

Table of Contents

Agenda	2
Draft minutes from meeting of December 19, 2011.	
Draft minutes from meeting of December 19, 2011.	4
Application #11-031 Text Amendment to Chapter 405, the Zoning Ordinance, of the Code of Ordinances of the City of Creve Coeur, Missouri, and other Code Sections regarding Disables Parking. Public Hearing	
Staff Report	8
Draft Ordinance	11



AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
TUESDAY, JANUARY 17, 2012
7:00 PM

1. ROLL CALL

Mr. Tim Madden, Chair
Mr. Michael Barton
Mr. Gary Eberhardt
Mr. James Faron
Mr. Ken Howard
Ms. Cynthia Kramer
Mr. Jim Schnarr
Mr. Carl Lumley, City Attorney
Mr. Paul Langdon, AICP, Director of Community Development
Ms. Whitney Kelly, AICP, City Planner
Ms. Julie Lowery, Recording Secretary

Pursuant to Section 610.022 RSMO, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or confidential or privileged communications with the City Attorneys as provided under Section 610.021(1)RSMO or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

2. ADDITIONS TO – ACCEPTANCE OF THE AGENDA

3. APPROVAL OF MINUTES

A. Draft minutes from meeting of December 19, 2011.

4. PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

5. **UNFINISHED BUSINESS**

None

6. **NEW BUSINESS**

A. Public Hearing

Application #11-031 Text Amendment to Chapter 405, the Zoning Ordinance, of the Code of Ordinances of the City of Creve Coeur, Missouri, and other code sections regarding disabled parking.

Applicant/Agent: Paul Langdon, AICP
Director of Community Development
City of Creve Coeur

7. **WORK AGENDA**

8. **OTHER BUSINESS**

A. Planning Division Report

- 2012 CIP process

B. City Attorney Report

9. **ADJOURNMENT**

Posted: _____
Julie Lowery
Planning Division Assistant



**CITY OF CREVE COEUR - MINUTES
PLANNING AND ZONING COMMISSION MEETING
MONDAY, DECEMBER 19, 2011
7:30 P.M.**

A public hearing and regular meeting of the Planning and Zoning Commission of the City of Creve Coeur, Missouri was held on Monday, December 19, 2011, at the Creve Coeur Government Center, 300 North New Ballas Road. Chair Tim Madden called the meeting to order at 7:45 p.m.

MEMBERS PRESENT: *Mr. Timothy Madden, Chair*
 Mr. Gary Eberhardt
 Mr. James Faron
 Mr. Ken Howard
 Ms. Cynthia Kramer

OTHERS PRESENT: *Mr. Carl Lumley, City Attorney*
 Mr. Paul Langdon, Director of Community Development
 Ms. Julie Lowery, Recording Secretary

2. ADDITIONS TO – ACCEPTANCE OF THE AGENDA

The Agenda was accepted as written.

3. APPROVAL OF MINUTES

Draft Minutes of November 7, 2011

Mr. Eberhardt moved approval of the draft minutes. Mr. Howard seconded the motion which carried unanimously.

4. PUBLIC COMMENT

None

5. UNFINISHED BUSINESS

None

6. NEW BUSINESS

None

7. WORK AGENDA

A. Discussion of form-based code for the central business district.

Mr. Langdon presented on form-based codes for the Central Business District, which is the area bounded by Olive Boulevard, Old Ballas Road, and North New Ballas Road. Mr. Langdon asked the Commission, for this discussion, to focus on the areas along Olive and North New Ballas because they will face the most development or redevelopment pressure. One principle concern is how the area will sit as experienced from the streets. Mr. Langdon also spoke about parking needs and also how important residents are to the development of the area. Mr. Langdon asked the Commission to think about the possibility of some of the development looking residential but having businesses located in them. Chairman Madden asked if “Creve Coeur Plaza” was talking about redevelopment, and Mr. Langdon replied that yes, they have discussed it as a real possibility, but plans or proposals have ever been developed to the City’s knowledge. Chairman Madden also asked if the City of Creve Coeur owned anything in the area and Mr. Langdon replied, just the streets. Mr. Faron asked if the Old Ballas Village development would experience any displacement. Mr. Langdon responded that all of the residential properties would be expected to remain, but some parking could be affected by the development of roads and adjacent properties. Chairman Madden raised the question, if someone were to want to purchase property tomorrow, where would the parking go? Mr. Langdon replied that it would require a combination of spaced out parking, street parking, and smaller, on-site parking lots. Mr. Faron then asked if we had structured parking in the current buildings and Mr. Langdon replied, yes there is structured parking behind the retail stores at Kings Landing. Mr. Eberhardt raised a question of how does the city get a program like this development started. Mr. Langdon stated that that is a concern since the City does not control the land in the area. He then presented a photo slideshow of other developments and different visual aspects of different types of structures.

Mr. Langdon presented a portion of the draft form-based code and suggested attaching a glossary because the commission and staff need to become familiar with the wording used in the document.

Mr. Langdon also discussed how the developments need to be tied together and instead of leaving sidewalks along the arterials open, they should to be sheltered or covered, as it is more appealing to pedestrians. Issues with MoDOT were also discussed, in regards to what they will want the city to do in the rights-of-way and how their guidelines are clear. Ms. Kramer raised a concern about the public’s perception of traffic concerns. Mr. Langdon responded that the city needs to make sure MoDOT stays focused on traffic signalization issues and to make sure the synchronization is running properly.

Mr. Langdon spoke about required build-lines, and how they do not provide an option; you have to build to a certain line. Mr. Eberhardt stated concern about the success of a program like the one being discussed, especially with changing guidelines into law, that you must be so many feet from the street, but the people who are occupying the space next door are not redeveloping. Mr. Langdon reiterated the notion of a build-to-line is important especially when talking about buildings along arterials but acknowledged

that initially, there may some irregular alignments. He did point out that the areas where redevelopment is most likely also have long street frontages, so that should minimize the concern.

Mr. Langdon asked the Commission to share their feedback and thoughts about the development area. Mr. Langdon also asked the Commission to look at other buildings they see when they are in other cities to educate themselves and to help them decide what, as a group, our comfort level is with the various elements being discussed.

B. Memo regarding revisions to Article VIII Sign Regulations

Mr. Langdon presented on behalf of Whitney Kelly, City Planner, on the City's Sign Regulation codes. The wording in the current ordinance is confusing and hard to read and understand. Staff is seeking Planning and Zoning Commission's feedback and thoughts on the issues with the City's Sign Regulations and issues not addressed. Areas of the sign regulations Mr. Langdon discussed were, sign frontage, square footage, types of signs used, the way signs face the community, tenant signs/office building signs, and the Master Sign Plan vs. Custom Sign Plan.

The Commission is in agreement of letting staff draft new sign regulations for all of the issues presented. After staff completes draft, they will bring it back to the Commission for review.

C. Approval of 2012 meeting schedule

Mr. Langdon presented two potential schedules for 2012. The first schedule would follow the current format we have in place, which potentially allows for a Public Hearing at both meetings for the month. The second schedule will allow the Commission to still meet twice a month, but only have one of the meetings for the month designated for Public Hearings so more time can be spend on work agenda items during the other meeting.

No comments or questions from the Commission.

The motion was made by Mr. Howard to approve the "split meeting" schedule (the second schedule). Mr. Faron seconded the motion with the resultant vote as follows:

Mr. Faron – aye
Ms. Kramer – aye

Mr. Eberhardt – aye
Mr. Howard – aye

Chair – aye

8. OTHER BUSINESS

A. Planning Division Report

Mr. Langdon reported on the memorandum that Mr. Wohlberg, City Engineer, sent to the Planning and Zoning Commission. The memo was in regards to the Storm Water Master Plan to inform the Commission that three projects met MSD's minimum requirements and were forwarded to MSD for their consideration.

Mr. Langdon also reported to the Commission that Jaysen Christensen, Assistant to the City Administrator, is working on the Capital Improvement Plan and Planning and Zoning gets the first review, and Mr. Christensen would like the Commission to relay ideas on what they think needs to be done, or would like to see in the Plan for the coming year.

B. City Attorney Report

None

9. ADJOURNMENT

There being no further business to come before the Planning and Zoning Commission, upon motion being made and duly seconded, the meeting was adjourned at 10:30 p.m.

Timothy Madden, Chair

Julie Lowery, Recording Secretary



city of **CREVE COEUR**

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

**APPLICATION TO PLANNING AND ZONING COMMISSION
#11-031 TEXT AMENDMENT REVISING REQUIREMENTS FOR
ACCESSIBLE PARKING**

FOR THE MEETING OF: January 17, 2012

LOCATION: City-wide

REQUEST:

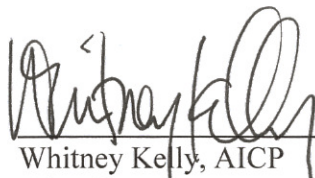
Revise sections of the Code of Ordinances to comply with new State requirements regarding signage for Accessible Parking, and the designation of "lift van accessible only" space

ADDITIONAL INFORMATION:

Missouri Legislature recently enacted HB 555 which includes changes to requirements concerning disabled parking. Therefore the City must revise the Code of Ordinances to comply with new regulations.

APPLICANT: Paul Langdon
Zoning Administrator
Director, Community Development
City of Creve Coeur

REPORT PREPARED BY:


Whitney Kelly, AICP
City Planner


Date

ATTACHMENTS: Draft Ordinance

Key Issues:

- Compliance with Missouri HB 555
- Designation and Appropriate Signage for Accessible Parking Spaces

**Comprehensive Plan
References**

- NA

Zoning Code References

- Section 355.040: Physically Disabled Parking
- Section 405.840: Accessible Parking Requirements
- Section 500.140: Amendments to Chapter 11 International Building Code

INTRODUCTION

The Missouri Legislature recently enacted HB 555, which includes changes to requirements concerning disabled parking. and, such changes necessitate related changes to the Zoning Code and other parts of the City Code of Ordinances concerning parking for the disabled.

DISCUSSION

Section 355.040 Physically Disabled Parking will be revised to stipulate that all new signs designating accessible parking spaces shall not contain the words “Handicap Parking” or “Handicapped Parking”.

Similarly, Section 405.840 Accessible Parking Requirements will be revised to include specific geometric requirements for lift-van parking spaces as follows:

A. *General.* All applicants for site development plan approval for a new or changed development should be aware of the requirements of the federal Americans with Disabilities Act (ADA), as amended, and any rules or regulations established pursuant thereto.

B. *Accessible Parking Spaces.* Accessible parking spaces shall be a minimum of eight (8) feet in width and each space shall have access to a five (5) foot wide access aisle. In addition, at least one (1) of the accessible parking spaces must be capable of accommodating a wheelchair van which shall be provided a parking space of eight (8) feet wide plus an eight (8) foot wide discharge area. All accessible parking spaces shall be identified by light blue lines and an accessible symbol painted on the pavement and by an accessible parking space sign for each space. Notwithstanding the foregoing, effective August 28, 2011, for any re-striped or newly constructed parking lot, one in every four accessible spaces, and in no event less than one, shall be served by an access aisle a minimum of 96 inches wide and shall be designated “lift van accessible only” with signs that meet the requirements of the federal American Disabilities Act, as amended, and any rules or regulations established pursuant thereto.

C. *Signs.* Beginning August 28, 2011, all new signs designating accessible parking spaces shall not contain the words “Handicap Parking” or “Handicapped Parking”.

D. *Non-conformities.* Nonconforming signs or spaces in use prior to August 28, 2011 shall not be in violation of this section during the useful life of such signs or spaces. Under no circumstances shall the useful life of a nonconforming sign or space be extended by means other than those used to maintain any other sign or space on the same property.

Section 500.140 Amendments to Chapter 11 International Building Code will be revised to reference the section above as follows:

Section 1106.5 Van spaces. Accessible spaces must comply with the requirements of Section 405.840 of the Zoning Code.

MOTION

If the Commission members wish to proceed with an action on the proposed text amendment, the following is an example of an appropriate motion for this application:

“I move to recommend approval of a text amendment to amend Chapter 405, the Zoning Ordinance, and other code sections regarding disabled parking, as described in the staff report on application #11-031, for the meeting of January 17, 2012.”

APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE TO AMEND CHAPTER 405, THE ZONING ORDINANCE, OF THE
CODE OF ORDINANCES OF THE CITY OF CREVE COEUR, MISSOURI, AND
OTHER CODE SECTIONS REGARDING DISABLED PARKING.**

WHEREAS, the Missouri Legislature recently enacted HB 555 which includes changes to requirements concerning disabled parking; and,

WHEREAS, such changes necessitate related changes to the Zoning Code and other parts of the City Code of Ordinances concerning such parking; and,

WHEREAS, the Planning and Zoning Commission of the City of Creve Coeur, Missouri, held a public hearing thereon at the Creve Coeur Government Center on January 17, 2012, beginning at 7:00 p.m., or immediately following the close of the previous public hearing; and

WHEREAS, notice of said public hearing had previously been published at least 15 days prior to the hearing in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and

WHEREAS, all persons who presented themselves at said meeting and desiring to be heard were given an opportunity to be heard; and

WHEREAS, Planning and Zoning Commission reviewed and by _____ vote recommended approval of the amendments to the Zoning Code at its meeting on January 17, 2012; and

WHEREAS, a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the City Council; and this Bill having been read by title in open meeting two times before final passage by the City Council; and

WHEREAS, the City Council being fully informed finds that amending the City Code of Ordinances would be in harmony with and bear a substantial relation to the public welfare, health, safety, comfort and convenience of the citizens of the City of Creve Coeur and in the public interest.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, Missouri as follows:

SECTION 1. SECTION 355.040: PHYSICALLY DISABLED PARKING is revised to read as follows:

A. It shall be unlawful for any person to park or stand any vehicle in any stall or space designated or reserved for physically disabled persons, as defined in Section 301.142, RSMo., as amended, whether upon public or private property open to public use, unless the vehicle bears the State of Missouri license plate or placard for the disabled as provided for in Sections 301.071 or 301.142, RSMo., as amended. The space shall be indicated by an upright sign whether on a pole or attached to a building upon which shall be inscribed the international symbol of accessibility and may also include any

appropriate wording such as “Accessible Parking” to indicate that the space is reserved for the exclusive use of vehicles which display a distinguishing license plate or card. The sign described in this Subsection shall also state, or an additional sign shall be posted below or adjacent to the sign stating, the following: “\$50 to \$300 fine”. Beginning August 28, 2011, all new signs designating accessible parking spaces shall not contain the words “Handicap Parking” or “Handicapped Parking”.

B. Any vehicle operator who is not physically disabled shall not use ~~at the handicapped~~ parking space reserved for physically disabled persons unless there is a physically disabled person in the vehicle or while the vehicle is being used to transport a physically disabled person.

C. Any person convicted of violating this Section is guilty of an offense and shall be subject to a fine of not less than fifty dollars (\$50.00) nor more than three hundred dollars (\$300.00). Every day upon which such violation occurs shall constitute a separate offense.

SECTION 2. SECTION 405.840: ACCESSIBLE PARKING REQUIREMENTS is revised to read as follows:

A. *General.* All applicants for site development plan approval for a new or changed development should be aware of the requirements of the federal Americans with Disabilities Act (ADA), as amended, and any rules or regulations established pursuant thereto of 1990 including provisions of the Act which were effective as of January 26, 1992.

B. *Accessible Parking Spaces.* Accessible parking spaces shall be a minimum of eight (8) feet in width and each space shall have access to a five (5) foot wide access aisle. In addition, at least one (1) of the accessible parking spaces must be capable of accommodating a wheelchair van which shall be provided a parking space of eight (8) feet wide plus an eight (8) foot wide discharge area. All accessible parking spaces shall be identified by light blue lines and an accessible symbol painted on the pavement and by an accessible parking space sign for each space. Notwithstanding the foregoing, effective August 28, 2011, for any re-striped or newly constructed parking lot, one in every four accessible spaces, and in no event less than one, shall be served by an access aisle a minimum of 96 inches wide and shall be designated “lift van accessible only” with signs that meet the requirements of the federal American Disabilities Act, as amended, and any rules or regulations established pursuant thereto.

C. *Signs.* Beginning August 28, 2011, all new signs designating accessible parking spaces shall not contain the words “Handicap Parking” or “Handicapped Parking”.

D. *Non-conformities.* Nonconforming signs or spaces in use prior to August 28, 2011 shall not be in violation of this section during the useful life of such signs or spaces. Under no circumstances shall the useful life of a nonconforming sign or space be extended by means other than those used to maintain any other sign or space on the same property.

**SECTION 3. SECTION 500.140: AMENDMENTS TO CHAPTER 11
INTERNATIONAL BUILDING CODE** is amended to read as follows:

Chapter 11--Accessibility. Chapter 11 of the International Building Code, 2003 Second Edition, is amended as set forth herein. Each section, subsection, or clause of the code that numerically corresponds to one of the following numbered provisions is hereby deleted where so noted, or amended to read as set forth below. Each provision set out below without a corresponding section, subsection, or clause number is hereby enacted and added thereto.

Section 1106.5 Van spaces. ~~For every six or fraction of six accessible parking spaces, at least one shall be a van-accessible parking space. Where accessible parking is provided within or beneath a building, at least one van-accessible parking space shall also be provided within or beneath the building adjacent to the other interior accessible parking spaces. Accessible spaces must comply with the requirements of Section 405.840 of the Zoning Code.~~

Section 1109.2 Toilet and Bathing Facilities. No changes made.

Exceptions:

- 1--3. No changes made.
4. Delete the reference to "International Plumbing Code" and substitute "St. Louis County Plumbing Code".
- 5--6. No changes made. (R.O. 2008 §6-29; Ord. No. 4076 §1, 5-14-07)

SECTION 4. Other references to "handicap", "handicapped" or "physically handicapped" parking in the Code of Ordinances, including but not limited to Sections 300.010, 340.090, 405.120, 405.370, 405.390, 405.450, 405.810, and 405.1080, shall be revised to refer to "physically disabled" parking.

SECTION 5. In order to improve compliance with the changes in parking requirements established herein, the City Administrator shall cause notice of these changes to be provided to the public by means of the City website, newsletters, and such other forms of communication as he may deem appropriate.

SECTION 6: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2012.

TARA NEALY
PRESIDENT OF CITY
COUNCIL

APPROVED THIS ____ DAY OF _____, 2012.

HAROLD DIELMANN
MAYOR

ATTEST:

DEBORAH RYAN, MRCC
CITY CLERK