



AGENDA
CITY OF CREVE COEUR
BOARD OF ADJUSTMENT
CITY COUNCIL CHAMBER
MAY 18, 2023
4:00 PM

CALL TO ORDER

ROLL CALL

Mr. Glen Wilen (Chair)
Mr. James Kostelc
Mr. Robert Mooney
Mr. Martin Satz
Mr. Arnold Mayersohn (Alternate)
Ms. Dana Connon (Alternate)

Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, AICP, Director of Community Development
Ms. Bethany L. Moore, City Planner
Ms. Megan Waller, Administrative Supervisor/Recording Secretary

APPROVAL OF MINUTES

- 1. March 16, 2023 Board of Adjustment Draft Meeting Minutes**

ACCEPTANCE OF THE AGENDA

UNFINISHED BUSINESS

NEW BUSINESS

- 2. Application #12441: Variance Request for the Property At 12441 Cross Green Lane To Allow For a Rear Addition Within the Existing building Footprint of the Non-Conforming House to Encroach 18 Feet, 6 and ½ Inches into the Required 30 Foot Rear Yard Setback**

Summary: Audrey and Gregory Cmarik, owners, have submitted an application for a variance request to encroach 18 foot, 6 1/2 inches into the required 30 foot rear yard setback at 12441 Cross Green Lane in the "B-RDD" Single Family Residential Zoning District in order to build a new rear, second story addition within the footprint of the existing first story. Section 405.610(D)(1) states that no structure shall be constructed, reconstructed or structurally altered in such a manner as to project into the area prescribed as a setback from a public or approved private street or as established by this Chapter. The subject property is within the Country Forest Subdivision, zoned B-RDD, where unless otherwise noted on the subdivision plat the standards fall back to the underlying B zoning district, per Section 405.450(D)(1)(c) of the Residential Designed Development



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Procedure. The subdivision plat does not indicate a reduced rear yard and B Zoning District has a rear yard setback of thirty (30) feet, per Section 405.260(E)(4)(e). Section 405.610(B)(2) Non-conformities states that any such structure described in Subsection (B)(1) may be maintained, repaired or remodeled; provided however, that no such maintenance, repair or remodeling shall either create any additional non-conformity or increase the degree of existing non-conformity of all or any part of such structure.

BUSINESS FROM STAFF

ADJOURNMENT

Pursuant to Section 610.022 RSMO, the Board of Adjustment could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or confidential or privileged communications with the City Attorney as provided under Section 610.021(1) RSMO or other matters as permitted by Chapter 610.

Posted by: _____

Date/Time posted: _____

If you need special accommodations to attend a meeting, services may be arranged by contacting the Office of the City Administrator in advance.



**MINUTES
CITY OF CREVE COEUR
BOARD OF ADJUSTMENT
CITY COUNCIL CHAMBER
MARCH 16, 2023
4:00 PM**

CALL TO ORDER

The meeting was called to order at 4:00 PM.

ROLL CALL

**Mr. Glen Wilen (Chair)
Mr. James Kostelc
Mr. Robert Mooney
Mr. Martin Satz
Mr. Arnold Mayersohn (Alternate)**

The following staff were also present:

**Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, AICP, Director of Community Development
Ms. Bethany L. Moore, City Planner
Ms. Megan Waller, Administrative Supervisor/Recording Secretary**

ACCEPTANCE OF THE AGENDA

Mr. Satz motion to approve the agenda. Mr. Mooney seconded. All in favor.

APPROVAL OF MINUTES

1. November 17, 2022 Board of Adjustment DRAFT Meeting Minutes

Mr. Mayersohn made a motion to approve the November 17, 2022 meeting minutes. Mr. Kostelc seconded. All in favor.

UNFINISHED BUSINESS

None

NEW BUSINESS

2. Application #23-610: Variance Request For The Property At 610 Rue de Fleur for a Site Coverage Increase of 17% Over the Allowed 25% Site Coverage Maximum in Order to Construct a New 18x28 Accessory Structure



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Those speaking to the request were sworn in.

Mr. Correy Miller, 2701 Williams Creek Rd., High Ridge, MO 63049, stated that the variance request is for a covered paver patio that will exceed the allowable site coverage for the lot.

Mr. Miller stated that the proposed covered patio will include a privacy wall with a mounted television.

Mr. Miller stated that the current fence will be extended to include the proposed patio.

Mr. Miller stated that a landscape plan has not yet been developed due to anticipated coordination with neighbor.

Mr. Miller stated that the variance is required because the lot is smaller than the minimum lot size requirement in the A zoning district.

Mr. Wilen asked if the pavers will be permeable. Mr. Miller stated that the pavers selected do have a level of permeability, but a true permeable paver would have been cost prohibitive.

Mr. Kostelc asked if the proposed patio will interfere with the rear entry driveway. Mr. Miller stated that it will not.

Ms. Bethany Moore, City Planner, stated that the lot size is less than 1/3 the minimum for the A zoning district.

Ms. Moore stated that the subject property is one of only two lots within the subdivision of this size and resulted from unexplained larger zoning size at time of annexation. She reminded the Board of a variance approved for the other lot to allow rebuilding after a fire.

Ms. Moore stated that the pool and the four feet of concrete around it does not count towards the site coverage calculation.

Ms. Moore stated that because the proposed covered patio is within the setbacks, it meets the requirements for accessory structures.



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Ms. Moore stated that granting of the variance requested will not adversely affect the public health safety or convenience of the community.

Ms. Moore stated that granting the variance will not violate the general spirit or intent of the board.

Ms. Moore stated that the lot size in the A zoning district does create a hardship to the property.

Ms. Moore stated that stormwater runoff will be reviewed at the permitting stage.

Mr. Mooney asked if the rock barrier along the back of the fence will remain. Mr. John Harbraugh, 610 Rue de Fleur, was sworn in. Mr. Harbraugh stated that the rock bed at the back of the property was put in by the water company due to a water main break and will remain.

Mr. Carl Lumley, City Attorney, offered the exhibits to the record.

Mr. Wilen closed the public hearing.

Mr. Wilen made a motion to approve the variance request. Mr. Kostelc seconded. All in favor.

Mr. Wilen made a motion to authorize staff to prepare and the chair to execute the findings of facts and conclusions of law. Mr. Kostelc. All in favor.

RESULT: Approved
MOVER: Wilen
SECONDER: Kostelc
AYES: Glenn Wilen, Robert Mooney, Martin Satz, James Kostelc, Arnold Mayersohn
NAYS: None

BUSINESS FROM STAFF

Ms. Moore stated that as of now there are no applications to be heard next month.

3. Election of Chair and Vice Chair

Mr. Mayersohn made a motion to elect Mr. Glen Wilen as chair. Mr. Satz seconded. All in favor.



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MARCH 16, 2023**

4:00 PM

Mr. Wilen nominated Mr. Kostelc as vice chair. Mr. Mooney seconded. All in favor.

ADJOURNMENT

Mr. Wilen made a motion to adjourn. Mr. Mayersohn seconded. All in favor. The meeting adjourned at 4:33 PM.

Submitted by:

Chair

Recording Secretary



**MINUTES
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BOARD OF ADJUSTMENT
CITY COUNCIL CHAMBER
MARCH 16, 2023
4:00 PM**



city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141

(314) 432-6000 • Fax (314) 872-2539

APPLICATION TO THE BOARD OF ADJUSTMENT

#23-12441: VARIANCE REQUEST FOR THE PROPERTY AT 12441 CROSS GREEN LANE TO ALLOW FOR A REAR ADDITION WITHIN THE EXISTING BUILDING FOOTPRINT OF THE NON-CONFORMING HOUSE TO ENCROACH 18 FEET, 6 AND ½ INCHES INTO THE REQUIRED 30 FOOT REAR YARD SETBACK

FOR THE MEETING OF: Thursday, May 18 2023

SUBJECT PROPERTY LOCATION: 12441 Cross Green Lane, Zoned “B-RDD” Single Family Residential District.

REQUEST: Audrey and Gregory Cmarik, owners, have submitted an application for a variance to encroach 18 foot, 6 1/2 inches into the required 30 foot rear yard setback at 12441 Cross Green Lane in the "B-RDD" Single Family Residential Zoning District in order to build a new rear, second story addition within the footprint of the existing first story. Section 405.610(D)(1) states that no structure shall be constructed, reconstructed or structurally altered in such a manner as to project into the area prescribed as a setback from a public or approved private street or as established by this Chapter.

ADDITIONAL INFORMATION: The subject property is within the Country Forest Subdivision, zoned B-RDD, where unless otherwise noted on the subdivision plat the standards fall back to the underlying B zoning district, per Section 405.450(D)(1)(c) of the Residential Designed Development Procedure. The subdivision plat does not indicate a reduced rear yard and B Zoning District has a rear yard setback of thirty (30) feet, per Section 405.260(E)(4)(e). Section 405.610(B)(2) Non-conformities states that any such structure described in Subsection (B)(1) may be maintained, repaired or remodeled; provided however, that no such maintenance, repair or remodeling shall either create any additional non-conformity or increase the degree of existing non-conformity of all or any part of such structure.

Key Issues:

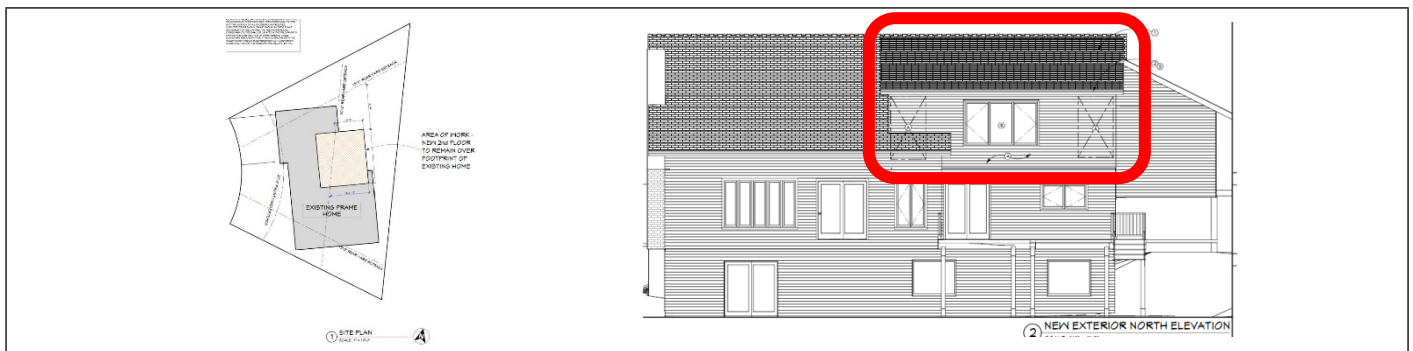
- Impact to neighborhood
- Property versus owner hardship

Zoning Code References

- Section 405.260: “B” Single-Family Residential
- Section 405.450(C): Residential Design Development Procedure
- 405.610: Non-conformities
- Section 405.1040: Board of Adjustment
- Section 405.1110 Variances and Appeals

OWNER/ Audrey and Greg Cmarik
APPLICANT: 12441 Cross Green Lane
Creve Coeur, MO 63141

Applicant: Geoff Anderson, Mosby Building Arts
645 Leffingwell Ave
Kirkwood, MO 63122



REPORT PREPARED BY: Bethany L. Moore, City Planner
DATE: 5/9/2023
ATTACHMENTS: Applicant's Materials submitted April 14, 2023

BASIS FOR APPEAL AND STATED HARDSHIP

The subject property is located in the Country Forest Subdivision, which was established in 1972, and was zoned B Single Family Residential, with Residential Designed Development (RDD) Designation. Section 405.450(D) Residential Designed Development Procedure provides a permissive, voluntary and alternate zoning procedure in the "A", "B", "C" and "D" single-family residential and "AR" attached residential zoning districts in order to permit greater flexibility in the size and configuration of lots without altering the allowable residential density in these districts and to provide for desirable and proper common open space, tree cover, recreation areas, parks or scenic vistas and the preservation of the natural beauty of the City.

Subsection (1)(c) Yards of the Residential Designed Development requires that the minimum front yard and side yard requirements for each lot as set out in the regulations for the single-family residential zoning district where such site is located may be reduced by the City Council and, if so reduced, shall be set out on the preliminary subdivision plan to be submitted in accordance with Chapter 410, Subdivision and Development of Land. Otherwise, any regulation falls back to the underlying zoning district. In this case that means that the rear yard setback falls back to the requirements for the B District because the rear yard setback is not specified outside of the indentures, which are not enforced by the City.

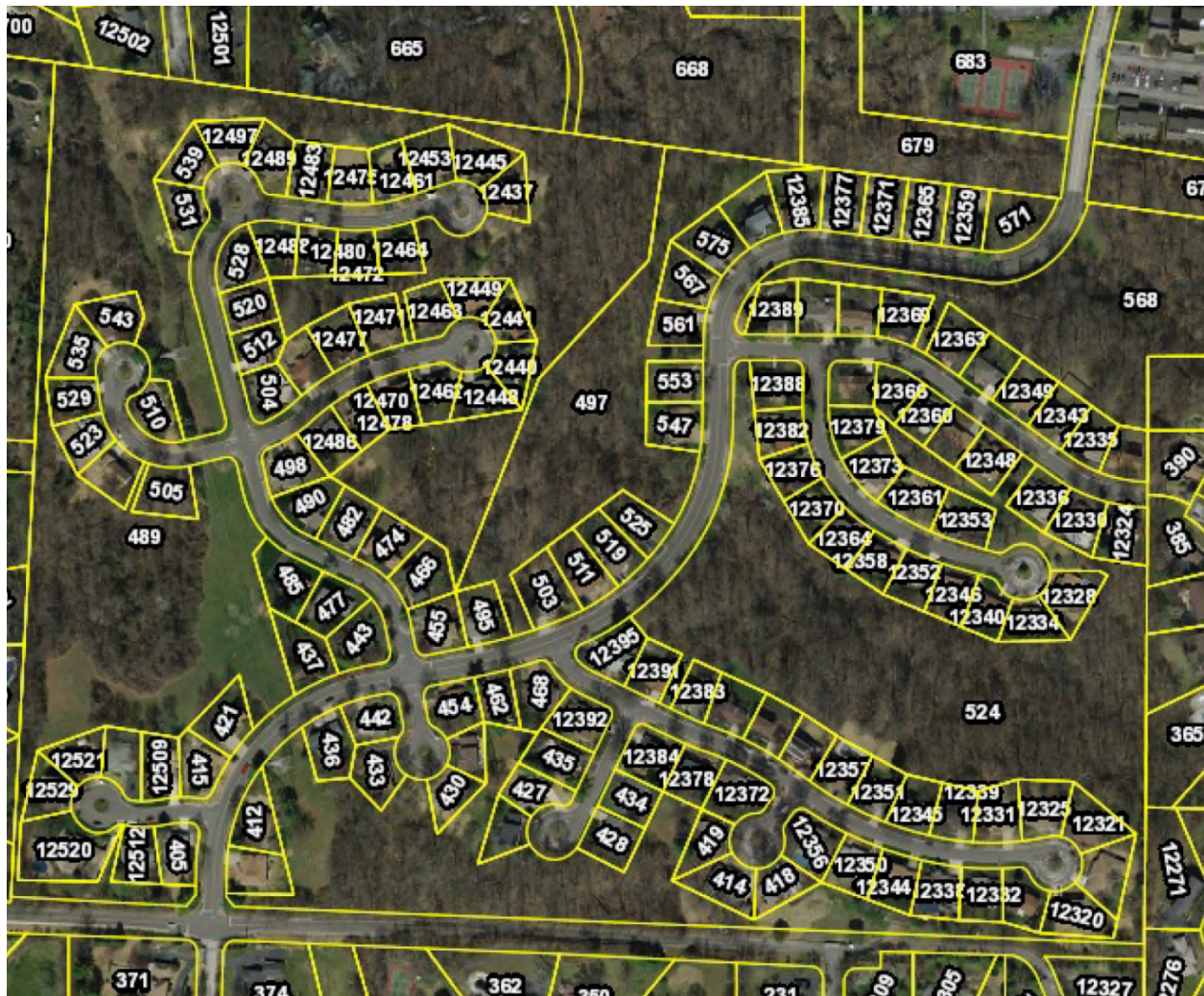


Figure 1: City's GIS Image of the Country Forest Subdivision



Figure 2: Close-up of the Country Forest Subdivision Plat 2. The Subject property is Lot 139.



Figure 3: GIS Image of the property.

The B Zoning District has a 45-foot front yard, and a side yard of 15 feet or 15% of the lot width, whichever is less, provided that a minimum side yard of seven and one-half (7 1/2) feet must be provided for any non-conforming lot, per Section 405.260(E)(4)(c) and a rear yard of 30 feet, with lot size greater than twenty thousand (20,000) square feet and less than one (1) acre.

The Subdivision Plat only shows a 20-foot front yard for this property. Common ground is located behind the property. The subdivision indentures state: “a minimum six (6) feet of unobstructed side yard or a minimum of fifteen (15) feet of common ground or pedestrian easement. In the latter case there may be less than a six-foot side yard line.” The rear yard is not addressed in either case. Additionally, the City does not enforce subdivision indentures. Therefore, any rear-yard regulations fall to the underlying zoning district regulation. In this case, the B Zoning district rear yard setback is 30 feet. Due to the lack of documentation for the entire subdivision and inconsistencies with administering regulations in the area, building permits for such projects have been issued in the past. The Applicant is seeking build a second story addition onto the rear over an existing first floor space. The footprint of the building will not be changed. Due to the lack of rear yard documentation for this neighborhood the rear portion of the house is within the 30-foot rear yard setback for “B” and is currently a non-conformity. An addition on top of an existing non-conformity would increase the degree of the existing non-conformity.

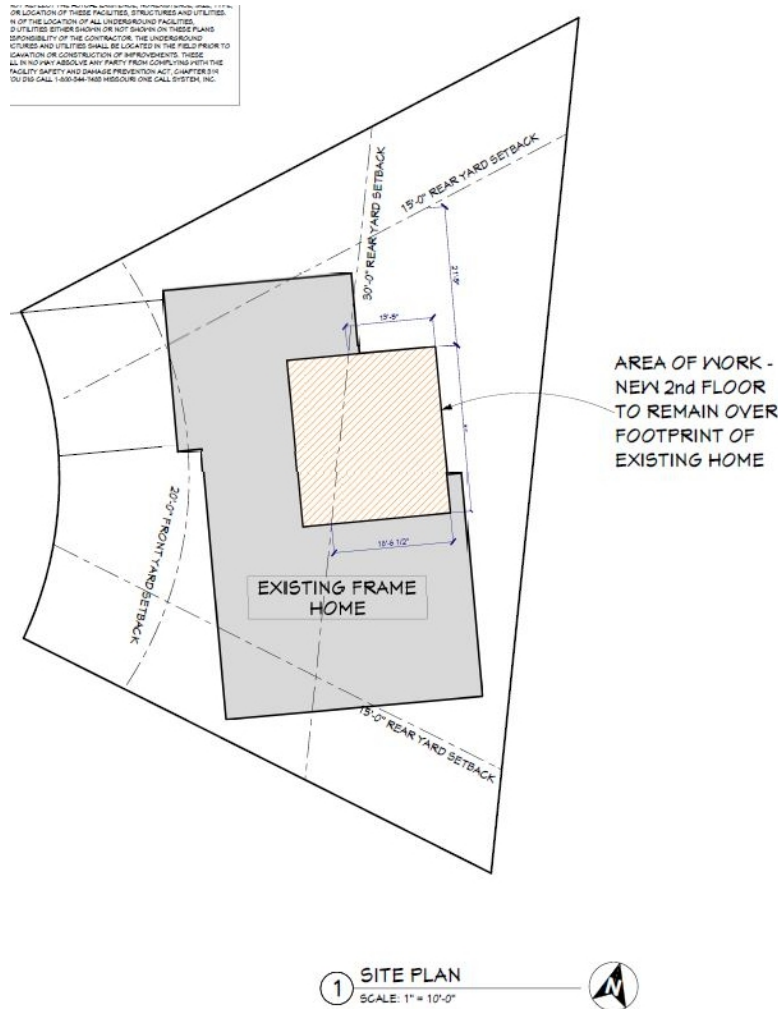


Figure 4: Site plan showing location of proposed addition over existing footprint.

Due to the prevailing condition throughout the neighborhood, amending the ordinance for the subdivision to provide modified setbacks is being reviewed. Staff is currently working with the trustees to petition the City to modify the original ordinance to address the setback and site coverage issues throughout the subdivision, instead of relying on homeowners to seek out individual variances. In the last several years, the majority of all variances before the Board of Adjustment have been in the Country Forest neighborhood with almost all of them relating to deck construction due to the lack of documentation for the rear yard setback. In this case, the applicant is requesting the variance for a second story addition that will not expand the existing footprint but will exaggerate the existing non-conformity that encroaches 18 feet, 6 ½ inches into the 30 foot rear yard setback for “B” zoning districts.

The subject lot is approximately 6,983 square feet and the adjacent lots are similarly sized. The existing house was built in 1975. Due to the lack of documentation regarding the approval of the subdivision, many of the homes in Country Forest have similar issues where the existing houses or decks encroach into the rear yard setback. This home sits approximately 5 feet from the rear property line at its closest point with the rear 1/2 portion of the house within the 30-foot rear yard setback. The existing variance area encroaches 18 feet, 6 ½ inches into the 30-foot rear yard setback and is roughly just under 12 feet from the rear property line at its closest point. Additions are treated the same as the main structure and are subject to the same setbacks. Any addition would also have to be built within the buildable area created by the required setbacks. Using the setbacks for this lot, 20-foot front yard, 15 foot side yards, and a 30 foot rear yard, the resultant buildable area is roughly half of the existing structure. Almost any alteration or improvement would require a variance at this property.

Additionally, Section 405.610(E) Non-Conformities within Setback Lines states that:

Section 405.610 Non-Conformities

D. Non-Conformities Within Setback Lines. In addition to the provisions of Section 405.240 regulating setbacks, the following regulations shall apply to those non-conformities located within prescribed setback lines from the rights-of-way of public or approved private streets and highways.

1. Projection of existing structures into required setbacks. No structure shall be constructed, reconstructed or structurally altered in such a manner as to project into the area prescribed as a setback from a public or approved private street or as established by this Chapter.

The applicant is requesting approval for a rear-yard variance to construct a rear, 2nd story addition to be built within the existing footprint of the house, over an existing non-conformity that encroaches into the 30-foot rear yard setback. The addition will create a full height second floor master suite addition and bathroom remodel. There is no alternative location on the property where such an addition could be made that would be within the buildable area created by the setbacks and not need a variance.

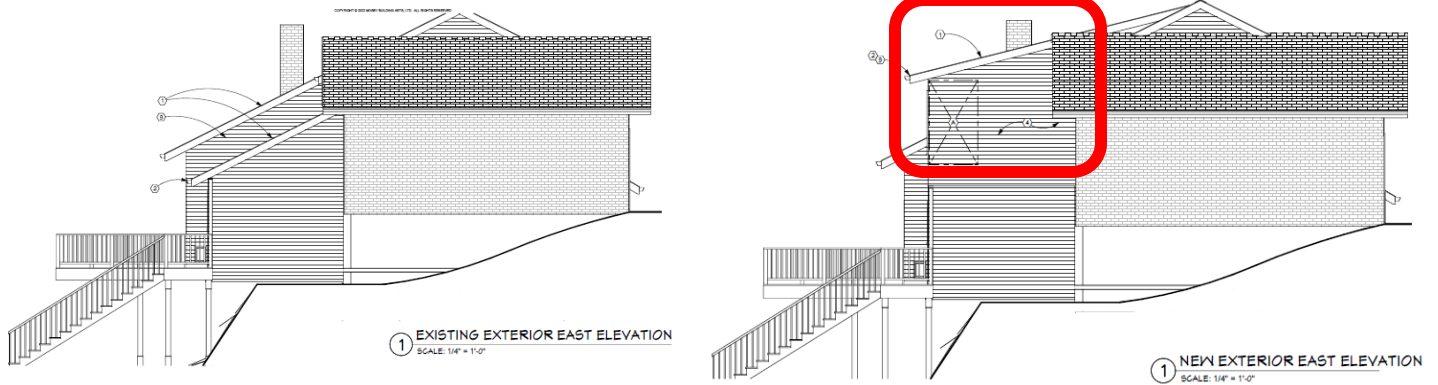


Figure 5: Existing East Elevation (left) and proposed addition (right) in red.



Figure 6: Existing North Elevation (left) and proposed addition (right) in red.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Residence, Country Forest Subdivision	B-RDD, B Single Family Residential, with Residential Designed Development Designation	N/A
South	Residence, Country Forest Subdivision	B-RDD, B Single Family Residential, with Residential Designed Development Designation	N/A
East	Residence, Country Forest Subdivision	B-RDD, B Single Family Residential, with Residential Designed Development Designation	Common Ground
West	Residence, Country Forest Subdivision	B-RDD, B Single Family Residential, with Residential Designed Development Designation	Cross Green Lane

STAFF ANALYSIS

Performing an analysis of a variance appeal primarily requires a six-part examination of the facts, as required by *Section 405.1100, Criteria for Variances, Generally*, of the Zoning Ordinance. To wit:

- 1. The variance requested arises from a condition which is unique to the property in question, and which is not ordinarily found in the same zoning district;**

As discussed above, the house and lot in question are not unique in size or configuration for this subdivision, as many of the homes in the Country Forest Subdivision were built at the same time. However, the lack of documentation on the setbacks within the Country Forest Subdivision approval and the reliance on the subdivision indentures has resulted in a number of homes in the area with existing non-conformities, and where any alteration or reconstruction have required variances in recent years. This property is less than half the B District standards at 6,983 square feet and the existing home was built at the standard for the subdivision. The lack of documentation for the rear yard setback in this subdivision causes the rear yard setback to revert back to the underlying B zoning district setback of 30 feet. This causes almost any construction or alteration to require a variance and is not a unique problem in this subdivision. This specific need for a variance is not ordinarily found in the B Zoning District outside of the Country Forest Subdivision. The Applicant is seeking to add a second story addition to the rear of the house within the existing building footprint. Adding an addition that does not increase the existing building footprint would not ordinarily need a rear-yard setback variance as it would be assumed that the existing building is built within the allowed buildable area created by the setbacks and adding a story above that should not encroach into a setback.

- 2. The variance requested is because of a unique hardship not created by the applicant nor the owner of the property;**

The Applicant had no say in the placement of the home on the lot. However, it is the Applicant's decision to pursue an addition that does not meet the setback requirements. It should be noted that the home itself encroaches into all required yard setbacks and the construction of any addition that meets the setback requirements would be impossible. The placement of the additional at the rear and over an existing living space appears to be consistent with other similar structures in the Country Forest Subdivision, and as noted previously, the lack of documentation for the subdivision has created a unique hardship for many in

the area compared to homeowners in other RDD subdivisions that have their unique setbacks correctly recorded with the city.

3. The granting of the variance shall not adversely affect adjacent property owners or residents;

Given that the request does not expand the existing building footprint and will not be visible from the front, it is unlikely that the average viewer will perceive a negative impact arising from a sense that the addition is too close to the public common ground compared to those around it. The homeowner has enjoyed the construction of the house in the same footprint for many years without any adverse effect to adjacent property owners or residents. Further, if the members of the Board believe that the aesthetic qualities of the second-floor addition are in keeping with the rest of the house, and the neighborhood in general, it is likely that allowing the addition will not have an adverse effect on the adjacent properties, as many of the residents of Country Forest have non-conforming homes that are so similarly situated within the setbacks. This can be seen in the GIS image as shown on the last page of this report.

4. The strict application of the provisions of the Zoning Ordinance from which a variance is requested, will cause severe practical difficulty or extreme hardship for the property owner represented in the application;

The question before the Board, under this criterion, is whether or not the inability to update or improve a feature of one's house, without a variance, represents severe practical difficulty. The strict application of the required rear yard setback of 30 feet would completely eliminate the property owner's ability to have almost any improvements, let alone build a second -floor addition in the existing footprint, causing severe practical difficulty when the property wants to improve their home.

5. The variance desired will not adversely affect the public health, safety, order, convenience, or general welfare of the community, and

Nothing in the request will affect the public health, safety, order, convenience, or general welfare of the community.

6. Granting the variance desired will not violate the general spirit and intent of this Chapter.

The home was built in 1975 as allowed by the City with the approval of the subdivision in 1972. However, with the approval, no documentation was provided determining a rear yard setback. The side yard was provided within the subdivision indentures, but the City does not enforce such documents, as they are private agreements, and not approved by the City's legislative body. The rules applied to the Residential Designed Development standards more clearly provide the requirements for such standards and where they must be placed on the subdivision plat. As with many homes in the Country Forest Subdivision, any meaningful improvement is likely to require a variance until the ordinance for the subdivision is modified in conjunction with the Subdivision Trustees to codify the side-yard and rear-yard setbacks. This request does not violate the general spirit or intent of the chapter as the chapter was not intended to be applied this way to a subdivision that was designed under a different set of requirements that are not accounted for under "B" zoning district requirements.

Additional Criteria for Non-Use Variances

In addition to the above, Section 405.1110.E. *Criteria for Area Variances*, states that an applicant for an area variance must meet the following criteria:

- 1. By reason of exceptional narrowness, shallowness or shape of the specific piece of property, or where by reason of exceptional topographical conditions or other extraordinary or exceptional circumstances that the strict application of the terms of the zoning regulations actually create a hardship to the property in a manner dissimilar to that of other similarly situated property in the zoning district in which it is located.**

As established above, the lot and subdivision were approved in 1972 with reduced size in consideration of maintenance of the large common ground areas. The subject property does not meet with any of the yard setbacks and the home was placed according to setbacks other than those required of lots in the B zoning district in consideration of the Residential Designed Development. This is similar to many of the homes in the area, and as such these homes are not easily improved without a variance since the rear yard and side yard setbacks are not recorded on the plat. Given the history of the subdivision, and lack of documented standards regarding the rear yard setback, this could represent an “exceptional circumstance” for this property.

- 2. Granting the variance would not result in the diversion of additional stormwater that would adversely affect adjacent property.**

The proposed addition is remaining within the same footprint as the existing building, creating no additional site coverage, and therefore will not result in the diversion of additional stormwater that would adversely affect adjacent property.

ACTION

Following its deliberation, the Board of Adjustment may vote in favor or against a motion to approve the request. Pursuant to Section 405.1110 of the Zoning Code, approval of a variance requires written findings of fact supporting the specified variance criteria. In order to make the vote on the application clear, an affirmative motion should be made, and members can vote to approve or disapprove that motion. An example motion for the requested variance to the rear-yard setback would be:

“I move to approve a variance allowing for a new second-story rear addition at 12441 Cross Green Lane to encroach into the rear yard 18 feet, 6 ½ inches, where the required rear yard setback is 30 feet for the B-RDD Single Family Residential, based upon a positive finding that:

1. The variances requested arises from conditions which are unique to the property in question, and which are not ordinarily found elsewhere in the same zoning district;
2. The variances requested are because of a unique hardship not created by the Applicant nor the owner of the property;
3. The granting of the variances will not adversely affect adjacent property owners or residents;
4. The strict application of the rear-yard setback and the restriction on increasing the degree of existing non-conformity will cause severe practical difficulty and extreme hardship for the property owner represented in the application;
5. The proposed addition will not adversely affect the public health, safety, order, convenience or general welfare of the community;
6. Granting the setback variance and non-conformities variance will not violate the general spirit and intent of this Chapter;
7. By reason of the lot size within the B-RDD Single-Family Residential zoning district, the strict application of the setback requirements actually creates a hardship to the property in a manner dissimilar to that of other similarly situated property in the zoning district; and,

8. Granting the variance will not result in the diversion of additional stormwater that would adversely affect adjacent property.”

If the Board wishes to modify the application or add specific conditions of approval, they should do so by separate motion, prior to voting on the overall approval for the variance.

After the Board reaches a final decision regarding the request, a follow-up motion directing Staff to prepare and authorizing the Chair to execute the Findings of Fact and Conclusions of Law should be made. An example of such motion is:

“I move to direct Staff to prepare and authorize the Chair of the Board of Adjustment to execute Findings of Fact and Conclusions of Law regarding the rear yard setback variance requested for 12441 Cross Green Lane based upon the testimony received and the deliberations of the Board on this application, as decided on May 18, 2023.”

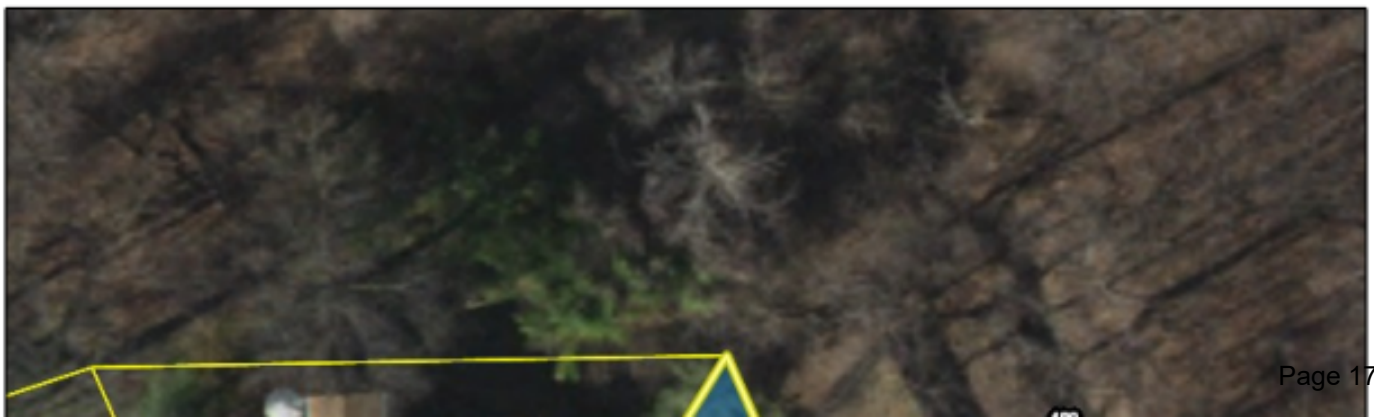
APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO



APPENDIX 4: SITE PHOTOGRAPHS



Description: 12441
Cross Green Lane



Description:
12441 Cross
Green Lane



city
of

CREVE COEUR

File # _____

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 872-2500/872-2501 • Fax (314) 872-2505 • Relay MO 1-800-735-2966
www.creve-coeur.org

BOARD OF ADJUSTMENT APPLICATION NON-USE VARIANCE

Applicant:	Applicant's Representative (if applicable):
Audrey and Greg Cmarik	Geoff Anderson
<i>Name</i>	<i>Name</i>
Company (If Applicable)	Mosby Building Arts
12441 Cross Green Ln	645 Leffingwell Ave
<i>Address</i>	<i>Address</i>
Creve Coeur, MO 63141	Kirkwood, MO 63122
<i>Address</i>	<i>Address</i>
Telephone # 210-416-9733	Telephone # 314-909-1800
<i>Telephone #</i>	<i>Telephone #</i>
Fax # _____	Fax # _____
<i>Fax #</i>	<i>Fax #</i>
Email: _____	Email: permit@callmosby.com
<i>Email</i>	<i>Email</i>

APPLICANT: Architect _____ Engineer _____ Contractor X Agent _____ Owner _____

The undersigned hereby requests to be placed on the Agenda for the Board of Adjustment meeting at 4:00 P.M. on Thursday, May 18, 2023.

Gregory E Cmarik

Applicant's Signature

4/12/2023

Date

Geoff Anderson

Applicant's Representative's Signature

4/6/23

Date

Submittal Checklist

- Two (2) checks, \$50.00 filing fee & \$250.00 non-refundable escrow
- Four (4) sets of signed and sealed plans (Folded to a size no larger than 11"x14") for the improvements necessary for the proposed use
- Written Justification
- Electronic copy of all submitted documents

Updated 10/2022

INSTRUCTIONS: Complete all of the following sections to the best of your ability. Provide additional materials as needed such as supplemental pages, diagrams, plans, or photographs. Please consult with Planning Division staff (314-872-2501) if you have any questions.

1. I request a variance so that the following may be built or installed on the property (attach building plans, landscape plans, surveys, etc. showing before and after conditions on the property):
new fullheight second floor master suite addition and bathroom remodel

2. In support of my request, I offer the following:

- Unique physical characteristics of the property (creek, steep slope, lot shape, etc.):
The Home is located in the B-RDD zoning district, the home was constructed in a small, oddly shaped lot before the current zoning ordiances were put into place, with this being said, the rear and side yard setbacks are to fall under group B zoning, which are for lots significantly larger in size, thus putting existing home into a no-conforming circumstance

- Unique non-physical characteristics of the property (location, access, history, etc.):
The home has no pre-defined rear and side yard setbacks, so it inherits them from zone B, which is for lots significantly larger then this one.

- Any other differences between the Subject Property and other properties in the surrounding area which would warrant different treatment of the Subject Property:
All homes in thsi subdivison are subject to variances due to the zoning district

- Current uses and structures on the property:
single family residence w/ (1) story and a half framed home with deck.

3. Explain why the zoning laws unfairly burden the property compared to the other properties around it:
This home is in a special zoning district and was constructed before the current zoning code was in place. The subdivision has no declared setbacks for side or rear yards, which default them to the master classification, Zone B, which is for lots greater then 20,000 sq but less then 1 acre. This lot is approximately 6,983 sq ft. The required rear yard setback of 35' falls through the mid way point of the existing home.

4. Do you believe the problems described above hurt the market value of the property compared to similar properties in the area and, if so, what can you offer as evidence that this is true?
yes, the current zoning at this property disallows improvements that would certainly improve property values and enhance the lives of current owners. Such a variance would help this property to keep pace with the value of surrounding properties in this neighborhood, along with those that are not tied to these particular zoning requirements

5. Assuming the variance is approved, describe the potential effects or impacts on neighboring properties:
no effect or impact to neighbors

6. Assuming the variance is approved, describe any utilities or City and emergency services that will have to be added to or upgraded as a result?
none required

7. Assuming the variance is approved, describe how much additional traffic will be created on the property and in the surrounding area as a result:
none

8. Assuming the variance is approved, describe any additional street access or parking that will be needed:

none

9. Zoning district in which the property is located: B-RDD

10. Size of the lot (total square feet or acres): 6983

11. Please provide any other information in support of this request (on a separate sheet if needed):

CMARIK RESIDENCE



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MOSBY BUILDING ARTS, LTD.
645 LEFFINGWELL AVE.
ST. LOUIS, MO 63122
OFFICE: 314.909.1800
ARCHITECT: ARTHUR MERDINIAN



AUDREY AND GREG CMARIK
12441 CROSS GREEN LANE
CREVE COEUR, MO 63141
MASTER SUITE ADDITION

PROJECT #: 221101

C/E DATE: 9.28.2022

D/A DATE: 10.18.2022

W/T DATE: 10.24.2022

C/A DATE:

P/T DATE: 4/14/2023

C/D DATE:

REVISION DATES:

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A0.0

LIST OF ABBREVIATIONS

A/C	AIR CONDITIONER	HB	HOSE BIB	HVAC	HEATING, VENTILATION, AIR/CON	P	PART	PAINT	SW	SWITCH
AB	ANCHOR BOLT	HDR	HEADER	HV	HOT WATER	PC	PARTITION	PRE-CAST CONCRETE	SYP	SOUTHERN YELLOW PINE
ABV	ABOVE	HD/ND	HARD WOOD	HWD	HARDWARE	PG	PRE-GAST CONCRETE	POCKET	SYS	SYSTEM
ADJ	ADJUST	HOR	HORIZONTAL	INCL	INCLUDED	PKT	POCKET	TREAD	T	TREAD
AEG	ABOVE EXISTING GRADE	DIAG	DIAGONAL	INSL	INSULATION	PL	PLATE	T&G	T&G	TONGUE AND GROOVE
AFF	ABOVE FINISHED FLOOR	DIM	DIMENSION	INT	INTERIOR	PLAS	PLASTER	TEL	TEL	TELEPHONE
AFG	ABOVE FINISHED GRADE	DP	DAMP PROOFING	JB	JAMB	PLBG	PLUMBING	TG	TG	TEMPERED GLASS
ALT	ALTERNATE	DR	DOOR	JBOX	JUNCTION BOX	PLYND	PLYWOOD	TH	TH	THRESHOLD
AP	ACCESS PANEL	DS	DOWN SPOUT	JST	JOIST	PNL	PANEL	TOB	TOB	TOP OF BEAM
APFD	APPROVED	DN	DISHWASHER	JT	JOINT	PSF	POUNDS PER SQUARE FOOT	TOF	TOF	TOP OF FOOTING
ARCH	ARCHITECT	DWG	DRAWING	KS	KICK PLATE	PSI	POUNDS PER SQUARE INCH	TOJ	TOJ	TOP OF JOIST
ANV	AREA NOT VERIFIED	EA	EACH	LAM	LAMINATE	PT	PRESSURE TREATED	TOM	TOM	TOP OF MASONRY
ATC	ACOUSTIC TILE CEILING	EF	EXHAUST FAN	LAV	LAVATORY	PWR	POWER	TOP	TOP	TOP OF PLATE
BD	BOARD	ELEG	ELECTRIC	LBR	LUMBER	QTY	QUANTITY	TOIN	TOIN	TOP OF WALL
BLDG	BUILDING	ELEV	ELEVATION	LOC	LOCATION	R	RISER	TYP	TYP	TYPICAL
BM	BEAM	EQ	EQUAL	LT	LIGHT	RA	RETURN AIR	UNO	UNO	UNLESS NOTED OTHER WISE
BOF	BOTTOM OF FOOTING	EQUIP	EQUIPMENT	LTG	LIGHTING	RAD	RADIUS	UNEX	UNEX	UNEXCAVATED
BOV	BOTTOM OF WALL	EST	ESTIMATE	LVL	LAMINATED VENEER LUMBER	RE	REFER TO	UNF	UNF	UNFINISHED
BP	BEARING POINT	EXH	EXHAUST	LTG	LIGHTING	RECP	RECEPTACLE	VENT	VENT	VENTILATION
BRG	BEARING	EXIST	EXISTING	LVL	LAMINATED VENEER LUMBER	REF	REFERENCE	VERT	VERT	VERTICAL
BSMT	BASEMENT	EXT	EXTERIOR	MAS	MASONRY	REFG	REFRIGERATOR	VB	VB	VAPOR BARRIER
BTM	BOTTOM	FAB	FABRICATE	MATL	MATERIAL	REG	REGISTER	VIF	VIF	VERIFY IN FIELD
CAB	CABINET	FD	FLOOR DRAIN	MAX	MAXIMUM	REINF	REINFORCED	VA	VA	VOLTAGE
CEM	CEMENT	KP/HB	FROST FREE HOSE BIB	MECH	MECHANICAL	REQ	REQUIRED	WV	WV	WITH
CER	CERAMIC	FIN	FINISH	MED	MEDIUM	RET	RETURN	WV	WV	WITHIN
CFM	CUBIC FEET PER MINUTE	FIX	FIXTURE	MFR	MANUFACTURED	REV	REVISION	W/O	W/O	WITHOUT
CL	CENTER LINE	FLR	FLOOR	MFRD	MANUFACTURED	ROW	ROUGH OPENING	WID	WID	WOOD
CLG	CEILING	FND	FOUNDATION	MIN	MINIMUM	SC	SOLID CORE	WIDW	WIDW	WINDOW
CLO	CLOSET	FR	FRAMING	MLDG	MOLDING	SCHD	SCHEDULE	WF	WF	WIDE FLANGE
CMU	CONCRETE MASONRY UNIT	FT	FEET/FOOT	MO	MASONRY OPENING	SCON	SEALED CONCRETE	WH	WH	WATER HEATER
CO	CASED OPENING	FURN	FURNACE	MBA	MOSBY BUILDING ARTS	SD	SMOKE DETECTOR	WIC	WIC	WALK IN CLOSET
COL	COLUMN	FV	FIELD VERIFY	MOD	MODULAR	SECT	SECTION	WIP	WIP	WEATHERPROOF
CONC	CONCRETE	GA	GAUGE	MTL	METAL	SEL	SELECTION	WT	WT	WEIGHT
CONT	CONTINUOUS	GALV	GALVANIZED	NIC	NOT FOR CONSTRUCTION	SF	SQUARE FOOT	WWF	WWF	WELDED WIRE FABRIC
CONTR	CONTRACTOR	GC	GENERAL CONTRACTOR	NO#	NOT IN CONTRACT	SHT	SHEET			
CPT	CARPET	GRD	GRADE	NOM	NOMINAL	SI	SQUARE INCH			
CSMT	CASEMENT	GFCI	GROUND FAULT CIRCUIT INTERPUT	NTS	NOT TO SCALE	SIM	SIMILAR			
CTM	CENTER	GFI	GROUND FAULT INTERPUT	NV	NOT VERIFIED	SPECS	SPECIFICATIONS			
CU FT	CUBIC FEET	GL	GLASS	OA	OVERALL	SS	STAINLESS STEEL			
DB	DECIBEL	GND	GROUND	OC	ON CENTER	ST	STAINED			
DBL	DOUBLE	GYP	GYPSUM	OHD	OVERHEAD DOOR	STD	STANDARD			
DBO	DESIGNED BY OTHERS	HT	HEIGHT	OPNG	OPENING	STL	STEEL			
DEMO	DEMOLITION	HTR	HEATER	OPP	OPPOSITE	STRUC	STRUCTURE			
DH	DOUBLE HUNG									
DIA	DIAMETER									

BUILDING CODE DATA

MUNICIPALITY: CREVE COEUR

BUILDING CODE: 2018 IRC

ZONING: B-RDD - SINGLE FAMILY RESIDENTIAL

GREEN SPACE:

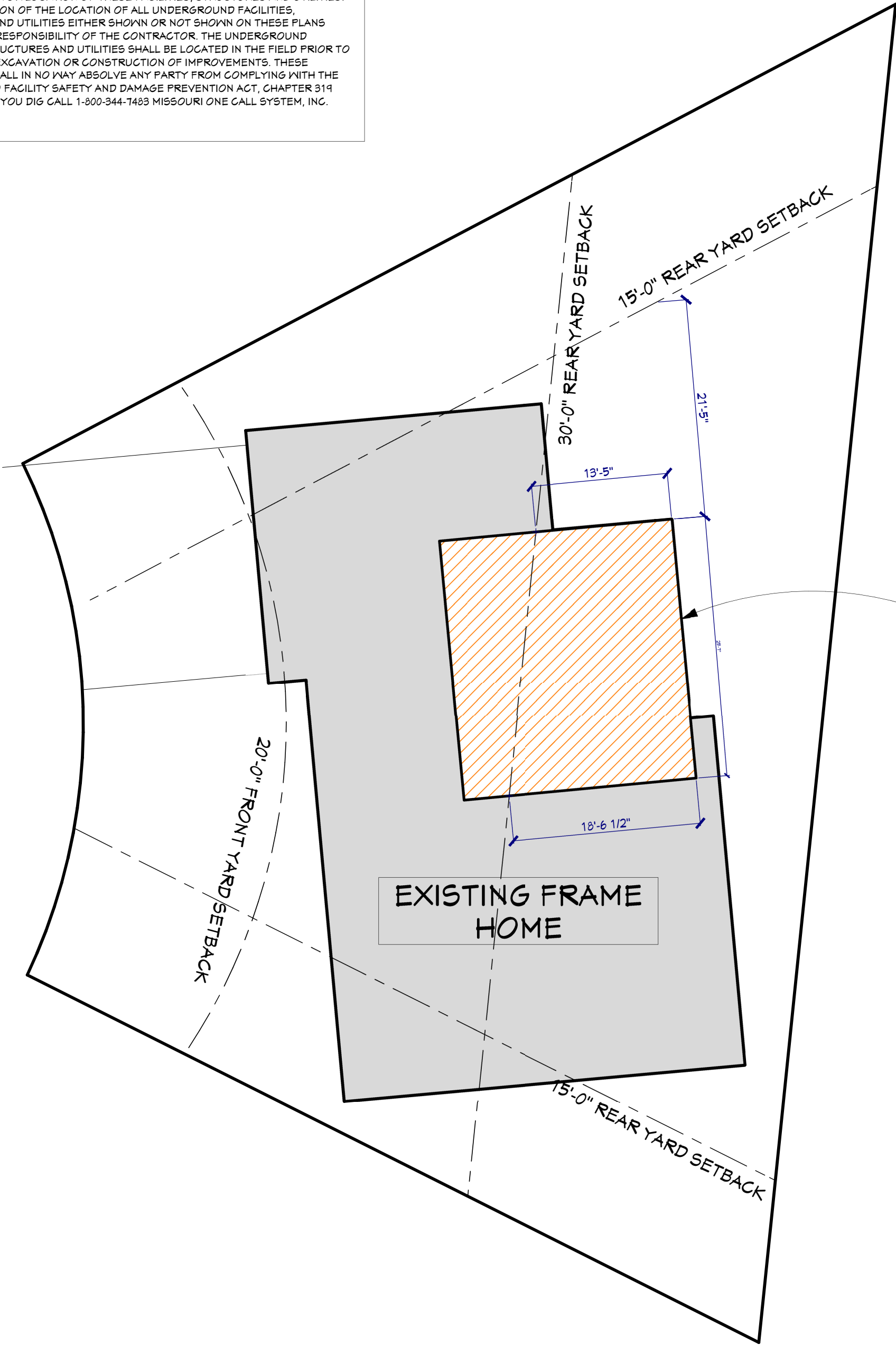
INDEX OF DRAWINGS

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A1.1	EXISTING FIRST FLOOR PLAN
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	DRAWING NUMBER SHEET NUMBER	RENDERING
	DRAWING NUMBER SHEET NUMBER	INTERIOR ELEVATION
	DRAWING NUMBER SHEET NUMBER	KEYED NOTES
	DRAWING NUMBER SHEET NUMBER	PLAN DETAIL CALL-OUT

ALL SITE PLAN INFORMATION INDICATED ON THIS DRAWING WAS OBTAINED FROM SURVEY PROVIDED BY THE OWNER. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE DO NOT REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, DEPTH, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMO. BEFORE YOU DIG CALL 1-800-344-7483 MISSOURI ONE CALL SYSTEM, INC.



EXISTING FRAME HOME

AREA OF WORK -
NEW 2nd FLOOR
TO REMAIN OVER
FOOTPRINT OF
EXISTING HOME

1 SITE PLAN
SCALE: 1" = 10'-0"



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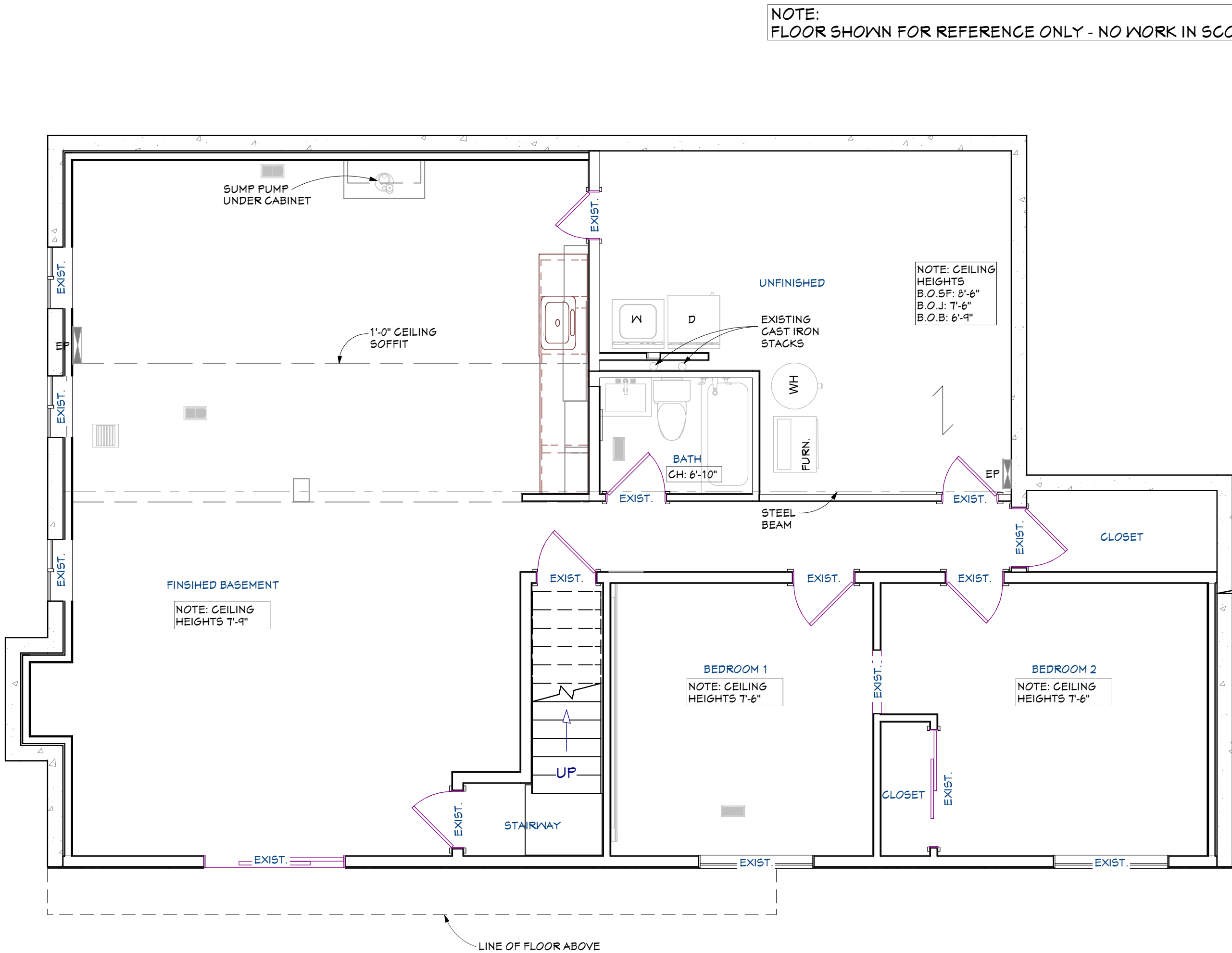
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ARCHITECT: ARTHUR MERDINIAN
MO LICENSE #: A-6879

DESIGNER: JENN LEWIS
DRAWN BY: BOBBY PENN
PERMIT: G. ANDERSON

A0.1



1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



KEYED NOTES

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GENERAL NOTES

- MBA TO VERIFY EXISTING CONDITION DIMENSIONS.
- MBA TO SUPPLY SUPPORT TO STRUCTURE DURING DEMOLITION AND REMODEL.
- VERIFY ELECTRIC AND WATER SERVICE - UPGRADE AS REQUIRED.
- REMOVE EXISTING WALL FINISH(ES) AND CEILING MATERIALS INCLUDING LATH, PLASTER, GYPSUM BOARD, TILE, SIDING, ETC., TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
- SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

LEGEND

- EXISTING WALL
- DEMO WALL
- DEMO
- EXISTING FOUNDATION WALL

ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

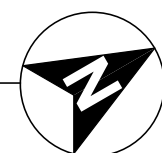
DESIGNER: JENN LEWIS

DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A1.0

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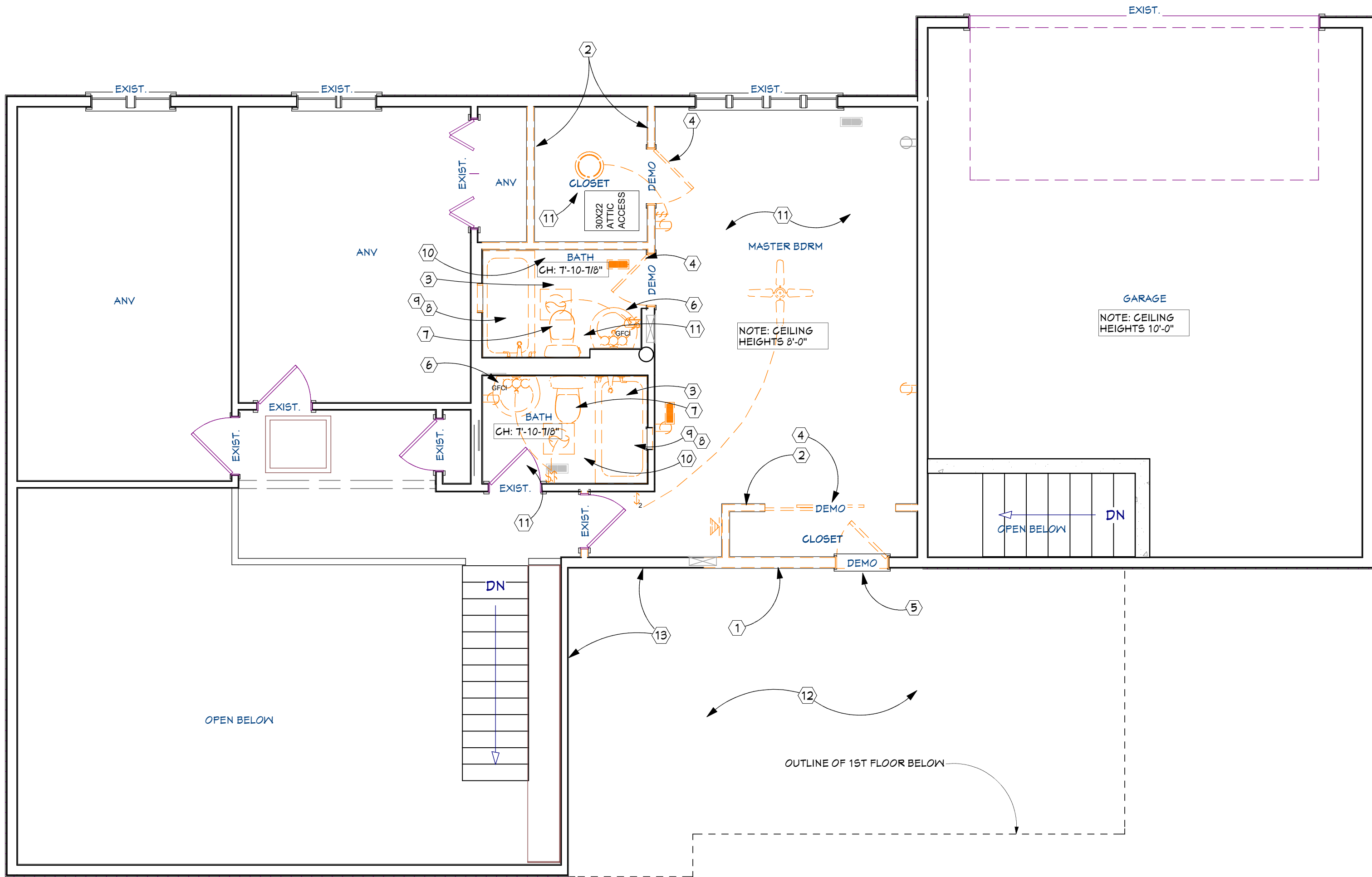
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The logo for Mosby Building Arts is located in the bottom right corner. It features the word "MOSBY" in a large, bold, blue sans-serif font. To its right, the words "BUILDING ARTS" are stacked vertically in a smaller, blue sans-serif font.

1. MBA TO VERIFY EXISTING CONDITION DIMENSIONS.
2. MBA TO SUPPLY SUPPORT TO STRUCTURE DURING DEMOLITION AND REMODEL.
3. VERIFY ELECTRIC AND WATER SERVICE - UPGRADE AS REQUIRED.
4. REMOVE EXISTING WALL FINISH(ES) AND CEILING MATERIALS INCLUDING LATH, PLASTER, GYP-SUM BOARD, TILE, SIDING, ETC., TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
5. REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
6. SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

PERMIT: G. ANDERSON

A1.1



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYED NOTES

- 1 DEMO PORTION OF EXISTING WALL FOR NEW DOOR/ WINDOW OPENING - INCLUDES STUDS, DRYWALL, TOP & BTM PLATES, INSULATION & ANY MEP DEVICES
- 2 DEMO EXISTING INTERIOR WALLS - INCLUDES STUDS, PLATES, DRYWALL, & ANY MEP DEVICES AS REQUIRED FOR NEW CONSTRUCTION - INTERIOR WALLS TO BE REMOVED ARE NON-LOAD BEARING
- 3 DEMO SUB FLOOR AS NEEDED FOR NEW PLUMBING LAYOUT
- 4 DEMO EXISTING INTERIOR DOOR - INCLUDES SLAB, FRAME, & HARDWARE - PREP OPNG FOR NEW DOOR
- 5 DEMO EXISTING WINDOW & PORTION OF WALL FOR NEW WINDOW OPENING
- 6 DEMO EXISTING PEDESTAL SINK AND FAUCET - INCLUDES ANY ASSOCIATED PLUMBING CONNECTIONS AS REQD FOR NEW LAYOUT
- 7 DEMO EXISTING TOILET - INCLUDES ANY ASSOCIATED CONNECTIONS AS REQD
- 8 DEMO EXISTING TUB/SHOWER - INCLUDES ANY ASSOCIATED TRIMS, VALVES & CONNECTIONS AS REQD FOR NEW LAYOUT
- 9 DEMO EXISTING TUB/SHOWER SURROUND - INCLUDES ANY NICHES
- 10 DEMO EXISTING TILE FLOORING & UNDERLAYMENT
- 11 DEMO ELECTRICAL FIXTURES, SWITCHES & OUTLETS
- 12 DEMO EXISTING ROOF BELOW - INCLUDES SHINGLES, DECKING AND STRUCTURAL FRAMING - EXISTING CEILING FRAMING OF ROOM BELOW TO REMAIN IN PLACE.
- 13 DEMO EXISTING SIDING AS REQUIRED FOR NEW ADDITION

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GENERAL NOTES

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5. REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
6. SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

WALL LEGEND

- EXISTING WALL
- EXISTING HALF WALL
- DEMO WALL
- DEMO

ARCHITECT: ARTHUR MERDINIAN

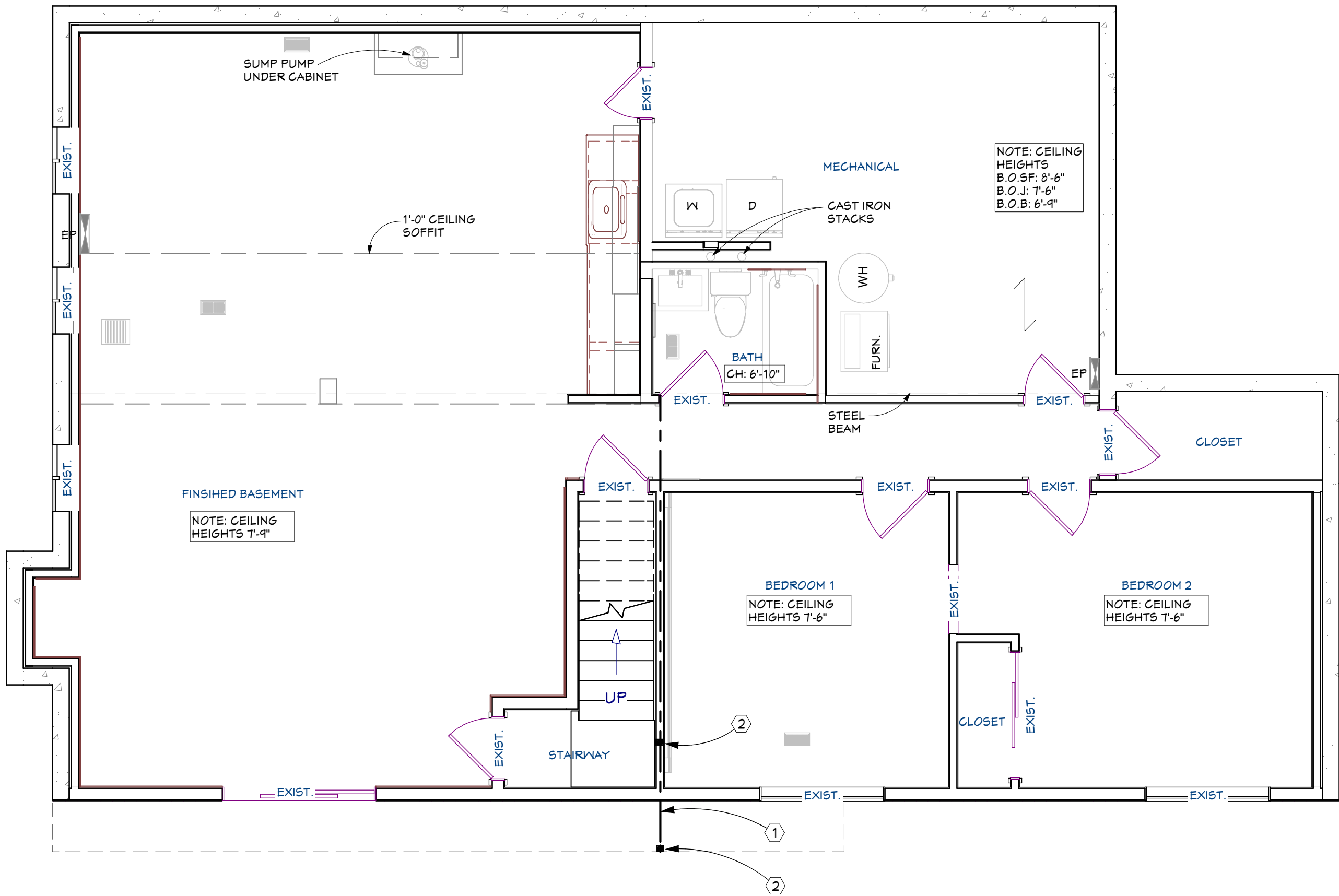
MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A1.2



1 NEW BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYED NOTES

- 1 NEW 2X10 BEAM OR DBL 2X10 FLOOR JOIST IN THIS LOCATION - EXTEND FROM EXISTING STL BEAM TO BAND BOARD OF CANTILEVER
- 2 BEARING POINT - BLOCK SOLID TO WALL OR BEAM BELOW - BEARING PT TP BE MIN 2X4 STUDS

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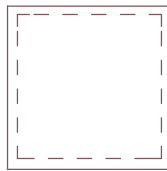
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CABINET LEGEND

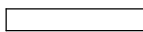


EXISTING CABINET

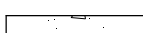


NEW CABINET

WALL LEGEND



EXISTING WALL



EXISTING FOUNDATION WALL



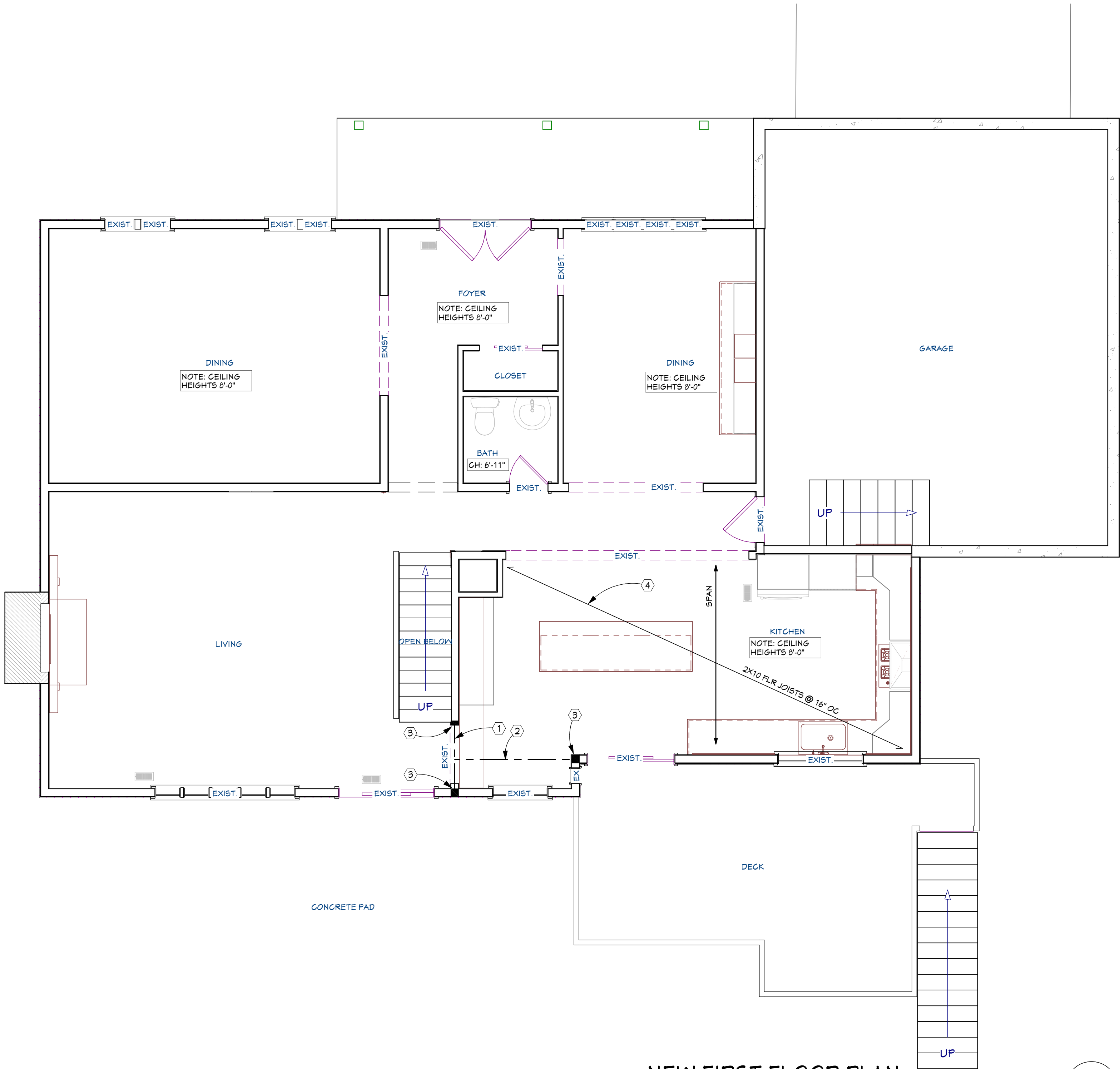
NEW FOUNDATION WALL

DESIGNER: JENN LEWIS

DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A2.0



1 NEW FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYED NOTES

- (1) 2X10 DROP BEAM - SYF #2 MIN
- (2) 2X10 FLUSH BEAM - SYF #2 MIN - BEAM TO BE CONTINUANCE OF NEW 2ND FLOOR RIM BOARD
- (3) BEARING POINT - BLOCK SOLID TO WALL OR BEAM BELOW - BEARING PT TO BE MIN 2X4 STUDS
- (4) NEW 2X10 FLOOR JOISTS @ 16" OC - SISTER TO EXIST CLG JSTs - PATCH EXISTING CEILING DRYWALL AS REQUIRED

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GENERAL NOTES

- FRAMING NOTES:
a. TYPICAL EXTERIOR WALLS 2X6's @ 16" O.C. W/ DOUBLE TOP & SINGLE BOTTOM PLATE
b. TYPICAL INTERIOR WALLS 2X4's @ 16" O.C. W/ SINGLE TOP & BOTTOM PLATE
c. PROVIDE TREATED LUMBER WHEN THERE IS CONTACT W/ CONCRETE
d. INTERIOR WALL THICKNESS IS 4 1/2" U.N.O.
e. FRAMING DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD
f. PROVIDE DOUBLE FLOOR JOISTS @ ALL FLR AND STAIR OPENINGS U.N.O.
g. TYP. HEADERS ARE (2) 2X10s U.N.O.
h. SECURE 2X6 PLATE TO TOP FLANGE OF STEEL BEAM.
i. PROVIDE DOUBLE JOIST AT CORNERS OF CANTILEVERS.
- WINDOWS AND DOORS ARE DESIGNATED AS FEET-INCHES WIDE X FEET-INCHES TALL.
- FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.
- MBA TO PROVIDE COMBUSTION AIR FOR GAS APPLIANCES AS FOLLOWS:
a. SHALL HAVE A FREE AREA OF NOT LESS THAN ONE SQUARE INCH PER 1,000 BTU PER HOUR OF THE TOTAL INPUT RATING OF ALL APPLIANCES IN UNFINISHED AREA.
b. COMBUSTION AIR VENT OF PROPER SIZE TO DROP WITHIN 12" OF FINISH FLOOR RELIEF AIR VENT, SAME SIZE AT CEILING LEVEL.
- FIREBLOCKING:
a. FIRE STOP BETWEEN VERTICAL STUD SPACES AND AREA ABOVE THE CEILING @ TOP OF FND. WALLS W/ 5/8" DN MIN. ALL SOFFITS AND DROPPED CEILINGS SHALL BE FIRE-STOPPED.
b. FILL ANY FLOOR JOIST CAVITY THAT IS DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA SOLID WITH MINERAL WOOL OR INSTALL DRYWALL TO CLOSE OPENING.
c. INSTALL VERTICAL FIRE BLOCKING (FLR TO CLG) FOR EVERY 10' OF CONCEALED WALL SPACE
d. FIRE BLOCK THE ENDS OF ANY BEAM OR DUCT ENCLOSURE TO SEPARATE IT FROM THE VERTICAL CONCEALED SPACE.
e. FIRE BLOCK THE TOP PLATES AND BEHIND THE TOP PLATES TO SEPARATE THE VERTICAL CONCEALED SPACE FROM THE HORIZONTAL CONCEALED SPACE.
f. MINIMUM ONE WINDOW PER BEDROOM TO MEET EGRESS REQUIREMENTS.
g. GYP. BD. CEILING FINISH TO MATCH EXISTING.

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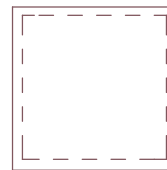
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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

CABINET LEGEND

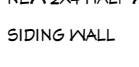
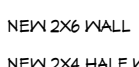
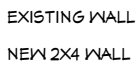
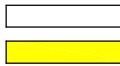


EXISTING CABINET



NEW CABINET

WALL LEGEND



EXISTING WALL

NEW 2X4 WALL

NEW 2X6 WALL

NEW 2X4 HALF WALL

SIDING WALL

EXISTING MASONRY WALL

NEW MASONRY WALL

DESIGNER: JENN LEWIS

DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A2.2



- 1 NEW EXTERIOR 2X WALL - INCLUDES DBL TOP & BTM PLATE & STUDS @ 16" OC, INSULATE W/ R-15 MIN. EXTERIOR TO RECEIVE 1 1/8" MIN SHEATHING, HOUSE WRAP AND SIDING TO MATCH EXISTING - INTERIOR TO RECEIVE 1/2" MIN DRYWALL
- 2 NEW INTERIOR 2X WALL - INCLUDES TOP & BTM PLATE & STUDS @ 16" OC W/ NEW 1/2" MIN DRYWALL ON FINISHED SIDE(S) OF WALL - USE MOISTURE RESISTANT DRYWALL IN PLUMBING LOCATIONS
- 3 NOT USED
- 4 NEW INTERIOR DOOR - INCLUDES SLAB, FRAME, CASING, & HARDWARE
- 5 NEW WINDOW INTO NEW OPENING - PROVIDE (2)X10" HBR W/ 2X4 JACK STUDS TO STRUCTURE BELOW
- 6 EXISTING ATTIC ACCESS TO REMAIN
- 7 NEW LAUNDRY STOP BOX - INCLUDES NEW STAND PIPE CONNECTED TO EXISTING STACK & WATER LINES
- 8 INSTALL A NEW DRYER VENT - VENT TO EXTERIOR
- 9 NEW HVAC SUPPLY/RETURN REGISTERS
- 10 INSTALL NEW DRYWALL AS REQ'D FROM DEMO - USE MOISTURE RESISTANT DRYWALL IN ALL PLUMBING LOCATIONS
- 11 INSTALL NEW 3/4" PLYWOOD SUB FLOOR AS REQ'D FROM DEMO & RECONFIGURATION OF PLUMBING LOCATIONS
- 12 INSTALL NEW VANITY CABINET, FAUCET & COUNTERTOP - INCLUDES ALL PLUMBING CONNECTIONS AS REQ'D
- 13 INSTALL NEW TOILET & ALL ASSOCIATED CONNECTIONS
- 14 NEW HANDHELD SHOWERHEAD - INCLUDES DIVERTER
- 15 INSTALL NEW ONYX SHOWER FAN - INCLUDES DRAIN
- 16 NEW ONYX WALL PANELS IN BATH/SHOWER SURROUND
- 17 NEW ONYX SOAP NICHES
- 18 NEW CURVED SHOWER CURTAIN ROD
- 19 NEW CARPET FLOORING - INCLUDES NEW PAD
- 20 NEW LUXURY VINYL TILE FLOORING W/ CEMENT BD UNDERLAYMENT
- 21 NEW WIRE SHELVING
- 22 NEW TJ 110 & 912 TJ ROOF RAFTERS @ 16" OC TO RIDGE BOARD

1. FURNISH NOTES:
 - a. TYPICAL EXTERIOR WALLS 2X6'S @ 16" O.C. W/ DOUBLE TOP & SINGLE BOTTOM PLATE.
 - b. TYPICAL INTERIOR WALLS 2X4'S @ 16" O.C. W/ SINGLE TOP & BOTTOM PLATE.
 - c. PROVIDE TREATED LUMBER WHEN THERE IS CONTACT W/ CONCRETE.
 - d. EXTERIOR WALL THICKNESS IS 4 1/2" U.N.O.
 - e. FRAMING DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
 - f. PROVIDE DOUBLE FLOOR JOISTS @ ALL FLR AND STAIR FINISHINGS U.N.O.
 - g. TYP. HEADERS ARE (2) 2X10'S U.N.O.
 - h. SECURE 2X4 DOUBLE JOIST TO TOP FLANGE OF STEEL BEAM.
 - i. PROVIDE DOUBLE JOIST AT CORNERS OF CANTILEVERS.
2. WINDOWS AND DOORS ARE DESIGNATED AS FEET-INCHES INIDE X FEET-INCHES TALL.
3. FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.
4. MBA TO PROVIDE COMBUSTION AIR FOR GAS APPLIANCES AS FOLLOWS:
 - a. SHALL HAVE A FREE AREA OF NOT LESS THAN ONE SQUARE INCH PER 1,000 BTU PER HOUR . OF THE TOTAL INPUT RATING OF ALL APPLIANCES IN UNFINISHED AREA.
 - b. COMBUSTION AIR VENT OF PROPER SIZE TO DROP WITHIN 1' OF FINISH FLOOR RELIEF AIR VENT, SAME SIZE AT CEILING LEVEL.
5. FIREBLOCKING:
 - a. FIRE STOP BETWEEN VERTICAL STUD SPACES AND AREA ABOVE THE CEILING @ TOP OF FND. WALLS W/ 5/8" DYN MIN. ALL SOFFITS AND DROPPED CEILINGS SHALL BE FIRE-STOPPED.
 - b. FILL ANY FLOOR JOIST CAVITY THAT IS DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA SOLID WITH MINERAL WOOL OR INSULATION WALL TO CLOSE OPENING.
 - c. INSTALL VERTICAL FIRE BLOCKING (FLR TO CLG) FOR EVERY 1' OF CONCEALED WALL SPACE.
 - d. FIRE BLOCK THE ENDS OF ANY BEAM OR DUCT ENCLOSURE TO SEPARATE IT FROM THE BEHIND THE CONCEALED SPACES.
 - e. FIRE BLOCK THE TOP PLATES AND BEHIND THE TOP PLATE TO SEPARATE THE VERTICAL CONCEALED SPACE FROM THE HORIZONTAL CONCEALED SPACE.
6. MINIMUM ONE WINDOW PER BEDROOM TO MEET EGRESS REQUIREMENTS.
7. INSULATE BEHIND TUBS AND/OR SHOWERS @ EXTERIOR WALLS FLOOR TO INSTALLATION.
8. GYP. BD. CEILING FINISH TO MATCH EXISTING.

EXISTING CABINET NEW CABINET

	EXISTING WALL
	NEW 2X4 WALL
	NEW 2X6 WALL
	NEW 2X4 HALF WALL
	SIDING WALL
	EXISTING MASONRY WALL
	NEW MASONRY WALL

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MOSBY
BUILDING ARTS

AUDREY AND GREG CMARIK
12441 CROSS GREEN LANE
CREVE COEUR, MO 63141
MASTER SUITE ADDITION

—

MO LICENSE #: A-6879

PERMIT: G. ANDERSON

A2.2



- 1 MOISTURE RATED RECESSED CAN LIGHT
- 2 NEW EXHAUST FAN - VENT TO EXTERIOR W/ RIGID INSULATED DUCT - 50 CFM MIN
- 3 PROVIDE FAN RATED CEILING BOX OR BLOCKING FOR HEAVY FIXTURE

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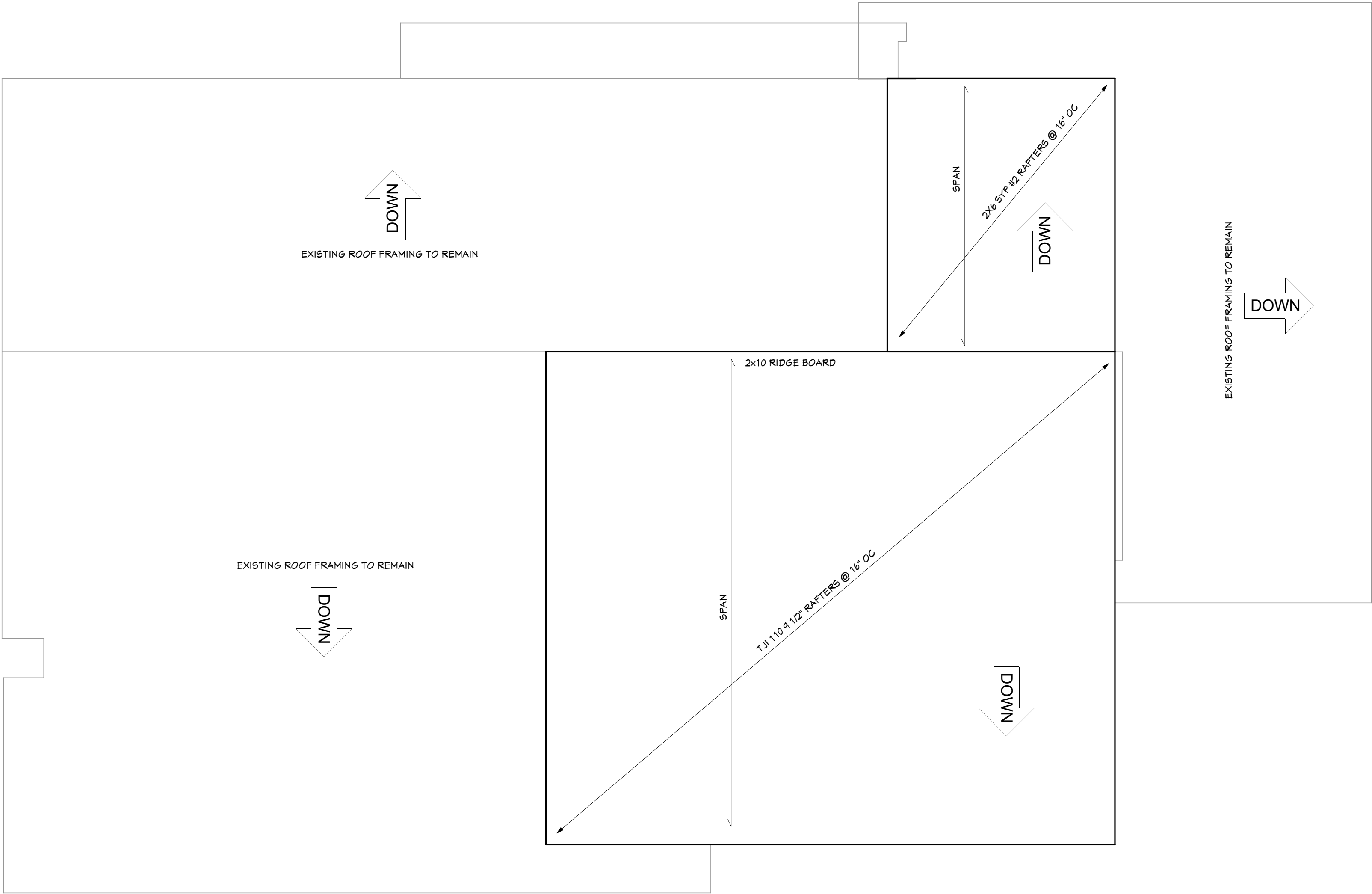


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12441 CROSS GREEN LANE
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MASTER SUITE ADDITION

1. VERIFY FINAL LAYOUT AND FIXTURE SELECTION VS PROJECT MANAGER, OWNER AND/OR DESIGNER BEFORE INSTALLATION.
2. ELECTRICAL SHOWN IN GREY IS EXISTING TO REMAIN, ELECTRICAL SHOWN IN RED IS NEW.
3. ALL BEDROOM CIRCUITS TO HAVE ARC-FAULT PROTECTION.
4. PROVIDE ILLUMINATED SWITCHES AT STAIRS, PER CODE.
5. RETROFIT SMOKE AND CARBON MONOXIDE ALARMS; VERIFY PROVIDE A SMOKE ALARM IN AND OUTSIDE EACH BEDROOM AND ON EACH STORY. OUTSIDE ALARMS MUST BE UL LISTED AND BATTERY POWERED OR WIRELESS. INTERCONNECTED SO ONE ALARM SOUNDS ALL ALARMS. SMOKE ALARMS MAY BE EITHER AC POWERED WITH A BATTERY BACKUP OR BATTERY POWERED. VERIFY PROVIDE UL LISTED CARBON MONOXIDE ALARM(S) OUTSIDE EACH BEDROOM AREA IF THE HOUSE HAS A FUEL-FIRED APPLIANCE OR GARAGE.
6. VERIFY EXISTING HOUSE IS COMPLIANT WITH CURRENT IRC R315, CARBON MONOXIDE DETECTION REQUIREMENTS. IF NOT IN COMPLIANCE, THE EXISTING HOUSE UNDER CONSTRUCTION, A CARBON MONOXIDE DETECTOR IS REQUIRED:
 - a. WHEN THE HOUSE HAS AN ATTACHED GARAGE OR
 - b. WHEN FUEL-FIRED APPLIANCES INSTALL, CARBON MONOXIDE DETECTORS OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS GO TO THE UL 255A COMPLIANT. THEY ARE NOT REQUIRED TO BE HARD WIRED UNLESS REQUIRED BY ORDINANCE.
7. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED PER E3402.16 & E3402.17

- - INTERCOM
- - VOICE (CAT 5) JACKS
- - CABLE TV OUTLET
- - SMOKE DETECTOR
- - CARBON MONOXIDE DETECTOR
- - THERMOSTAT
- - EXHAUST FAN CLG MOUNT
- - EXHAUST FAN WALL MOUNT
- - DUPLEX RECEPTACLE
- - WEATHER PROOF DUPLEX RECP.
- - GFCI PROTECTED DUPLEX RECP.
- - QUAD RECEPTACLE
- - 220 VOLT RECEPTACLE
- - CEILING RECEPTACLE
- - FLOOR RECEPTACLE
- - GARBAGE DISPOSAL
- - DIMMER SWITCH
- - SINGLE POLE SWITCH
- - 3-WAY SWITCH
- - TIMER SWITCH
- - RECESSED CAN
- - CEILING FIXTURE
- - PENDANT FIXTURE
- - LOW VOLTAGE
- - WALL MOUNTED FIXTURE
- - PUCK LIGHT
- - UNDER CABINET FIXTURE
- - CEILING FAN
- - OUTDOOR LIGHT

A2.2E



1 NEW SECOND FLOOR ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



KEYED NOTES

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C/A DATE:

P/T DATE: 4/14/2023

C/D DATE:

REVISION DATES:

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

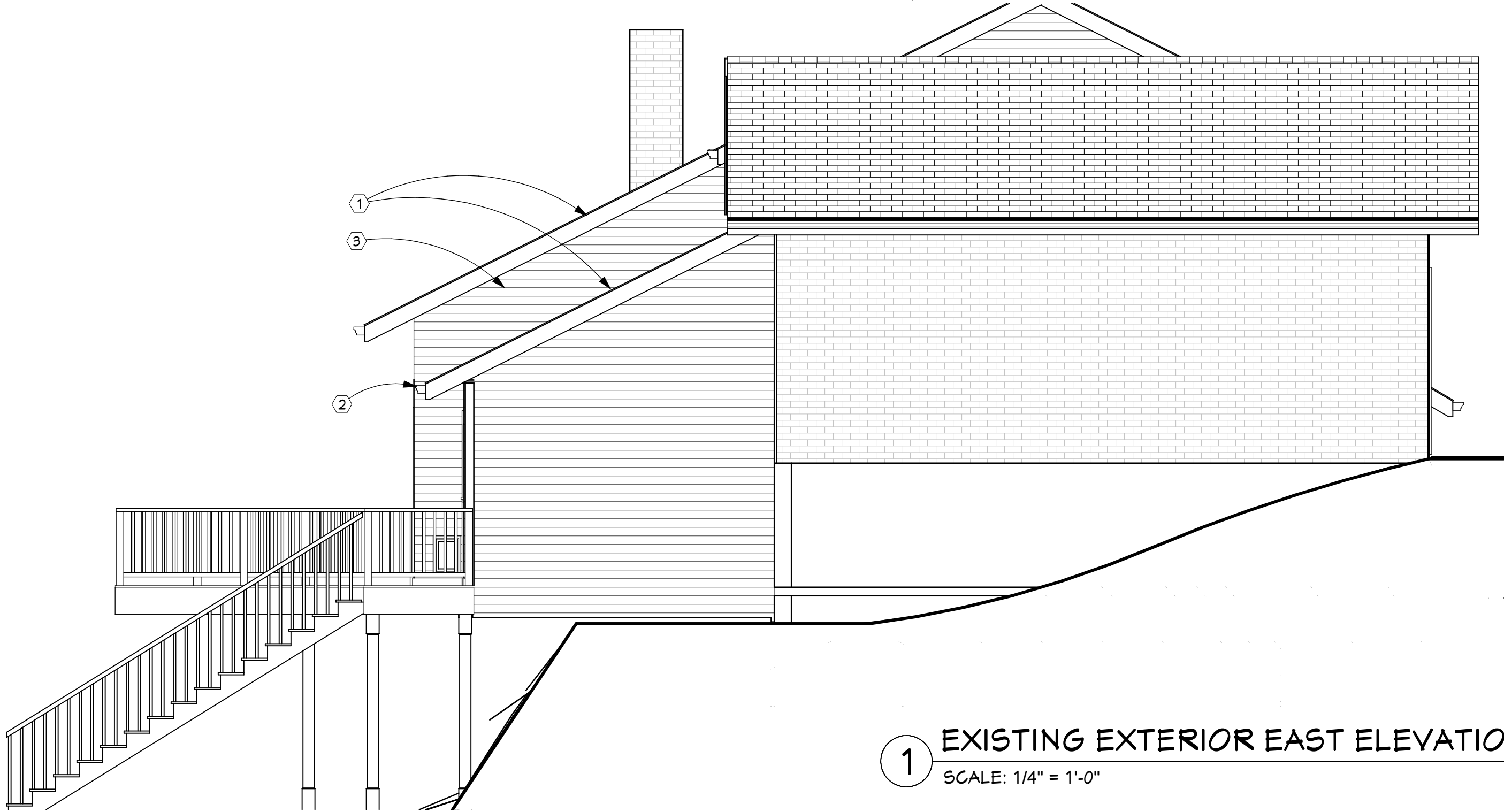
DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A2.2R

GENERAL NOTES

- FRAMING NOTES:
 - TYPICAL EXTERIOR WALLS 2X6's @ 16" O.C. 1X DOUBLE TOP & SINGLE BOTTOM PLATE
 - TYPICAL INTERIOR WALLS 2X4's @ 16" O.C. 1X SINGLE TOP & BOTTOM PLATE
 - PROVIDE TREATED LUMBER WHEN THERE IS CONTACT 1X CONCRETE
 - INTERIOR WALL THICKNESS IS 4 1/2" U.N.O.
 - FRAMING DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD
 - PROVIDE DOUBLE FLOOR JOISTS @ ALL FLR. AND STAIR OPENINGS U.N.O.
 - TYP. HEADERS ARE (2) 2X10s U.N.O.
 - SECURE 2X6 PLATE TO TOP FLANGE OF STEEL BEAM.
 - PROVIDE DOUBLE JOIST AT CORNERS OF CANTILEVERS.
- WINDOWS AND DOORS ARE DESIGNATED AS FEET-INCHES WIDE X FEET-INCHES TALL.
- FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.
- MBA TO PROVIDE COMBUSTION AIR FOR GAS APPLIANCES AS FOLLOWS:
 - SHALL HAVE A FREE AREA OF NOT LESS THAN ONE SQUARE INCH PER 1,000 BTU PER HOUR OF THE TOTAL INPUT RATING OF ALL APPLIANCES IN UNFINISHED AREA
 - COMBUSTION AIR VENT OF PROPER SIZE TO DROP WITHIN 12" OF FINISH FLOOR RELIEF AIR VENT, SAME SIZE AT CEILING LEVEL.
- FIREBLOCKING:
 - FIRE STOP BETWEEN VERTICAL STUD SPACES AND AREA ABOVE THE CEILING @ TOP OF FND. WALLS 1X 5/8" DN MIN. ALL SOFFITS AND DROPPED CEILINGS SHALL BE FIRE-STOPPED.
 - FILL ANY FLOOR JOIST CAVITY THAT IS DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA SOLID WITH MINERAL WOOL OR INSTALL DRYWALL TO CLOSE OPENING.
 - INSTALL VERTICAL FIRE BLOCKING (FLR TO CLG) FOR EVERY 10' OF CONCEALED WALL SPACE
 - FIRE BLOCK THE ENDS OF ANY BEAM OR DUCT ENCLOSURE TO SEPARATE IT FROM THE VERTICAL CONCEALED SPACES
 - FIRE BLOCK THE TOP PLATES AND BEHIND THE TOP PLATES TO SEPARATE THE VERTICAL CONCEALED SPACE FROM THE HORIZONTAL CONCEALED SPACE.
- MINIMUM ONE WINDOW PER BEDROOM TO MEET EGRESS REQUIREMENTS.
- INSULATE BEHIND TUBS AND/OR SHOWERS @ EXTERIOR WALLS PRIOR TO INSTALLATION.
- GYP. BD. CEILING FINISH TO MATCH EXISTING.



1 EXISTING EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES

- 1 DEMO EXISTING ROOF STRUCTURE AS REQUIRED FOR NEW 2ND FLOOR- INCLUDES RAFTERS, SHEATHING AND SHINGLES
- 2 DEMO EXISTING FASCIAS AND GUTTERS
- 3 DEMO EXISTING SIDING AS REQ'D

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ELEVATION GENERAL NOTES

1. MBA TO VERIFY EXISTING CONDITION DIMENSIONS.
2. MBA TO SUPPLY SUPPORT TO STRUCTURE DURING DEMOLITION AND REMODEL.
3. VERIFY ELECTRIC AND WATER SERVICE - UPGRADE AS REQUIRED.
4. REMOVE EXISTING WALL FINISH(ES) AND CEILING MATERIALS INCLUDING LATH, PLASTER, GYPSUM BOARD, TILE, SIDING, ETC., TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
5. REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
6. SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

DESIGNER: JENN LEWIS

DRAWN BY: BOBBY PENN

PERMIT: G. ANDERSON

A3.0



- 1 ARCHITECTURAL GRADE 30-YR MIN ROOF SHINGLES MIN OVER (1) LAYER #15 ROOF PAPER - PROVIDE ICE SHIELD AS REQD - SEE DETAIL ##A5.0
- 2 2 X 8 FASCIA BOARD W/ PRE-FINISHED ALUM COIL STOCK WRAP
- 3 PRE-FINISHED MTL GUTTER & DOWN SPOUT W/ CONC SPLASH BLOCK @ GRADE OR CONNECT NEW DOWNSPOUTS TO EXISTING UNDERGROUND DRAINAGE
- 4 VINYL SIDING TO MATCH EXISTING - INSTALL PER MANF INSTALL INSTRUCTIONS
- 5 NEW WINDOW

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The logo for Mosby Building Arts, featuring the word "mosby" in a bold, blue, sans-serif font, with "BUILDINGARTS" in a smaller, green, sans-serif font stacked to its right.

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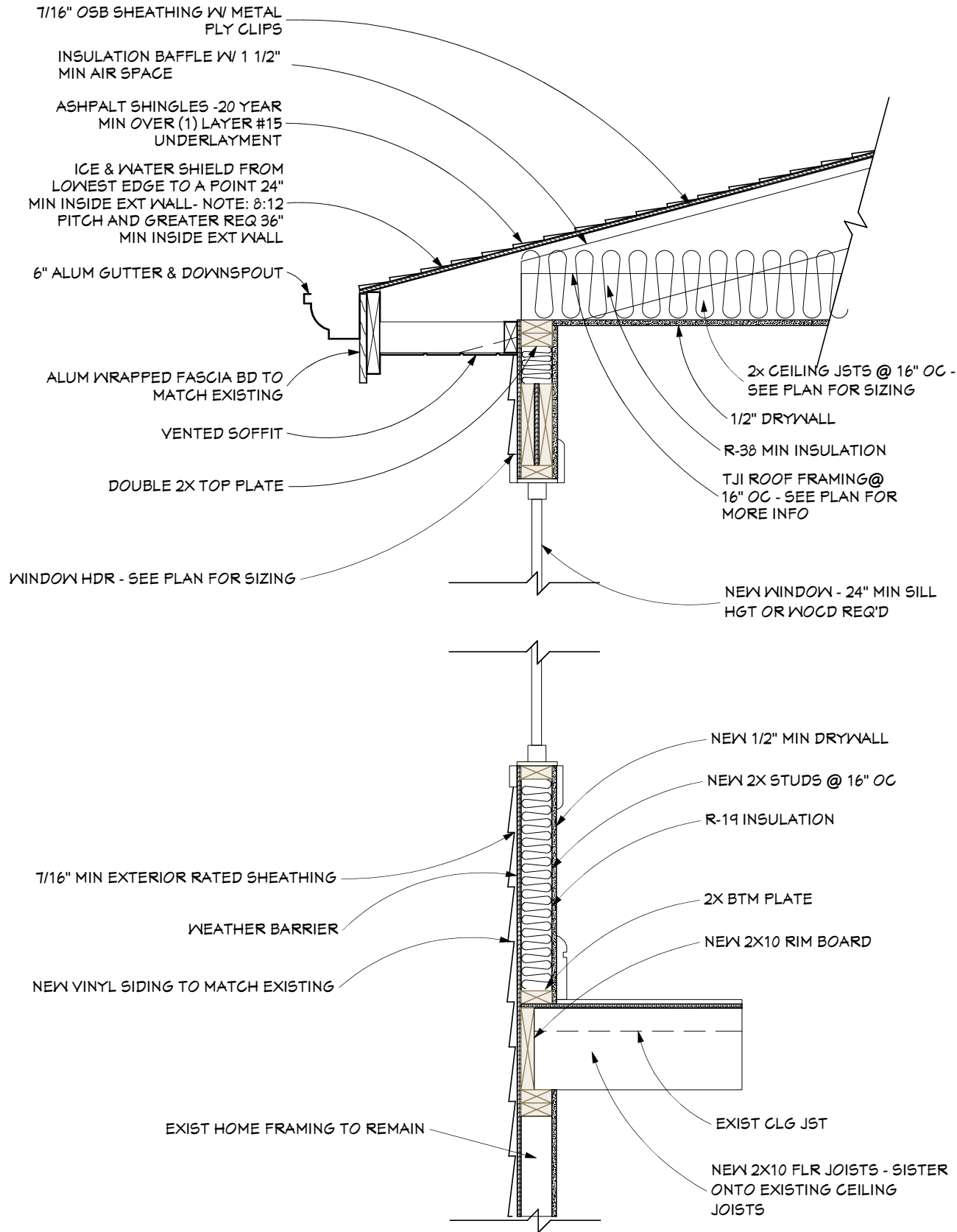
PANEL WIDTHS ARE BASED ON CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING. REFERENCE TABLE R602.10.3(1) FOR LENGTH REQUIREMENTS.

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6. FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.

PERMIT: G. ANDERSON

A4.0



1 WALL SECTION DETAIL
SCALE: 3/4" = 1'-0"

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MO LICENSE #:	A-6879
DESIGNER:	JENN LEWIS
DRAWN BY:	BOBBY PENN
PERMIT:	G. ANDERSON
A5.0	

DIVISION 1 - GENERAL REQUIREMENTS:

- 1.01) RELEASE OF PLANS BY ARCHITECT OBLIGATES OWNER AND CONTRACTOR TO REVIEW PLANS AND EXERCISE AID DILIGENCE IN IMMEDIATELY REPORTING AND DISCUSSING WITH THE ARCHITECT ANY AND ALL POTENTIAL OR ACTUAL DISCREPANCIES, AMBIGUITIES, CONCERNS OR PROBLEMS THEY FIND IN THE PLANS. ANY FAILURE ON THE PART OF THE OWNER AND/OR CONTRACTOR TO IMMEDIATELY REPORT OR DISCUSS THESE ISSUES WITH THE ARCHITECT WILL RELIEVE ARCHITECT FROM ANY AND ALL LIABILITY FOR ANY SUBSEQUENT CHARGES, CONSTRUCTION COSTS, EXPENSES OR DAMAGES OF ANY KIND.

CODES & PERMITS

- 1.02) WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
- 1.03) THE BUILDING PERMITS TO BE PROCURED BY MOSBY BUILDING ARTS (MBA), OTHER APPROPRIATE PERMITS TO BE PROCURED BY AFFILIABLE SUBCONTRACTOR AS REQUIRED.

LAYOUT

- 1.04) DO NOT SCALE DRAWINGS, EXCEPT FOR GENERAL BIDDING PURPOSES. FOLLOW WRITTEN DIMENSIONS ONLY. BEFORE PROCEEDING WITH WORK, MBA SHALL VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND AMONG THE DOCUMENTS OR BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS.
- 1.05) ALL DIMENSIONS ARE TO FACE OF DRYWALL, UNLESS NOTED OTHERWISE. INTERIOR WALL THICKNESS IS 4-1/2" STUDS AT 16" ON CENTER EXCEPT WHERE OTHERWISE NOTED. LOAD BEARING WALLS ARE TO HAVE DOUBLE TOP PLATES AND SINGLE BOTTOM PLATES.
- 1.06) THE WORD "ALIGN" AS USED IN THESE DOCUMENTS SHALL SUPERSEDE ANY DIMENSIONAL INFORMATION OTHERWISE INDICATED.
- 1.07) ALL DIMENSIONS NOTED AS "X" OR "EXISTING" OR "VERIFY" MAY VARY AND SHALL BE VERIFIED BY MBA IN THE FIELD. ARCHITECT OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH CONSTRUCTION IN THESE AREAS.
- 1.08) FURNISHINGS INDICATED ARE FOR INFORMATIONAL USE ONLY.

SHOP DRAWINGS

- 1.09) SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND/OR SAMPLES TO OWNER OR MBA FOR REVIEW.
- 1.10) ANY HAZARDOUS MATERIAL SHALL BE SURVEYED, IDENTIFIED, AND REMOVED BY A QUALIFIED CONTRACTOR. IT IS NOT THE PURPOSE OR INTENT OF THESE DRAWINGS TO LOCATE OR IDENTIFY ANY HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO ASBESTOS AND LEAD.

DIVISION 2 - SITE WORK

- GENERAL
- 2.01) WORK SHALL CONSIST OF ALL SERVICES TYPICALLY KNOWN AS 'DESIGN/BUILD' WORK AND SHALL INCLUDE ALL SHOP DRAWINGS, MATERIALS, LABOR, EQUIPMENT, AND TOOLS REQUIRED TO COMPLETE ALL SITE WORK.
- 2.02) BRACE ALL WALLS DURING CONSTRUCTION TO PREVENT DAMAGE FROM EARTH, WIND, WATER PRESSURE, AND CONSTRUCTION LOADS UNTIL ALL SUPPORTING WALLS, STRUCTURAL COMPONENTS, AND/OR SLABS OR ROOF COMPONENTS ARE IN PLACE AND HAVE ATTAINED DESIGN STRENGTH AND ARE CAPABLE OF RESISTING DESIGNED LOADS.

EARTHWORK

- 2.03) PERFORM EARTHWORK CAREFULLY AND IN SUCH A MANNER SO AS NOT TO WEAKEN OR IMPAIR THE STRUCTURAL INTEGRITY OF THE BUILDING.
- 2.04) FINISH GRADE AT BUILDING TO BE A MINIMUM 8" BELOW THE TOP OF FOUNDATION FOR FRAME. DO NOT EXCEED MAXIMUM UNBALANCED FILL HEIGHT.
- 2.05) FINISH GRADE TO SLOPE AWAY FROM BUILDING FOUNDATION MINIMUM OF 6" DROP WITH IN THE FIRST 10 FEET OR TO A SWALE.
- 2.06) TO TOPKILL THE SOIL ON THE SITE FOR FINISH GRADING. EXCAVATE FOR ALL FOOTING AND FOUNDATIONS TO 2'-6" MINIMUM BELOW FINISHED GRADE AND 12" INTO UNDISTURBED SOIL, OR AS INDICATED ON DRAWINGS. BOTTOM OF ALL FOOTING EXCAVATIONS SHALL BE LEVEL, AND SCAPED TO FIRM DRY SOIL. EXCAVATIONS SHALL BE KEPT DRY PRIOR TO INSTALLING FOUNDING.
- 2.07) BACK-FILL SHALL BE INSTALLED FREE OF DEBRIS, LARGE ROCKS, AND ORGANIC OR OTHER UNACCEPTABLE MATERIALS. BACK-FILL SHALL BE PROPERLY COMPACTED IN LIFTS OF APPROPRIATE DEPTH, CONSISTENT WITH SOIL TYPE AND MOISTURE CONTENT TO AVOID FUTURE SETTLING.
- 2.08) NO FILL AND/OR COMPACTING TO OCCUR PRIOR TO COMPLETION OF FIRST FLOOR FRAMING WITH PLYWOOD SUBFLOOR APPLIED OR THE FOUNDATION IS PROPERLY BRACED.

UTILITIES

- 2.09) VISUALLY LOCATE ALL UTILITIES BY HAND EXCAVATION AND PROVIDE PROPER PROTECTION FROM DAMAGE. COORDINATE WITH UTILITY COMPANY PRIOR TO ANY DISRUPTION OF SERVICE.
- 2.10) CONFORM TO APPLICABLE ST. LOUIS METROPOLITAN SEWER DISTRICT STANDARDS. INSTALL NEW SEWER, CONNECT DOWNSPOUTS AND STORM-WATER INLETS TO SEWER IF REQUIRED.

PAVING & WALKS

- 2.11) CONCRETE WALKS, DRIVEWAYS, AND PATIOS SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL. PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED. ALL WALKS SHALL BE 3'-0" WIDE UNLESS NOTED OTHERWISE. SEE DIVISION 3 FOR ADDITIONAL CONCRETE DETAIL.
- 2.12) ASPHALT PAVING AT PARKING AREAS SHALL BE 2" ASPHALT BASE WITH A 1" TOPPING ON 6" COMPACTED GRAVEL.
- FENCING
- 2.13) WOOD FENCING SHALL BE 1X6 WESTERN RED CEDAR BOARDS WITH 2X4 PRESSURE TREATED RAILS AND 4X4 PRESSURE TREATED POSTS SET IN CONCRETE, U.N.O. ALL METAL FASTENERS AND ACCESSORIES SHALL BE GALVANIZED. COORDINATE WITH TYPICAL DETAILS.
- 2.14) METAL FENCES, RAILS, AND GATES SHALL BE CUSTOM FABRICATED FROM TUBES, PIPES, BARS, CHANNELS, AND/OR SPECIAL SHAPES AS SHOWN ON THE DRAWINGS. THEY ARE TO BE WELDED, GROUND SMOOTH, SHOP PRIMED AND PAINTED AS INDICATED ON DRAWINGS.

LAWN & LANDSCAPING

- 2.15) REMOVE ALL LANDSCAPE MATERIALS NOT INDICATED TO REMAIN. PROTECT ALL LANDSCAPE MATERIALS AND SITE FEATURES INDICATED TO REMAIN.
- 2.16) LAWN AREAS SHALL BE GRADED SMOOTH, DE-VEEPEED, SEEDED AND STRAWED OR SOODED AS INDICATED.
- 2.17) INSTALL TREES AND LANDSCAPING AS SHOWN ON THE DRAWINGS.

DIVISION 3 - CONCRETE

- 3.01) WORK SHALL CONSIST OF ALL SERVICES TYPICALLY KNOWN AS 'DESIGN/BUILD' WORK AND SHALL INCLUDE THE FURNISHING OF SHOP DRAWINGS AS REQUIRED, MATERIALS, LABOR, EQUIPMENT, AND TOOLS TO COMPLETE ALL CONCRETE WORK.
- 3.02) CONCRETE MIXES SHALL COMPLY WITH THE FOLLOWING: MINIMUM COMPRESSIVE STRENGTH ON CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE 2500 PSI FOR BASEMENT WALLS, FOUNDATIONS, SLABS AND OTHER CONCRETE NOT EXPOSED TO WEATHER, 3000 PSI FOR BASEMENT WALLS, FOUNDATION WALLS AND OTHER VERTICAL CONCRETE EXPOSED TO WEATHER, AND 3500 PSI FOR EXTERIOR SLABS, GARAGE FLOOR SLABS AND STEPS EXPOSED TO THE WEATHER. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, NO CALCIUM CHLORIDE SHALL BE PERMITTED TO BE USED IN ANY CONCRETE OF ARCHITECT. CONCRETE AGGREGATES ASTM C-33. ALL CONCRETE SHALL BE AIR-ENTRAINED BETWEEN 5% AND 1%. 3.03) SEE DRAWINGS FOR REINFORCING REQUIREMENTS.

FOOTINGS & FOUNDATIONS

- 3.04) 1'-10" TALL FOUNDATION WALLS SHALL HAVE (2) #4 REINFORCING BARS CONTINUOUS TOP AND BOTTOM AND 2'-10" TALL FOUNDATION WALLS SHALL HAVE (2) #4 REINFORCING BARS CONTINUOUS TOP, MIDDLE, AND BOTTOM UNLESS OTHERWISE NOTED.
- 3.05) ALL FOOTINGS TO BEAR ON AND BE FORMED BY CLEAN UNDISTURBED VIRGIN SUBSOIL WITH SAFE BEARING CAPACITY OF 2000 PSF OR ENGINEERED FILL WITH SAFE BEARING CAPACITY OF 2000 PSF MINIMUM.
- 3.06) PROVIDE 6-MIL POLY VAPOR BARRIER UNDER ALL HABITABLE AREAS WITH A 6" MINIMUM LAP JOINT.
- 3.07) BOTTOM OF FOOTINGS, FROST WALLS, AND CONCRETE PIERS SHALL BE MINIMUM OF 2'-6" BELOW FINISHED GRADE AND 12" INTO UNDISTURBED SOIL.

CONCRETE FLOORS

- 3.08) CONCRETE SLAB-ON-GROUND FLOORS SHALL BE A MINIMUM OF 3-1/2" THICK AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AND AIR-ENTRAINED.

FINISH CARPENTRY:

- 6.1 (1) INTERIOR TRIM SHALL BE PRE-PRIMED WOOD UNLESS NOTED OTHERWISE ON DRAWINGS.
- A. 2 1/4" (MIN.) COLONIAL CASING AT DOORS AND WINDOWS.
- B. 1 3/4" (MIN.) COLONIAL CASING AT DOORS AND WINDOWS.
- 6.12) AT LEAST ONE CONTINUOUS HANDRAIL ON STAIR SECTION SHALL BE 34"-38" ABOVE NOSING. HANDRAILS TO PROJECT NO MORE THAN 3 1/2" INTO REQUIRED STAIRWAY WIDTH. ALLOWABLE WIDTH OF HANDRAILS IS 2" MAXIMUM AND 1 1/4" MINIMUM WHEN LOCATED INSIDE THE DWELLING UNIT. REFER TO SECTION DETAIL ON PLANS.
- 6.13) GUARDS SHALL BE PROVIDED ON STAIRS AT HEIGHT OF 34" ABOVE THE LEADING EDGE OF THE TREAD, AND 36" ABOVE FINISHED FLOOR AT ADJACENT WALKING SURFACES. OPEN GUARDS SHALL HAVE VERTICAL BALUSTERS WITH 4" MAXIMUM SPACING.
- 6.14) OPEN GUARDS FOR STAIRWAYS AND BALCONIES SHALL HAVE BALUSTER OR OTHER CONSTRUCTION TYPES SPACED SUCH THAT A SPHERE WITH A 4" DIAMETER CANNOT PASS THROUGH ANY OPENING. EXCEPTION: THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL AT OPEN SIDE OF STAIRWAY CANNOT ALLOW A SPHERE WITH A 6" DIAMETER TO PASS THROUGH.
- 6.15) GUARDS 3'-0" MINIMUM ABOVE FINISHED FLOOR ARE REQUIRED ALONG BALCONIES, AREAWAYS, AND OPEN SIDED FLOORS WHERE THE DIFFERENCE IN FLOOR LEVELS IS MORE THAN 30".
- 6.16) MAXIMUM RISER HEIGHT IS 7 3/4", MINIMUM TREAD DEPTH IS 10" WITH A 1" NOSING. MINIMUM WIDTH OF DOORWAY TO STAIRS IS 2'-0". STAIR WINDERS MUST HAVE 4" MINIMUM TREAD DEPTH AT A POINT NOT MORE THAN 12" FROM THE NARROW END AND BE AT LEAST 6" IN DEPTH AT THE NARROW END.

CASEWORK & ARCHITECTURAL WOODWORK

- 6.17) CASEWORK INCLUDES KITCHEN CABINETS AND VANITIES, CABINET SIZES, WOOD SPECIES, PROFILES, FINISH, HARDWARE, AND ACCESSORIES SHALL BE SELECTED BY OWNER OR MOSBY BUILDING ARTS.
- 6.18) KITCHEN COUNTERTOPS SHALL BE POST-FORMED PLASTIC LAMINATE WITH 4" BACK-SPLASHES U.N.O.
- 6.19) VANITY TOPS ARE TO BE ONYX WITH INTEGRAL BOWLS OR AS NOTED ON PLANS.
- 6.20) CABINET AND VANITY TOP SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING IS COMPLETE TO ASSURE FIT WITH MINIMUM SCRIBES AND TO ASSURE THE FREE OPERATION OF ALL DOORS AND DRAWERS.

DIVISION 4 - MASONRY

GENERAL

- 4.01) WORK SHALL CONSIST OF ALL SERVICES TYPICALLY KNOWN AS 'DESIGN/BUILD' WORK AND SHALL INCLUDE THE FURNISHING OF SHOP DRAWINGS AS REQUIRED, MATERIALS, LABOR, EQUIPMENT, AND TOOLS TO COMPLETE ALL MASONRY WORK.
- 4.02) A BRICK VENEER MASONRY WALL REQUIRES NON-CORROSIVE (22GA BY 11 3/8" WIDE MINIMUM) METAL NAIL TIES AT 24" O.C. VERTICALLY AND HORIZONTALLY.
- 4.02.1) 1) ANCHORS AT OPENINGS LARGER THAN 16" IN EITHER DIRECTION SHALL BE SPACED AT 3'-0" ON CENTER OR LESS.
- 4.03) ALL LOOSE LINTELS TO HAVE A MINIMUM OF 8" BEARING AT EACH END.

BRICK & STONE

- 4.03) PROVIDE PROPER GOLD WEATHER PROTECTION. COMPLY WITH MASONRY INSTITUTE GUIDELINES (LATEST ISSUE) FOR GOLD WEATHER INSULATION.
- 4.05) BRICK VENEER WALLS REQUIRE 20 MIL MINIMUM POLYETHYLENE FLASHING OR APPROXIMATELY EQUAL AT BRICK SILL AT FOUNDATION WITH VEEF HOLES AT 33" O.C. MAXIMUM.
- 4.06) ALL BRICK VENEER WALLS REQUIRE CORROSION RESISTANT FLASHING WITH SIDE DAMS AND VEEF HOLES AT 24" O.C. AT TOP AND BOTTOM OF EXTERIOR DOORS AND WINDOWS.
- 4.07) ALL BRICK FEATURES, I.E. SOLIDER COURSES, JAMB SURROUNDS, SILLS, ETC. TO PROJECT FROM FACE OF BRICK VENEER 1/2" MINIMUM.

MASONRY FIREPLACES

- 4.03) ALL COMBUSTIBLES SHALL BE 8" MINIMUM FROM FIREPLACE OPENING.
- 4.04) PROVIDE 16" MINIMUM HEARTH AND 8" MINIMUM NONCOMBUSTIBLE MATERIAL EACH SIDE OF OPENING FOR FIREPLACE OPENINGS LESS THAN 6 SQUARE FEET. PROVIDE 20" MINIMUM HEARTH AND 12" MINIMUM NONCOMBUSTIBLE MATERIAL EACH SIDE OF OPENING FOR FIREPLACE OPENINGS OVER 6 SQUARE FEET. MINIMUM 2" CLEARANCE FROM CHIMNEY TO COMBUSTIBLE MATERIAL. 12" MINIMUM FROM FIREPLACE OPENING TO COMBUSTIBLE MATERIAL.
- 4.10) THE EXTERIOR SURFACE OF MASONRY FIREPLACE WALLS SHALL HAVE A MINIMUM CLEARANCE TO COMBUSTIBLES OF 6".
- 4.11) EXTERIOR WALL OF MASONRY CHIMNEY'S SHALL HAVE A MINIMUM CLEARANCE TO COMBUSTIBLES OF 6".
- 4.12) FOUNDATION TO BE WATERPROOFED WITH TWO 60 MIL PLY HOT-MOPPED FELTS, 6-MIL P.V.C. 1/8" POLYMER MODIFIED ASPHALT, OR 6-MIL POLYETHYLENE. JOINTS TO BE LAPPED AND SEALED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 4.23) WATERPROOFING TO BE APPLIED FROM THE BOTTOM OF THE WALL TO AT LEAST 12" OUTLET (TOP OF FLUE) SHALL BE A MINIMUM OF 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITH IN 10'-0" HORIZONTALLY.

DIVISION 5 - METALS

REINFORCING STEEL

- 5.01) ALL REINFORCING STEEL TO BE DETAILED AND PLACED IN ACCORDANCE WITH ACI 'MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE STRUCTURES'.
- 5.02) ALL REINFORCING STEEL TO BE ASTM A615 GRADE 40 (AS INDICATED), WELDED WIRE FABRIC TO BE ASTM A446, 6X6X1/4 (AS INDICATED), PLD FABRIC 6" MINIMUM AND MAINTAIN FABRIC AND MID DEPTH OF SLAB WHILE PLACING CONCRETE.
- 5.03) REINFORCING STEEL SHALL BE CONTINUOUS WHENEVER POSSIBLE. SPLICES AND LAPS TO CONFORM TO 2'-4" EACH WAY.

STRUCTURAL STEEL

- 5.04) FOR STEEL BEAM AND COLUMN SIZE, WEIGHT, AND SPACING REFER TO THE PLANS. SECURE A 2X6 WOOD NAILER ON TOPSIDE OF STEEL BEAM(S). NOTE MINIMUM PERMITTED CLEAR HEIGHT IN UNFINISHED BASEMENTS IS 6'-8" TO LOWEST PROJECTION.
- 5.05) ALL STEEL JOISTS OR LATH SHALL BE FABRICATED AND DETECTED IN ACCORDANCE WITH AISC 'CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES'.
- 5.06) WALLS AND PLATES: ASTM A 36.
- A. SHAPES AND PLATES: ASTM A 36.
- B. TUBE COLUMNS: ASTM A500 GRADE B.
- C. BOLTS: 3/4" O.C. (MIN.), A307.
- D. ANCHOR BOLTS: 3/4" O.C. (MIN.), A307.
- E. EXPANSION BOLTS: ASTM A53, TYPE B, 1/2" OR 5/8" S, GRADE B.
- F. EXPANSION BOLTS: HILTI 'KNIK-BOLT II' STUD ANCHORS FOR CONCRETE.
- 6.01) WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING SOCIETY CODE (AWS D-1.58) PUBLISHED BY AMERICAN WELDING SOCIETY STANDARDS.
- 5.07) SPLICING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT WRITTEN APPROVAL BY THE ENGINEER.
- 5.08) NO CHANGE IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS SHALL BE MADE. HOLES, SLOTS, AND NOTCHES ARE PERMITTED THROUGH ANY MEMBERS UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
- 5.09) NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
- 5.10) FABRICATE AND WELD ALL STEEL IN ACCORDANCE WITH THE CURRENT APPLICABLE CODE, INCLUDING BUT NOT LIMITED TO FLYMOOD SUBFLOOR, EXTERIOR FLYMOOD SHEATHING, AND ROOF SHEATHING.
- 5.11) ALL COLUMN BASE PLATES SHALL BE SOLIDLY GROUTED WITH NON-SHRINK GROUT UNDER THE ENTIRE BASE PLATE AREA.

DIVISION 6 - WOODS & PLASTICS:

GENERAL

- 6.01) WORK SHALL CONSIST OF ALL SERVICES TYPICALLY KNOWN AS 'DESIGN/BUILD' WORK AND SHALL INCLUDE THE FURNISHING OF SHOP DRAWINGS AS REQUIRED, MATERIALS, LABOR, EQUIPMENT, AND TOOLS TO COMPLETE ALL ROUGH AND FINISH CARPENTRY.

ROUGH CARPENTRY:

- 6.02) ALL CONSTRUCTION LUMBER SHALL BE CONSTRUCTION GRADE (FB 1350 PSI E=1,600, 000) UNLESS NOTED OTHERWISE. ALL LUMBER USED FOR POSTS, BEAMS, HEADERS, AND JOISTS SHALL BE STRUCTURAL GRADE #1.
- 6.03) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED FOR GROUND CONTACT (I.E. VOLTAMYZANED OR EQUAL) AS RECOMMENDED BY AMERICAN WOOD PRESERVATIVES INSTITUTE.
- 6.04) ALL FRAMING LUMBER SHALL BE NAILED IN PLACE ACCORDING TO THE FASTENING SCHEDULE OF THE CURRENT APPLICABLE CODE, INCLUDING BUT NOT LIMITED TO FLYMOOD SUBFLOOR, EXTERIOR FLYMOOD SHEATHING, AND ROOF SHEATHING.
- 6.05) ALL CUTTING AND NOTCHING TO BE IN ACCORDANCE WITH THE CURRENT APPLICABLE CODE.
- 6.06) ALL SOFFITS OR DROPPED CEILINGS SHALL BE FIRE STOPPED AS REQUIRED BY THE CURRENT APPLICABLE CODE.
- 6.07) FIRE-STOP IN AN APPROVED MANNER AROUND ALL VERTICAL PLUMBING LINES PASSING THROUGH A TENANT SEPARATION CEILING/FLOOR ASSEMBLY.
- 6.08) PROVIDE WOOD BLOCKING AS NECESSARY IN WALLS THAT RECEIVE CABINETS, SHELVES, ACCESSORIES, WALL MOUNTED EQUIPMENT, MISCELLANEOUS DEVICES, ETC.
- 6.09) EXPOSED (UNPAINTED) WOOD AT DECKS AND PORCHES SHALL BE CEDAR. WOOD SUBSTRUCTURE SHALL BE PRESURE TREATED LUMBER (POSTS MAY BE CEDAR OR PRESSURE TREATED) ALL METAL FASTENERS AND ACCESSORIES SHALL BE GALVANIZED.

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

BUILDING INSULATION

- 7.01) FURNISH ALL LABOR, MATERIAL AND EQUIPMENT TO COMPLETE THE BUILDING INSULATION WORK SHOWN ON THE DRAWINGS, AND PER FOLLOWING:
- A. ROOF RAKERS, BATT BLANKET, R-38 (MAINTAIN 1" AIRSPACE TO UNDERSIDE OF ROOF SHEATHING).
- B. CEILING JOISTS (BELOW UNINSULATED ATTIC SPACE): BATT BLANKETS OR LOOSE BLOWN INSULATION.
- C. EXTERIOR WALLS: BATT BLANKET R-13.
- D. FLOOR JOISTS (OVER CRAWL SPACE OR BETWEEN DWELLING UNITS): BATT BLANKET R-19.
- 7.02) EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING NOT EXCEEDING 25 AND A SMOKE DEVELOPED RATING 450 OR LESS. INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200.

ROOFING

- 7.03) ASPHALT SHINGLE: FOR ROOFS WITH A SLOPE 4:12 OR GREATER INSTALL ASPHALT SHINGLES OVER ONE LAYER OF #15 ASPHALT FELT PAPER UNLESS OTHERWISE NOTED. PROVIDE CLASS 'C' ASPHALT SHINGLE WITH MINERAL SURFING AND SELF-ADHERING TABS NOT LESS THAN 230 LBS. PER SQUARE. COLOR AND PATTERN SHALL TO BE SELECTED BY OWNER OR MOSBY BUILDING ARTS. PROVIDE ACCESSORY ITEMS AS REQUIRED TO MAKE A COMPLETE INSTALLATION OF SHINGLE ROOFING.
- 7.04) SLATE SHINGLES: INSTALL SLATE SHINGLES OVER #15 ASPHALT PAPER. USE COPPER FOR ALL FASTENERS AND FLASHING.
- 7.05) BUILT-UP ROOFING: INSTALL WITH COAL TAR OVER ORGANIC MEMBRANE WITH FOUR LAYERS OF #15 ASPHALT PAPER. PROVIDE PRESURE TREATED WOOD BLOCKING AND GANTS AS REQUIRED. PROVIDE ALUMINUM FLASHING AND ACCESSORY ITEMS TO MAKE A COMPLETE INSTALLATION.
- 7.06) SINGLE-PLY ROOFING: INSTALL A FULLY ADHERED EPDM MEMBRANE. PROVIDE PRESURE TREATED WOOD BLOCKING AND GANTS AS REQUIRED. PROVIDE ALUMINUM FLASHING AND ACCESSORY ITEMS TO MAKE A COMPLETE INSTALLATION.
- 7.07) SHEET METAL FLASHING SHALL BE USED AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERSECTIONS. SHEET METAL FLASHING SHALL BE GALVANIZED OR GALVALUME. NOT LESS THAN 24" WIDE. PROVIDE CORNER TRIM AS INDICATED ON DRAWINGS.
- 7.08) PROVIDE GUTTERS AND DOWN SPOUTS AS INDICATED ON THE DRAWINGS. CONNECT DOWN SPOUTS AND STORM-WATER INLETS TO SEWER AS REQUIRED.

SIDING

- 7.04) INSTALL HORIZONTAL SIDING OR HARDBOARD SIDING AS INDICATED ON THE DRAWINGS. PROVIDE CORNER TRIM AS INDICATED ON DRAWINGS.

SKYLIGHTS

- 7.10) INSTALL SKYLIGHTS AS SHOWN ON DRAWINGS AND PER MANUFACTURERS SPECIFICATIONS. PROVIDE ALUMINUM FLASHING AND ACCESSORY ITEMS TO MAKE A COMPLETE INSTALLATION.

SEALANTS

- 7.11) EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES OR DOOR FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICE ENTRANCES THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER JOINTS AND OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL RECEIVE A WEATHER PROOF SEAL.

WATER AND DAMP PROOFING

- 7.12) WALLS OR PORTIONS THERE OF THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED OR DAMP PROOFED DEPENDING ON THE PRESENCE OR NON-PRESENCE OF GROUNDWATER. GARAGE AREAS MAY BE OMITTED PROVIDED IT'S NOT DETRIMENTAL TO THE BUILDING.
- 7.13) AN EVALUATION OF THE SOIL FOR THE PRESENCE OR ABSENCE OF GROUND WATER IS REQUIRED. THE EVALUATION REPORT SHALL BE BASED ON EITHER A SUBSURFACE SOIL INVESTIGATION OR SATISFACTORY DATA FROM ADJACENT AREAS TOGETHER WITH AN INSPECTION OF THE EXCAVATION PRIOR TO POURING CONCRETE.
- 7.14) NO GROUND WATER PRESENT - PROVIDE DRAIN TILE, PERFORATED PIPE, OR OTHER APPROVED FOUNDATION DRAINAGE SYSTEMS AROUND PERIMETER OF THE OUTSIDE OF THE FOUNDATION OR INSIDE THE FOUNDATION. DRAIN DISCHARGE SHALL BE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO A BASEMENT FLOOR SUMP.
- 7.15) AN APPROVED FILTER MEMBRANE SHALL BE PLACED OVER THE TOP OF THE JOINTS/PIPE PERFORATIONS. THE TILE/PIPE SHALL BE FLANGED ON 2" MINIMUM GRAVEL OR CRUSHED STONE AND HAVE 6" MINIMUM COVER.
- 7.16) PROVIDE SUMP 15" IN DIAMETER BY 1' DEEP WITH A FITTED COVER CONNECTED TO THE FOUNDATION DRAINPIPE UNLESS GRAVITY DISCHARGE. A SUMP SHALL BE PROVIDED IF BASEMENT IS FINISHED OR PARTIALLY FINISHED WITH PUMP DISCHARGE BY APPROVED METHOD.
- 7.17) PROVIDE DAMP PROOFING OF FLOOR SLAB WITH 6-MIL POLYETHYLENE FILM BELOW SLAB, WITH JOINTS IN MEMBRANE LAPPED AND SEALED.
- 7.18) WALLS SHALL BE DAMP PROOFED WITH A BITUMINOUS MATERIAL, SLBS, PER SQ. YD. OF ACRYLIC MODIFIED CEMENT, 10% COAT OF SURFACE BONDING WATER, OR BY ANY OF THE MATERIALS PERMITTED FOR WALL WATERPROOFING.
- 7.19) GROUNDWATER PRESENT - PROVIDE DRAIN TILE, PERFORATED PIPE, OR OTHER APPROVED FOUNDATION DRAINAGE SYSTEM BOTH INSIDE AND OUTSIDE OF FOUNDATION.
- 7.20) DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (15" IN DIAMETER BY 1' DEEP WITH FITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL SYSTEM.
- 7.21) PROVIDE WATERPROOFING MEMBRANE UNDER FLOOR SLAB OF RUBBERIZED ASPHALT, BUTYL RUBBER, NEOPRENE, OR MINIMUM 6-MIL POLYVINYL CHLORIDE OR POLYETHYLENE WITH JOINTS LAPPED A MINIMUM OF 6" AND SEALED.
- 7.22) FLOORSLAB TO BE WATERPROOFED WITH TWO 60 MIL PLY HOT-MOPPED FELTS, 6-MIL P.V.C. 1/8" POLYMER MODIFIED ASPHALT, OR 6-MIL POLYETHYLENE. JOINTS TO BE LAPPED AND SEALED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 7.23) WATERPROOFING TO BE APPLIED FROM THE BOTTOM OF THE WALL TO AT LEAST 12" OUTLET (TOP OF FLUE) SHALL BE A MINIMUM OF 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITH IN 10'-0" HORIZONTALLY.
- 7.24) ALL JOINTS IN WALLS AND FLOORS TO BE WATER TIGHT.
- 7.25) DOWN SPOUT DISCHARGE SHALL BE DIRECTED AWAY FROM FOUNDATION.
- 7.26) SUMP PUMP DISCHARGE AND ROOF DRAINAGE SHALL BE PIPED TO A STORM DRAIN OR APPROVED WATER COURSE, DISCHARGING TO OR WITHIN 10'-0" OF A SIDEWALK, DRIVEWAY, STREET OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.

DIVISION 8 - DOORS & WINDOWS:

DOORS

- 8.01) INTERIOR DOORS ARE TO BE 6" PANELS HOLLOW CORE DOORS IN WOOD FRAMES.
- 8.02) PROVIDE 6'-0" HIGH DOORS IN WIDTHS SHOWN ON DRAWINGS UNO.
- 8.03) GLAZING AT EXTERIOR DOORS, SIDELIGHTS, AND TRANSOMS SHALL BE INSULATED GLASS. PROVIDE TEMPERED GLASS AS REQUIRED BY THE CURRENT APPLICABLE CODE.
- 8.04) GLASS IN PARTIAL DOORS, STORM DOORS, EXTERIOR DOORS, INTERIOR DOORS, SHOWER DOORS AND PANELS, AND TUB ENCLOSURES SHALL BE 3/16" TEMPERED GLASS OR APPROVED SHATTER RESISTANT PLASTIC.
- 8.04) QUALITY HARDWARE AS SELECTED BY OWNER OR MOSBY BUILDING ARTS.
- 8.05) INTERIOR DOORS: HINGERS, DEAD BOLT, ENTRANCE LOCKSET, THRESHOLD, WEATHER STRIPPING, AND DOOR STOP. PROVIDE A PEEPHOLE AT 5'-0" ABOVE FINISHED FLOOR AT DOORS WITHOUT SIGHTLIT.
- 8.06) TYPICAL INTERIOR DOORS: STANDARD HINGES, PRIVACY LOCKSET, AND DOORSTOP.
- 8.07) INTERIOR DOORS: STANDARD HINGES, PASSAGE LOCKSET, AND DOORSTOP.
- 8.04) GLOSET DOORS (BI-FOLD): HEAVY DUTY HARDWARE SUPPLIED BY DOOR MANUFACTURER.
- 8.05) FIRE DOOR DOORS (SLIDING): HEAVY DUTY TRACK, RECESSED DOOR PULLS.
- 8.06) POCKET DOORS: HEAVY DUTY TRACK, RECESSED DOOR PULLS, PRIVACY LOCK AT ALL BATHROOMS.

WINDOWS

- 8.05) WINDOW MANUFACTURER AND TYPES TO BE SELECTED BY OWNER, DEVELOPER, OR BUILDER. FINISH HEAD TRIM OF WINDOWS TO ALIGN WITH FINISH HEAD TRIM OF DOORS.
- 8.06) SLOTS, AND NOTCHES ARE PERMITTED THROUGH ANY MEMBERS UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
- 8.09) NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
- 8.10) FABRICATE AND WELD ALL STEEL IN ACCORDANCE WITH THE CURRENT APPLICABLE CODE, INCLUDING BUT NOT LIMITED TO FLYMOOD SUBFLOOR, EXTERIOR FLYMOOD SHEATHING, AND ROOF SHEATHING.
- 8.11) ALL COLUMN BASE PLATES SHALL BE SOLIDLY GROUTED WITH NON-SHRINK GROUT UNDER THE ENTIRE BASE PLATE AREA.
- DIVISION 9 - FINISHES:
- 9.01) WORK SHALL CONSIST OF ALL SERVICES TYPICALLY KNOWN AS 'DESIGN/BUILD' WORK AND SHALL INCLUDE THE FURNISHING OF SHOP DRAWINGS AS REQUIRED, MATERIALS, LABOR, EQUIPMENT, AND TOOLS TO COMPLETE ALL ROUGH AND FINISH CARPENTRY.
- 9.02) MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL BE LIMITED TO A FLAME SPREAD RATING OF 200 OR LESS, INCLUDING EXPOSED INSULATION.
- 9.03) ALL FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF THE APPROVED UL TEST ASSEMBLY.
- 9.04) DRYWALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH CURRENT AFFICABLE CODE AND THE GYPSUM ASSOCIATION RECOMMENDED PRACTICES WITH RESPECT TO STUD AND BOARD TYPE, THICKNESS, NAILING, AND TAPING.
- 9.05) PROVIDE NET AREA GYPSUM BOARD AT ALL TUB AND SHOWER ENCLOSURES, SINK OR VANITY WALLS AND PLUMBING CHASE WALLS. PROVIDE CEMENT BACKER BOARD OR SUBSTRUCTURE SURFACE UNDERLAYMENT (IF REQUIRED) AT ALL NET AREA SURFACES THAT RECEIVE CERAMIC TILE. DO NOT INSTALL BACKER BOARD OVER VAPOR BARRIER.
- 9.06) AT ALL FIRE SEPARATION WALLS: TYPE 'X' DRYWALL SHALL EXTEND COMPLETELY BEHIND ALL BATHTUBS, SHOWERS, VANITIES, KITCHEN CABINETS, ETC. SEAL PLUMBING PIPE AND ALL OTHER PENETRATIONS AS REQUIRED TO PROVIDE CODE APPROVED FIRE SEPARATION.

DIVISION 9 - FINISHES:

- 9.01) WORK SHALL CONSIST OF ALL SERVICES TYPICALLY KNOWN AS 'DESIGN/BUILD' WORK AND SHALL INCLUDE THE FURNISHING OF SHOP DRAWINGS AS REQUIRED, MATERIALS, LABOR, EQUIPMENT, AND TOOLS TO COMPLETE ALL ROUGH AND FINISH CARPENTRY.

GENERAL

- 9.02) MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL BE LIMITED TO A FLAME SPREAD RATING OF 200 OR LESS, INCLUDING EXPOSED INSULATION.
- 9.03) ALL FIRE RATED DRYWALL ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS OF THE APPROVED UL TEST ASSEMBLY.
- 9.04) DRYWALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH CURRENT AFFICABLE CODE AND THE GYPSUM ASSOCIATION RECOMMENDED PRACTICES WITH RESPECT TO STUD AND BOARD TYPE, THICKNESS, NAILING, AND TAPING.
- 9.05) PROVIDE NET AREA GYPSUM BOARD AT ALL TUB AND SHOWER ENCLOSURES, SINK OR VANITY WALLS AND PLUMBING CHASE WALLS. PROVIDE CEMENT BACKER BOARD OR SUBSTRUCTURE SURFACE UNDERLAYMENT (IF REQUIRED) AT ALL NET AREA SURFACES THAT RECEIVE CERAMIC TILE. DO NOT INSTALL BACKER BOARD OVER VAPOR BARRIER.
- 9.06) AT ALL FIRE SEPARATION WALLS: TYPE 'X' DRYWALL SHALL EXTEND COMPLETELY BEHIND ALL BATHTUBS, SHOWERS, VANITIES, KITCHEN CABINETS, ETC. SEAL PLUMBING PIPE AND ALL OTHER PENETRATIONS AS REQUIRED TO PROVIDE CODE APPROVED FIRE SEPARATION.
- RESILIENT FLOORING
- 9.07) SHEET VINYL SHALL BE .050" THICK, PREMIUM GRADE SELECTED BY OWNER OR MOSBY BUILDING ARTS. SUB FLOOR PREPARATION AND ADHESIVES SHALL BE PER MANUFACTURER'S SPECIFICATIONS.

CERAMIC TILE

- 9.08) CERAMIC TILE TO BE SELECTED BY OWNER OR MOSBY BUILDING ARTS. SUB FLOOR PREPARATION, ADHESIVE, GROUT AND INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS.

CARPETINGS

- 9.09) PROVIDE RESIDENTIAL, 100% CONTINUOUS FILAMENT CARPET, CLASS 1. CARPET TO BE SELECTED BY OWNER OR MOSBY BUILDING ARTS. INCLUDE PAD SELECTED BY OWNER, DEVELOPER, OR BUILDER.
- 9.04) 1) PROVIDE ADHESIVES, TACK STRIPS, NAILS, AND ANY OTHER FASTENERS NECESSARY FOR INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
- 9.04) 2) ANY DEPRESSIONS, UNEVENNESS, EXPANSION JOISTS, ETC. SHALL BE FILLED WITH WATER RESISTANT NON-SHRINKING, NON-CRUMBLING COMPOUND AND TRAVELED TO PROPER LEVEL.

PAINTING

- 9.10) CONTRACTOR SHALL SUBMIT PROPOSED PREP AND STAIN OR PAINTING SYSTEM OF EACH TYPE OF SURFACE. INCLUDE APPROVED PAINT MANUFACTURER/PRODUCT DATA AS WELL AS COATING SEQUENCE.
- 9.11) PROVIDE ONE PRIMER/SEALER COAT AND ONE FINISH COAT DO SEMI-GLOSS ENAMEL PAINT ON ALL EXPOSED WOOD UNLESS NOTED OTHERWISE.

DIVISION 10 - SPECIALTIES:

BATH ACCESSORIES

- 10.01) PROVIDE AND INSTALL BATH ACCESSORIES AS SCHEDULED, INDICATED ON THE DRAWINGS AND/OR SELECTED BY THE OWNER OR MOSBY BUILDING ARTS. INSTALL NECESSARY BLOCKING AND PROVIDE FASTENERS, ADHESIVES, TRIM, AND RELATED ACCESSORIES, ETC. AS RECOMMENDED BY THE MANUFACTURER FOR COMPLETE INSTALLATION.
- 10.01.1) HALF BATH/POWDER ROOM: TOILET PAPER HOLDER, TOWEL RING OR BAR, AND A MIRROR 42" HIGH BY WIDTH OF VANITY.
- 10.01.2) FULL BATH: TOILET PAPER HOLDER, TOWEL RING OR BAR, AND A MIRROR 42" HIGH BY WIDTH OF VANITY.
- 10.02) INSTALL ADDRESS NUMBERS AS REQUIRED BY CURRENT APPLICABLE CODE JURISDICTION ON THE STREET (AND ALLEY) ELEVATION.

DIVISION 11 - EQUIPMENT:

- KITCHEN/LAUNDRY EQUIPMENT
- 11.01) PROVIDE AND INSTALL APPLIANCES AS INDICATED IN THE DRAWINGS. KITCHEN AND LAUNDRY EQUIPMENT TO BE SELECTED BY OWNER OR MOSBY BUILDING ARTS. PROVIDE POWER, WATER, DRAIN, AND OTHER ASSOCIATED UTILITIES AS REQUIRED FOR A COMPLETE INSTALLATION. VERIFY CLEARANCES, ETC. WITH ASSOCIATED TRADES AND SUBCONTRACTORS.
- 11.01.1) REFRIGERATOR (39" ROUGH SPACE)
- 11.01.2) RANGE (30" ELECTRIC)
- 11.01.3) RANGE HOOD (30") OPTIONAL MICROWAVE/HOOD
- 11.01.4) DISHWASHER
- 11.01.5) GARBAGE DISPOSAL (1/2 HP)
- 11.01.6) DRYER (ELECTRIC HOOKUP STANDARD)

GAS FIREPLACES

- 11.02) PREFABRICATED FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS, WHICH SHALL BE ON JOB SITE FOR INSPECTION.
- 11.03) PROVIDE 6" MINIMUM HEARTH AND 8" MINIMUM NONCOMBUSTIBLE SURROUND FOR FIREPLACE OPENINGS LESS THAN 6 SQUARE FEET. PROVIDE 20" MINIMUM HEARTH AND 12"