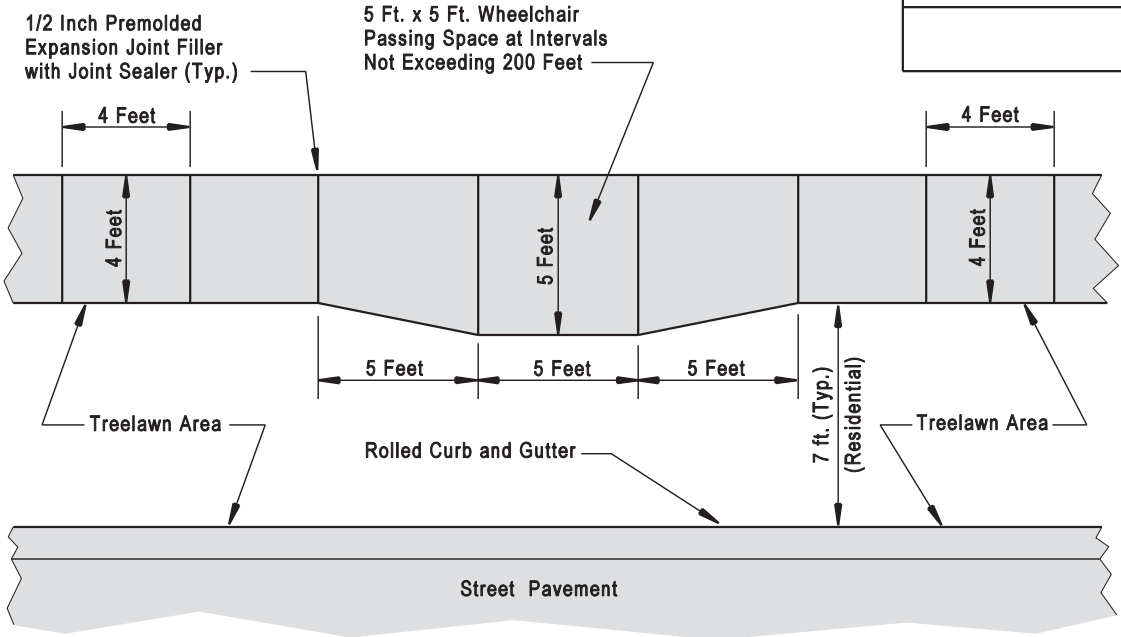
**DRAWING  
 C608.41**

|        |           |  |  |  |
|--------|-----------|--|--|--|
| NEW    | REVISIONS |  |  |  |
| 3-1-10 |           |  |  |  |

|                        |              |              |
|------------------------|--------------|--------------|
| ST. LOUIS COUNTY PROJ. |              |              |
|                        | SHEET NUMBER | TOTAL SHEETS |
|                        |              |              |



**Concrete Sidewalk at Back of Vertical Curb**



**Wheelchair Passing Space  
(4 Foot Wide Residential Sidewalk)**

Note: The intersection of two sidewalks or the intersection of a sidewalk and a driveway may serve as a wheelchair passing space on sidewalks less than 5 feet wide ( as determined by engineer).

**General Notes**

- 1) Do not scale drawing, follow dimensions.
- 2) For sidewalk placement, see the appropriate typical section standard drawing.
- 3) Final sidewalk width will be determined by the engineer during the plan review process. Site conditions may require a wider sidewalk width than the minimums shown on this drawing.
- 4) See Standard Drawing C608.40, "Concrete Curb Ramp Details (Types 1 & 2)", for additional sidewalk construction requirements. The requirements are shown in the "General Notes" section of standard drawing C608.40.

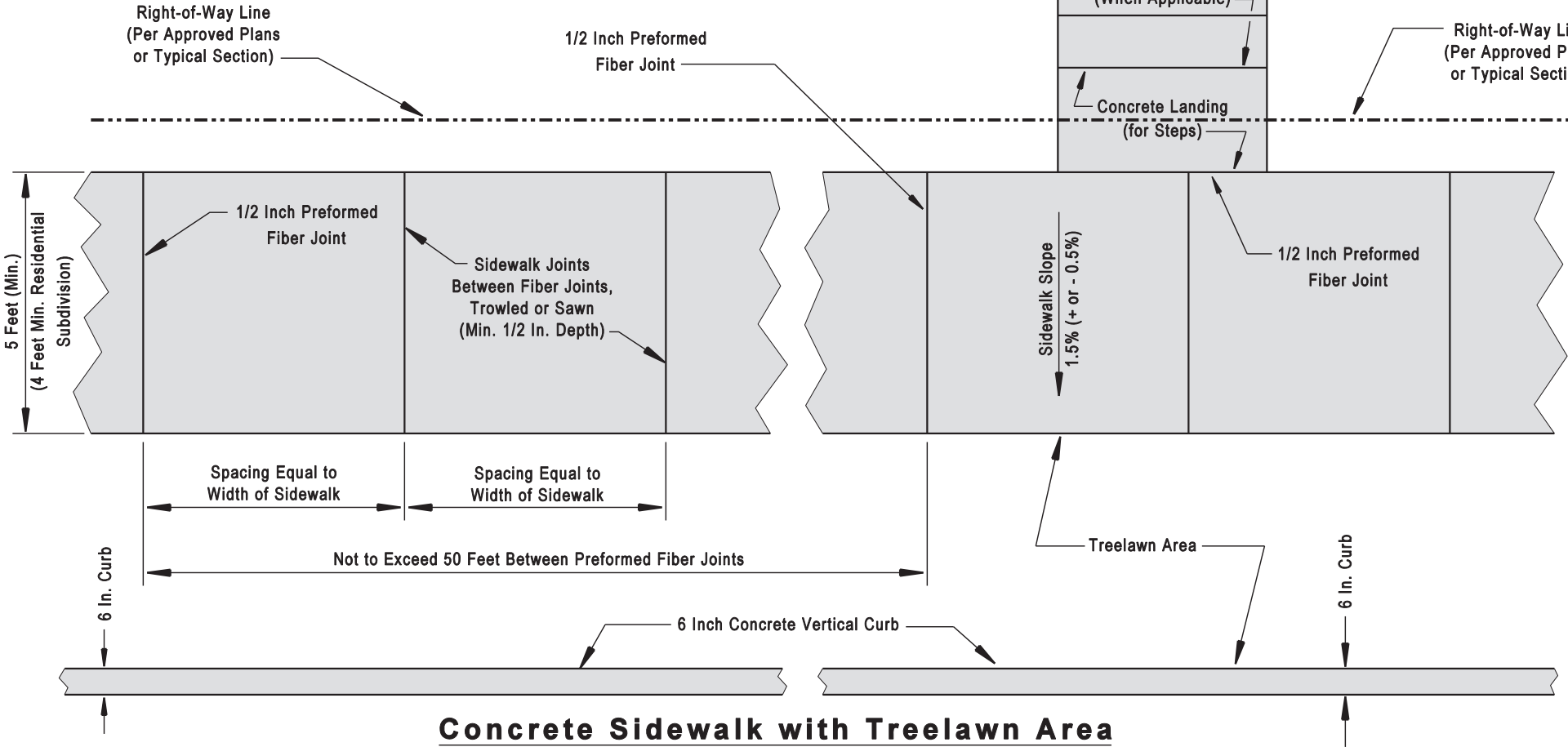
**Minimum Sidewalk  
Size Requirements**

**With Treelawn Area**

|                     |               |
|---------------------|---------------|
| Residential Streets | 4 ft. x 4 ft. |
| Collector Road      | 5 ft. x 5 ft. |
| Arterial Road       | 5 ft. x 5 ft. |

**At Back of Vertical Curb**

|                |               |
|----------------|---------------|
| Collector Road | 6 ft. x 6 ft. |
| Arterial Road  | 6 ft. x 6 ft. |



SAINT LOUIS COUNTY  
DEPARTMENT OF HIGHWAYS AND TRAFFIC  
CLAYTON, MISSOURI

**SIDEWALK & CURB RAMP DETAILS  
CONCRETE SIDEWALK  
DETAILS**

REVISION DATE: March 1, 2010

DRAWING  
C608.50

| NEW     | REVISIONS |         |          |        |
|---------|-----------|---------|----------|--------|
| 7-24-03 | 6-8-05    | 7-31-07 | 10-22-08 | 3-1-10 |

ST. LOUIS COUNTY PROJ.

| SHEET<br>NUMBER | TOTAL<br>SHEETS |
|-----------------|-----------------|
|                 |                 |

## General Notes

1) Do not scale drawings, follow dimensions.

2) The surface shall be compliant with the "Americans with Disabilities Act Accessibility Guidelines (ADAAG)", Detectable Warnings (Paragraph 4.29), and Curb Ramps (Paragraph 4.7), and Ramps (Paragraph 4.8). Non-compliance shall be removed and corrected at contractor's expense.

3) The contractor and/or manufacturer must provide a performance warranty on the product and installation of the Detectable Warning Surface (DWS) for a minimum period of 1-year from the date of project acceptance or installation (whichever date is later). The performance warranty shall guarantee that the DWS is free from defects in workmanship and material including deformation, breakage, excessive wearing or breakage of truncated domes, color fastness, delamination, or attachment to pavement surface.

4) The Detectable Warning Surface (DWS) type shall be "Cast-in-Place with Screw Anchoring" (both new and retrofit applications) or "Suface Applied with Adhesive" (retrofit only), with the approved manufacturers listed on the "MoDOT Qualified Lists, Qualified Truncated Domes, FS-1067 Table 1" (also see Std. Dwg. C608.00). The MoDOT Qualified Lists" are located on the Internet at: [www.modot.org/business/materials/pdf/main/tables.pdf](http://www.modot.org/business/materials/pdf/main/tables.pdf)

5) Refer to St. Louis County Standard Drawings C608.40 through C608.50 for sidewalk and curb ramp details and typical configurations. Truncated dome mats, tiles or panels are required on all raised concrete channelization islands with curb ramps (see Standard Drawing C608.49).

6) SAFETY MEASURES - Using barricades, cones or other safety devices, block off work area to pedestrian and vehicle traffic during installation process. Have work crew be prepared to offer alternate accessible pathway to disabled pedestrians during the time work is being performed and adhesive is curing.

7) Contractors or manufacturers shall at the request of this Department, provide product literature, installation procedures, maintenance instructions, detectable warning (truncated dome) samples (minimum 12 in. x 12 in.), and if necessary current test reports in accordance with ASTM guidelines, and possible test installation by the contractor or manufacturer.

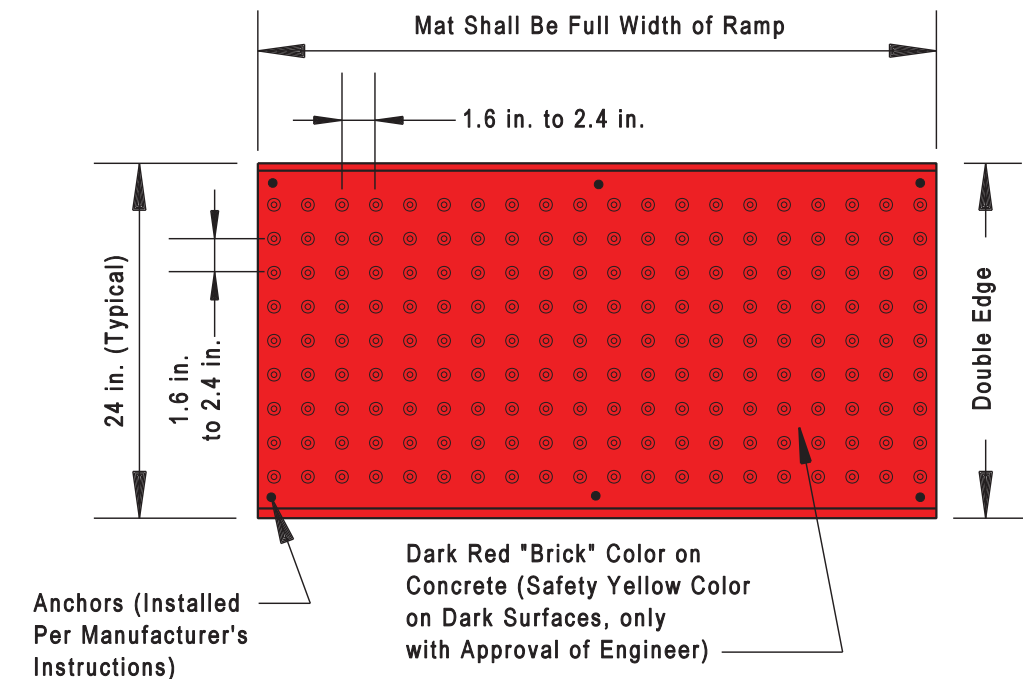
## 8) MATERIALS

Cast-in-place composite tiles or mats shall be made of polyester/vinyl ester reinforced compression molded material or similar approved material, throughout the thickness of the detectable warning surface. Colors shall be dark red "Brick" color (on concrete surface) and Safety Yellow (on dark surfaces with the approval of the engineer). DWS shall meet the Federal standard colors for tactile panels. UV stabilization protection (fade resistance) shall be homogeneous throughout the composite material and not rely on any type of painted or coated surface to achieve color or UV code compliance. Mats or tiles shall have a minimum of six (6) corrosion resistant anchors with color coordinated corrosion resistant fasteners.

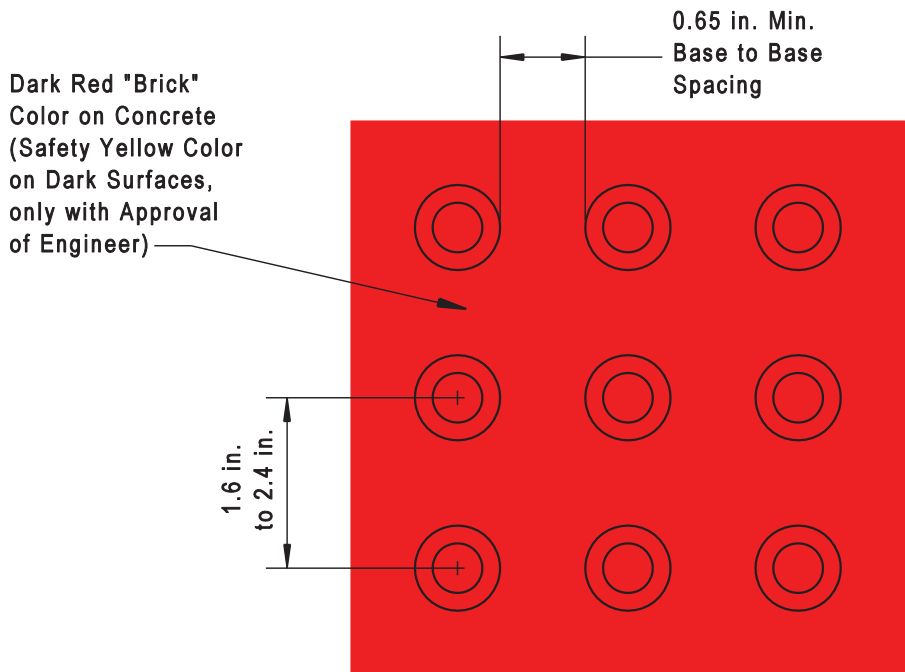
9) Detectable Warning Surface (DWS) shall consist of a surface of truncated domes aligned in a square or radial grid pattern. The pattern shall be aligned with the edge of pavement in the direction of travel. The DWS shall extend 24 inches in the direction of travel and span the full width of the curb ramp (exclusive of flares), landing or blended transition. The DWS shall contrast visually with the ramp or landing surface (dark-on-light surface, or light-on-dark surface), with a slip resistant surface or pattern (comply with ADA and ADAAG guidelines). Truncated domes shall be aligned parallel to the running slope of a ramp, in a square grid, when installed in the direction of pedestrian travel, to permit wheels to roll between the domes. DWS shall be installed 6 in. to 8 in. from the face of curb, the full width of the ramp (max. of 2 in. from each side of the ramp or landing - see Detail "A" on Std. Dwg. C608.40). DWS in a cut-through island, shall be installed full width, aligned with the face of the cut-through island curb (see Std. Dwg. C608.49).

10) The DWS, truncated dome mats, tiles or panels used, shall be consistent throughout the project and are required to be installed on all curb ramps at public and private street intersections; signalized entrances; and at all channelized and raised islands where a curb ramp or cut-through is provided. DWS shall be omitted on curb ramps adjacent to private entrances. The DWS type and location shall be approved by the Engineer prior to installation. No direct payment will be made for detectable warning surfaces.

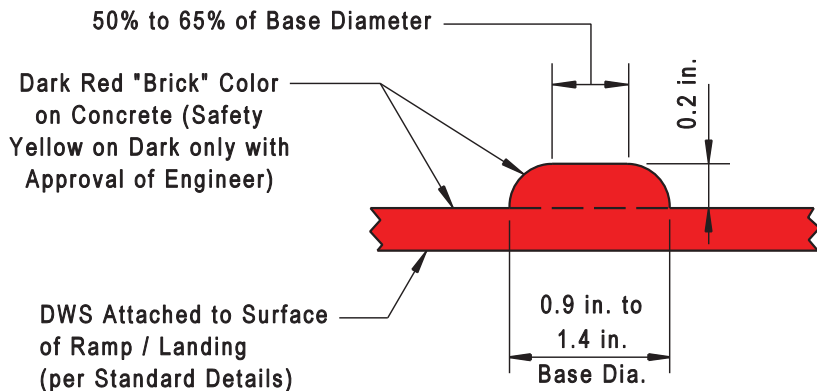
11) Truncated dome mats, tiles or panels shall be a cast-in-place product (new construction) or surface applied (retrofit applications), and approved by the project engineer prior to usage. Tiles or mats shall be pre-formed or pre-cast and installed per manufacturer's recommendations and instructions. Stamped concrete truncated domes or grooves will not be accepted.



### Detectable Warning Surface (DWS) (Mat, Tile or Panel)



### Square Pattern, Parallel Alignment



### Truncated Dome Detail

SAINT LOUIS COUNTY  
DEPARTMENT OF HIGHWAYS AND TRAFFIC  
CLAYTON, MISSOURI

SIDEWALK & CURB RAMP DETAILS  
**DETECTABLE WARNING SURFACE  
FOR NEW CONSTRUCTION AND  
RETROFITTING OF CURB RAMPs**

REVISION DATE: March 1, 2010

DRAWING  
C608.51