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AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
TUESDAY, JANUARY 21, 2014
7:00 PM

1. ROLL CALL

Mr. Michael Barton
Mr. Tim Carney
Mr. James Faron
Mr. Ken Howard
Mr. Tim Madden
Mr. Charles Pullium
Mr. Gene Rovak
Mr. Carl Lumley, City Attorney
Mr. Paul Langdon, Director of Community Development
Ms. Whitney Kelly, City Planner
Ms. Julie Lowery, Recording Secretary

Pursuant to Section 610.022 RSMO, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

2. ADDITIONS TO – ACCEPTANCE OF THE AGENDA

3. APPROVAL OF MINUTES

A. Draft minutes from the January 6th, 2014 meeting.

4. PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

5. **UNFINISHED BUSINESS**

None

6. **NEW BUSINESS**

A. PUBLIC HEARING

Application #13-047: Conditional use permit for an assisted living facility, The Grove in Creve Coeur, located at 450 N. Lindbergh Boulevard.

Applicant/Agent: Bill Biermann
Wm. Biermann Company, LLC
1795 Clarkson Road, Suite 190
Chesterfield, MO 63017

Applicant's Representative: George M. Stock, P.E.,
Stock & Associates Consulting Engineers, Inc.
257 Chesterfield Business Parkway
Chesterfield, MO 63005

7. **WORK AGENDA**

A. Form-based code discussion; draft Regulating Plan

B. Transmittal of Comprehensive Plan review schedule (to be distributed at the meeting)

8. **OTHER BUSINESS**

A. Planning Division Report

B. City Attorney Report

9. **ADJOURNMENT**

Posted: _____
Whitney Kelly
City Planner



**CITY OF CREVE COEUR - MINUTES
PLANNING AND ZONING COMMISSION MEETING
MONDAY, JANUARY 6, 2014
7:00 P.M.**

A public hearing and regular meeting of the Planning and Zoning Commission of the City of Creve Coeur, Missouri was held on Monday, January 6, 2014, at the Creve Coeur Government Center, 300 North New Ballas Road. Chair Tim Madden called the meeting to order at 7:00 p.m.

MEMBERS PRESENT: *Mr. Tim Madden, Chair*
 Mr. Tim Carney
 Mr. James Faron
 Mr. Ken Howard
 Mr. Charles Pullium
 Mr. Gene Rovak

OTHERS PRESENT: *Mr. Carl Lumley, City Attorney*
 Mr. Paul Langdon, Director of Community Development
 Ms. Whitney Kelly, AICP, City Planner
 Ms. Julie Lowery, Recording Secretary

2. ADDITIONS TO – ACCEPTANCE OF THE AGENDA

Mr. Faron moved approval of the agenda, which carried unanimously.

3. APPROVAL OF MINUTES

Mr. Faron moved approval of the draft minutes. Mr. Rovak seconded the motion, which carried unanimously.

4. PUBLIC COMMENT

None

5. UNFINISHED BUSINESS

A. Application #13-045: Text amendment to allow for drive-thru restaurant services on sites of less than three acres.

Applicant/Agent: Panera Bread Co.
3630 South Geyer Road, Suite 100
St. Louis, MO 63127

Representative: Stephen L. Kling, Jr.
Jenkins & Kling, P.C.
150 North Meramec Avenue, Suite 400
St. Louis, MO 63105

Mr. Stephen Kling, Jr., 150 N. Meramec Avenue, said they left from the last meeting with items to address and that is what they are prepared to do. Mr. Kling introduced people who were also going to speak: Mr. Jim Tusing with Panera Bread and Mr. David Hutkin with Hutkin Development. Mr. Kling went over the items and topics that were going to be discussed, which included the meeting with the residents, also the importance of maintaining the viability of the Ballas Road commercial corridor, in addition to questions that came up about need for the drive-thru, Graeser Road resident concerns, a concern that the need is just for this property, and some general comments.

Mr. David Hutkin, 10829 Olive Boulevard, Suite 200, said they met with the residents and discussed existing operations and impacts of a drive-thru. Mr. Hutkin said noise and trash, in current conditions, were discussed and are in process of being taken care of, as Panera management was also in attendance and not pleased to hear about this being such a problem. As for cars wandering into the Balmoral subdivision, there is not much they can do, Mr. Hutkin said, but are willing to work with neighbors to present ideas to the city staff. There was concern voiced about possible noise emanating from a speaker box in the drive-thru, and Mr. Hutkin said there is sound mitigation techniques on the speaker box and are committed to using. Mr. Hutkin said as part of any conditional use permit process, they would be subject to a noise study at their expense. Mr. Hutkin said the study would identify any noise mitigation techniques that would reduce the sound of anything coming out of the speaker box in the drive-thru. Mr. Hutkin also said there are physical things that can be done as well, and explained that an opaque masonry wall can be erected, wood fencing, or landscaping can be placed in front of a fence to help deaden the sounds. Mr. Hutkin explained that the property owners and applicant understand that there can be no negative impact created as a result of a drive-thru. Mr. Hutkin said, should the text amendment pass and they are fortunate enough to come before the Commission with a conditional use permit; they would be in a position to improve the current conditions of the site and continue the commercial viability on Ballas Road.

Mr. Kling said there is a need for this drive-thru because there are large facilities in the area that would use this. Mr. Kling said they proposed a square footage limitation because the size of the development is very different from “fast-food”, so with a larger square footage it is limiting the potential clients in this market. Mr. Kling also said, Hutkin Development Company did take a look around the city and found at least 10-12 other properties that would meet the criteria under this proposed text amendment. This text amendment would provide a walkable element that the Comprehensive Plan suggests for the Town Center, Mr. Kling stated.

Chair Madden asked if they could have two windows instead of a speaker box. Mr. Jim Tusing, 671 Bluffs View Court, said they can talk with their design team and see what they can incorporate, however they want to do everything they can to not have the speaker blaring into the residential area. Mr. Tusing also said they are adjusting timeframes of deliveries and trash pick-up and looking into what can be done to accommodate the residents.

Mr. Hutkin said there is no reason the trash cannot be picked up at a later time. Mr. Hutkin also said he is aware the neighbors are against this proposal until they see a site plan, but procedure is the text amendment first. However, they would work with the neighbors on the site plan aspect if the text amendment is passed.

Mr. Jack Trout, 11955 Randy Drive, said he is opposed to the text amendment. Mr. Trout was concerned with the amount of parking that was going to be lost. Mr. Trout stated nobody he spoke with in his neighborhood is in favor of this proposal.

Mr. Joe Flaherty 11921 Rocky Drive, said he is opposed to Ballas Road being a commercial corridor. Mr. Flaherty said he is opposed to the proposal and wants protection from business done at Balmoral Plaza. Mr. Flaherty said the residents do not benefit from a drive-thru.

Mr. Langdon said the process at hand is to discuss a text amendment. Mr. Langdon said the reason why these discussions are focused around the Comprehensive Plan and the character of the city is so the decision on a text amendment does not become a referendum on a project. Mr. Langdon said this is potentially about establishing a new direction for the city in regards to drive-thru restaurants and even if it did get done they would face the full examination and consequences of the conditional use permit process. Mr. Langdon stated if the Commission has changes they want to make, they need to be clear and specific.

Mr. Pullium asked about the Zoning Code and wanted to know how the public welfare is not served by the current zoning. Mr. Langdon said it is fair to say that there is probably no harm in the current zoning and that it is difficult to get a drive-thru restaurant. Mr. Langdon said the concern now being faced is that what was thought to be zoning that protects the community is soon not going to offer any protection at all because several three-acre sites are being assembled. Mr. Langdon said this question opens the door to solutions that may address other issues that will be faced in the near future. Mr. Langdon said while today the zoning is serving the community's interest, in a year from now the opinion will be completely different, because it does not offer any real protection. Mr. Langdon said he personally thinks a drive-thru can be integrated into a center without harming adjacent properties, not that it means any center, but it is possible and to not allow it based on arbitrary lot size does not accomplish anything.

Mr. Faron asked if there was an option to continue this discussion and look at refining the conditions or find a better solution for drive-thru restaurants, should it be considered to keep them within the city. Mr. Langdon said there should be no reason that a decision could not be made on this application.

Mr. Howard said he supports the Comprehensive Plan and this application does not support what the Comprehensive Plan promotes.

Mr. Kling said they asked that their application not be brought into the bigger scope of drive-thru restaurants all over the city and that their application was just for sites between two and three acres.

Mr. Carl Lumley, City Attorney, said there is an obligation to vote on what the applicant submitted and applied for. Mr. Lumley also pointed out that the current ordinance has to have three acres, have the space for at least 3 cars per drive-up window, also landscaping screening, and you cannot have any interference with site circulation. The application is saying reduce the acreage to two and for the slot of two to three acres there will be additional restrictions. Mr. Lumley said staff has taken it a different direction, which should be set aside for the moment, and just make a decision on the application.

Mr. Faron motioned to recommend approval of Application #13-045, for the text amendment to allow drive-thru restaurants on certain sites of two to three acres subject to the conditions contained in the draft ordinance prepared for the meeting of January 6, 2014. Chair called for a vote, with the resultant vote as follows:

Mr. Pullium – nay
Mr. Howard – nay

Mr. Rovak – aye
Mr. Carney – aye

Mr. Faron – nay
Chair - aye

6. NEW BUSINESS

None

7. WORK AGENDA

A. Follow-up discussion of senior housing development regulations

Mr. Langdon said that when this was discussed last time, there were questions raised that staff wanted to address. Mr. Langdon said the first one was what are other cities doing and are we aligned with them. Mr. Langdon said they looked around at a number of cities and found there is some degree of discretionary review in all communities for senior housing. Mr. Langdon said the next question is to what extent, and that answer is really tailored to the community. Mr. Langdon found in some cases there is one unique standard and in other cases it is very strict. Mr. Langdon found the distinguishing factor seemed to be was the districts they were allowed in, and when they were allowed in residential the standards were more restrictive and when in commercial areas the standard was looser. Mr. Langdon said that some communities view senior housing as residential projects and should be in a residential area; high density residential for the most part.

Mr. Langdon said he thinks the first distinction to be made is whether or not assisted living is part of all senior housing. Mr. Langdon said it is the only one that is currently not part of the others. The point is valid that there is enough overlap between these that they should be, at least, in the same section of the code and all listed together.

Mr. Langdon said the current standards accomplish some things that may not be in any person's interest. The concern for adjacent residents is fundamental, especially in "GC" General Commercial districts, Mr. Langdon pointed out. Mr. Langdon said when you put a 50ft front setback in an area that has a 15ft front setback, you are shoving the use as far back in the site as you can until it runs into the rear setback. If you reduce the front setback, or eliminate the special setback, then you allow the developer the opportunity to come forward with the building and create more space in the back. Mr. Langdon thinks that standard should be eliminated or reduced.

Mr. Langdon said the minimum lot size is an interesting way to filter uses. Mr. Langdon said it does create initial hurdles and it limits senior housing uses and drive-thru restaurants, but as the market gets more interested in certain uses, like senior housing and drive-thru restaurants, it will find its way around it.

Mr. Langdon said that specific concerns need to be pointed out and addressed, and the Commission should be very clear and precise on how to address these concerns.

Ms. Ann Parker, 9 South Tealbrook, said she is opposed to a 24 hour business on 450 North Lindbergh site. Ms. Parker stated Tealbrook is private and the residents pay for all the roadwork and curbs replacement/removal/repair. Ms. Parker said she has traffic and noise concerns.

Mr. Langdon wanted to make clear that this is not a discussion or review of the 450 North Lindbergh site, which would be taking place at the next P&Z meeting. Secondly, that application was made and is already eligible as an assisted living site. Mr. Langdon explained they sought a variance for FAR before the Board of Adjustment, which was denied, so they changed their design and no longer need a variance under the code as it exists today. Mr. Langdon said that whatever the Commission decides to do tonight, regardless of what changes are included or not, it will not have a bearing on 450 North Lindbergh.

Mr. Jeff Dickler, 7 Haven View Drive, wanted to readdress the three acre limitation and how it has been a Creve Coeur requirement for so long that we may not even know where it came from. Mr. Dickler said the requirement provides space and room for residents and it also helps meet the state requirement to have room to safely move away from the building in case of an emergency evacuation. Mr. Dickler believes General Commercial is wrong zoning for these types of facilities.

Ms. Deni Dickler, 7 Haven View Drive, said she believes “GC” is the wrong zoning for these types of businesses. Ms. Dickler said these businesses negatively affect the residential neighbors by creating traffic, noise, lighting pollution, loss of privacy, and demands on city resources. Ms. Dickler said that this is wrong zoning because these are senior citizens’ homes. Ms. Dickler pointed out that 50% of persons age 65 and older have Alzheimer’s or dementia, and of that percentage, 60% of those who are not found within 24 hours will wander around and that could result in death or serious injury. Ms. Dickler would like to see senior housing removed from “GC” General Commercial district.

Ms. Michelle Maue, 13 North Tealbrook, agrees with Ms. Dickler and thinks senior housing should be removed from “GC”.

The Commission had some discussion around whether or not assisted living should be included in senior housing and if senior housing belongs in commercial or residential areas. Mr. Langdon said since there is no application under review; they are ahead of the process, which allows the Commission to address these uses any way they see fit.

There was some discussion around the examples in the Commission packet.

Mr. Faron asked for specific examples of where Core Business exists. Mr. Langdon said there are three major nodes to it, which are just north of the government building: the so-called “Downtown” area; on the east end it is the Pavilion Shopping Center/office building/apartment complexes to be built; and, on the west end it is the West Park office development. Mr. Langdon said anywhere you can find taller buildings is Core Business.

The Commission discussed the front and rear setbacks and stated 50ft in the front is too much. They discussed making the front 25ft and that gives more room in the back.

Mr. Langdon said the city is largely built out and when a Core Business site opens in the city, it allows much more intensive development than General Commercial and competition for these sites is steep. There was discussion around zoning and how certain properties came to fruition. Mr. Langdon did point out there are many “GC” properties that have a less than ideal use for the property or they are not as successful as the city hoped they would be, making them more attainable than Core Business properties.

Mr. Faron asked if the city has any regulations on adults who live in assisted living or senior housing units. Mr. Langdon said the State of Missouri has authority in that regard and the city does not have any. But, Mr. Langdon said if a facility changed their licensure and the city became aware of it, the city could penalize the proprietor with not operating within their conditional use permit.

The Commission agreed that assisted living facilities should be subject to the same pre-conditions as all other senior housing.

The Commission had some discussion around whether assisted living and senior housing belong in the General Commercial zoning designation.

Mr. Bill Biermann, one of the petitioners on the application at 450 North Lindbergh, asked the Commission to think about the conditional use process. Mr. Biermann stated that, during that process, the Commission is given maximum discretion to address any planning issues on a site by site basis.

After some examples were given, the Commission decided they needed to look around the city and decide where they think assisted living and senior housing would mesh well.

Mr. Langdon said this will come back to the next meeting as a work agenda item and will be looking for thoughts on places in the city these facilities should go.

B. Transmittal of revised form-based code urban incentives and project plan

Mr. Langdon said the form-based code has been worked on for quite some time and we are most of the way through the effort. Mr. Langdon showed the document as a refresher. Mr. Langdon said one of the things that is critical to the area, if it is to succeed, is to bring character to the project. Mr. Langdon went over some things that will have to be addressed by the developers to do, because the city cannot afford to do them all (i.e. streets, public parking, art installation, gateway features, pocket parks, small plazas, etc.). Mr. Langdon explained they have put a program together that uses incentive zoning. Mr. Langdon passed out a handout for the Commission to look over and offer comments at the next meeting.

8. OTHER BUSINESS

A. Planning Division Report

Mr. Langdon said at the next meeting there will be the 450 North Lindbergh site seeking a conditional use permit for an assisted living facility and that will be a public hearing. The form-based code will return, as well as the Comprehensive Plan discussion picking up again.

Mr. Langdon pointed out the 2014 Planning and Zoning calendar was on the dais and it follows the usual 1st and 3rd Monday of the month schedule, with the exception of holidays that the city offices close for, then the meeting takes place on that Tuesday.

B. City Attorney Report

None

9. ADJOURNMENT

There being no further business to come before the Planning and Zoning Commission, upon motion being made and duly seconded, the meeting was adjourned at 10:02 p.m.

Timothy Madden, Chair

Julie Lowery, Recording Secretary



city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

APPLICATION TO PLANNING AND ZONING COMMISSION #13-047 APPROVAL OF A CONDITIONAL USE PERMIT FOR AN ASSISTED LIVING FACILITY AT 450 N. LINDBERGH BLVD

FOR THE MEETING OF: Tuesday, January 21, 2014

LOCATION: 450 N. Lindbergh Boulevard (see attached map).

REQUEST: An application by Bill Biermann, of WM. Biermann Company LLC, has been submitted for the conditional use permit for a 41,900 sq. ft., 51 bed, Assisted Living Facility (NAICS 623312), to be known as The Grove in Creve Coeur, located at 450 N. Lindbergh Boulevard. The subject property is zoned "GC" General Commercial.

ADDITIONAL INFORMATION: Assisted Living Facilities for the Elderly (NAICS 623312) are a conditional use in the GC District, where there is no minimum acreage requirement. The subject property is 1.968 acres. The property abuts Beaver Drive, a private street, but does not have access to it. The proposed facility will replace the existing, two-story, multi-tenant commercial building.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?

Comp. Plan References

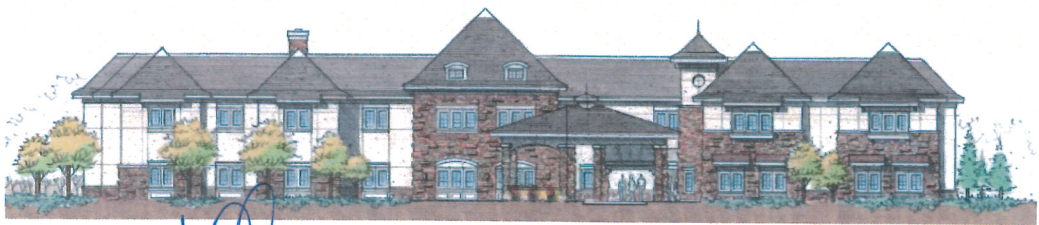
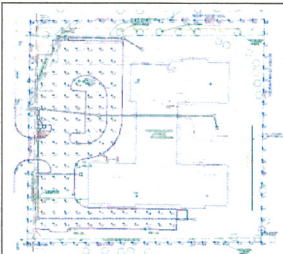
- Commerce Center Action Area

Zoning Code References

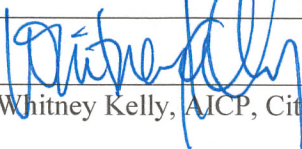
- Section 405.120 Definition of Terms
- Section 405.210: Regulation of Uses
- Section 405.360: "GC" General Commercial District
- Section 405.470: Conditional Uses
- Section 405.540: Landscaping
- Section 405.630: Yard regulations
- Section 405.820 Required Off-Street Parking Spaces

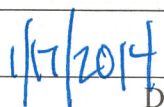
APPLICANT: Bill Biermann
Wm. Biermann Company, LLC
1795 Clarkson Road, Suite 190
Chesterfield, MO 63017

APPLICANT'S REPRESENTATIVE: George M. Stock, P.E.,
Stock & Associates Consulting
Engineers, Inc.
257 Chesterfield Business Parkway
Chesterfield, MO 63005



REPORT PREPARED BY:


Whitney Kelly, AICP, City Planner


Date

ATTACHMENTS: Applicant's Materials submitted November 26, 2013, Building Elevations received on December 18, 2013, and FAR calculations received January 14, 2014
Draft Ordinance
Public Comment received by January 17, 2014

DEVELOPMENT HISTORY OF THE SITE

The current development of the property located at 450 North Lindbergh Boulevard, known as Tealwood Square, was built in 1973 under the “F” Commercial and Office District. That district was later renamed “GC” General Commercial District when a completely new Zoning Code was adopted in 1983. Although the range of allowed uses in the district has grown considerably since its initial construction, the building has rarely, if ever, been fully occupied. According to the property owner, the later construction of a continuous median wall along Lindbergh Boulevard by the Missouri Department of Transportation (MoDOT) has increased the frequency and duration of vacancies within the building. Indeed, the difficulties with the site have made redevelopment the more economically sound option for the current owner.

The Applicant is under contract to buy the site and proposes to construct an assisted living facility with 51 beds over two floors and surface parking for 37 cars. The service and loading area will be along the south elevation. The building materials include stone and EIFS and/or cementitious siding.



Figure 1: West Elevation

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	American Heart Association Inc. / Office Development	GC District	Beaver Drive
South	Medical Use/ Office	GC District	NA
East	Residential	B Single-Family Residential	Dielman Farm Estates Drive
West	American Association Of Orthodontists / Office Development	GC District	Lindbergh Boulevard

COMPREHENSIVE PLAN REVIEW

The subject property is located just east of the Commerce Center Action Area of the Comprehensive Plan, which focuses on the research industry. While the Comprehensive Plan does not specifically address the area south of Olive Boulevard along Lindbergh Boulevard, it does call for improving the quality of commercial development by upgrading the architectural quality of the building stock as businesses expand or redevelop (page 70). The Residential Preservation and Economic Development Section of the Comprehensive Plan include a goal of protecting residential areas from encroachment of non-residential uses (p. 20). Further, the general goals and objectives of the Comprehensive Plan recommend strengthening the Design Guidelines, specially to provide more detailed guidance regarding better building orientation, connectivity, and compatibility between commercial development and adjacent residential development. It also advocates maintaining the City’s strong low-density residential image

and character, and ensuring that non-residential development is compatible with adjacent residential development (page 23). The quasi-residential nature of an assisted living facility would separate from and prevent further encroaching of commercial activity into the surrounding neighborhoods. Thus, the project would seem to meet with the intent of the Comprehensive Plan to some degree. It is also true that an assisted living facility, like all senior housing, has a commercial character as well and, to some extent, the project would not meet the intent of the Comprehensive Plan except for three key factors:

- The property is already zoned for commercial development and the owner of the property has an existing right to use the land for commercial purposes. If that right is exercised in any plausible manner, it is highly unlikely that it will satisfy the Comprehensive Plan to any greater degree since it could easily be a structure of equal size and built for the exclusive purpose of housing only true commercial uses.
- A significant effort has been made to impart a residential character to the proposed building so that the visible elements are more visually compatible with the adjacent neighborhood.
- The building is shaped and oriented on the site to place most of the on-site greenspace between it and the adjacent residences in order to minimize conflicts between the operation of the facility and the nearby subdivision.

Taken together, these factors suggest that while the proposal might not represent the theoretical maximum in terms of residential compatibility, it does represent a responsible attempt to exercise the existing development rights with a viable project that conforms with the goals of the Comprehensive Plan to a high, practical level.

DESIGN GUIDELINES REVIEW

Physical Features and Site Relationships:

The Design Guidelines provide specific direction for the redevelopment of properties including the recommendations for high quality, pedestrian scale and walkable areas, and avoidance of spatial gaps and interruptions along the “streetscape” caused by parking or other non-pedestrian elements, such as building gaps, driveways, and service entries. Elements such as delivery zones, storage areas, trash enclosures, transformers, generators and similar features should be sited in areas which are generally not visible to the public or they must be screened from view. (p. 4). The site plan indicates that the loading area and trash enclosure are located on the south elevation, but the one element of south building elevation does not match up with the site plan. It is unclear from the elevations submitted whether or not the loading area will be visible from Lindbergh Boulevard. However, moving these behind the building could create problems for the adjacent residents. Staff recommends that the Applicant reconcile the site plan and elevations and provide additional screening of these areas, as necessary, in order to meet with the Design Guidelines.

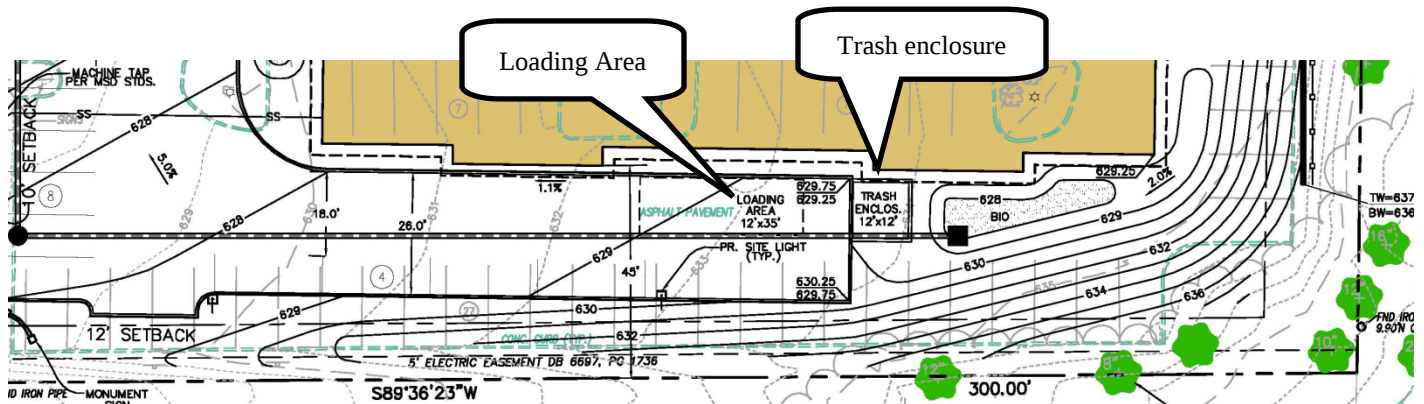


Figure 2: Close-up of Site Development Plan along the south property line

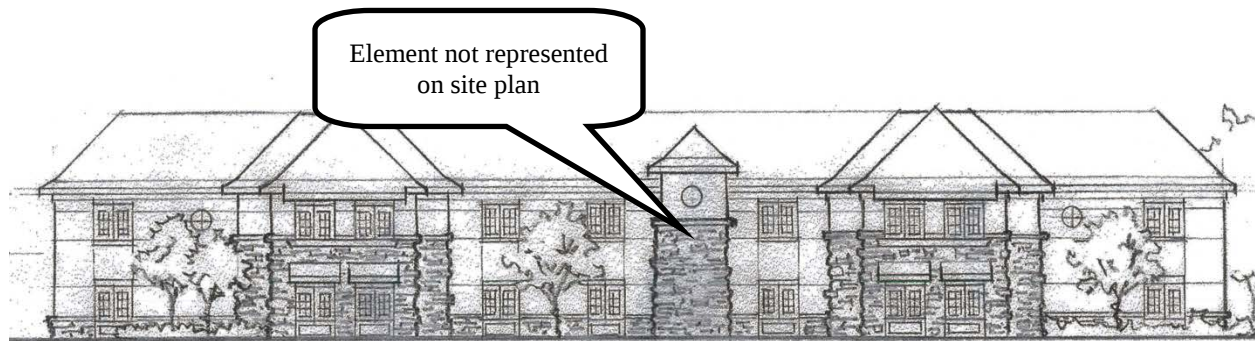


Figure 3: South Elevation

Also not clearly indicated on the elevations is the location of any mechanical equipment. The Applicant has indicated that resident rooms will have pass through HVAC units that vent directly to the outside, which could create a noise problem for the neighbors. Therefore, Staff has included a condition that all rooms have interior-only HVAC units.

Pedestrian and Vehicular Circulation

The Design Guidelines further emphasize pedestrian scale design and circulation:

- All sidewalks should conform to the Pedestrian Plan
- Pedestrian access routes should be buffered from the street, vehicular traffic and parking area. The use of greenspace and landscaping is a recommended buffering element. Pedestrian amenities such as benches, pergolas, gazebos and water features along pedestrian access routes are strongly encouraged, however, they should not conflict with visibility of, or access to storefronts,
- Circulation systems should be designed to avoid conflicts between vehicular, bicycle and pedestrian traffic. Pedestrian circulation should take precedence over vehicular circulation. In order to point out conflict points and improve pedestrian safety and visibility, the use of textured or tinted materials for pedestrian crossings should be utilized where pedestrian circulation paths cross a vehicular route.
- Pedestrian linkages between uses in commercial development should be provided and emphasized. District pedestrian access routes leading to primary buildings or structures from parking areas in large commercial development, such as shopping centers or multi-use developments, is strongly encouraged. (P. 6).

As indicated below, under the Pedestrian Plan discussion, a side walk is existing along Lindbergh Boulevard. However, Beaver Drive does not currently have one. Therefore, Staff recommends that a connection from the sidewalk to the entrance of the building that meet with the Design Guidelines and Pedestrian Plan should be included.

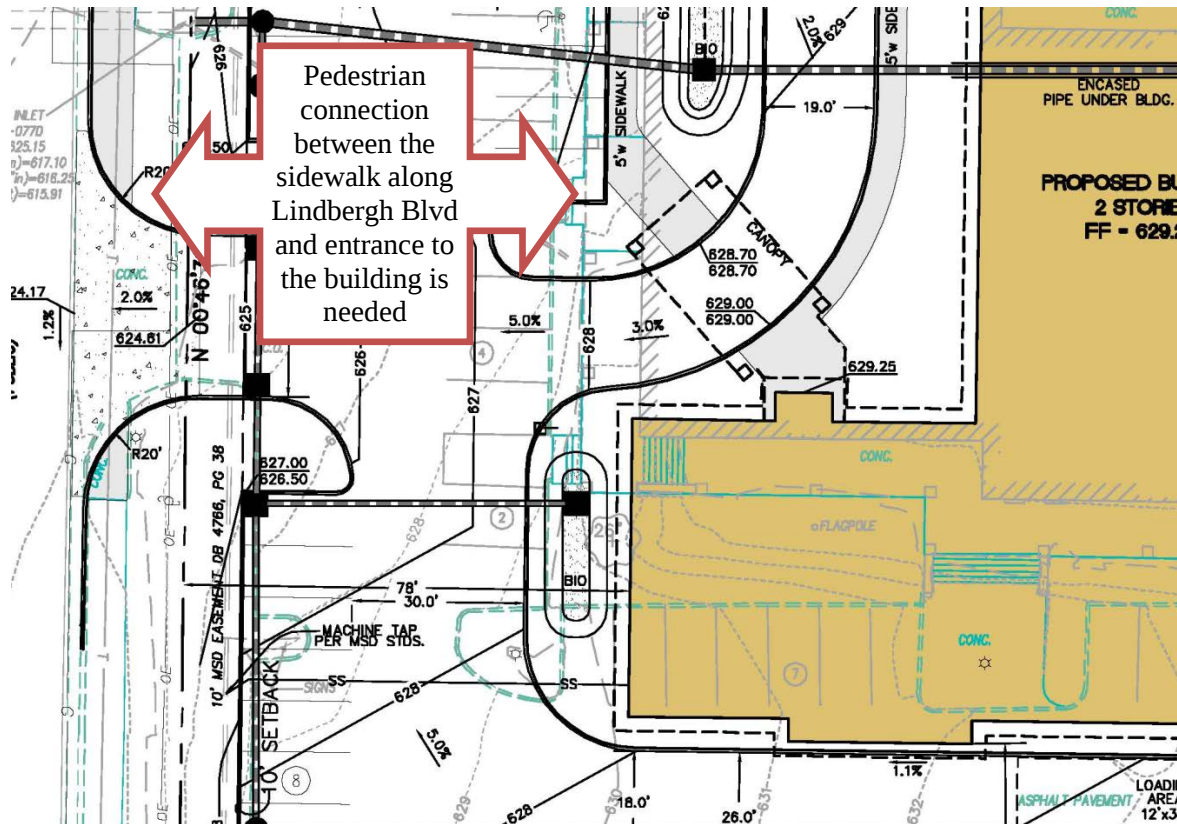


Figure 4: Close-up of the Site Development Plan of the along Lindbergh Blvd.

Structures:

The Design Guidelines state that the materials should have good architectural character, be durable, and be selected for their compatibility with adjoining buildings and properties. Natural, traditional building materials are encouraged with a preference toward “green” materials that can be recycled. Highly reflective and/or synthetic materials are discouraged. EIFS and concrete masonry should not be the predominant building materials, but EIFS can be used as a way to accentuate an architectural element if it is limited to an area not subject to damage or abuse. Also, concrete masonry should be limited to split face or burnished units. (p. 9).

The elevations submitted indicate that EIFS and/or cementitious siding would be the majority of the building material used, with a stone accent on all of the elevations. This would not meet with the Design Guidelines. However, the Applicant has not submitted a sample of materials to be used. Staff recommends that the Applicant demonstrate to the Commission the sturdiness and architectural quality of the materials proposed or switch to a material more supported by the Design Guidelines. The same materials should be applied to the trash enclosure and the attached draft ordinance contains a condition of approval requiring that the trash enclosure shall be of a material that is consistent with the building.

Landscape:

The Design Guidelines also provide the following recommendations on the landscape design:

Chapter 4 / Landscape Design

1. The City of Creve Coeur strongly encourages high quality landscaping that accentuates the building and site, softens the effects of parking area and enhances the quality of life of the City. All landscape plans should exhibit a clear design concept.
2. There should be a consistency of landscape design throughout a development. Different landscape themes may be used to heighten the distinction between spaces, and to strengthen a sense of movement and space, but such themes should be internally consistent
6. Parking areas, traffic-ways and parking structures are to be enhanced with landscaped spaces containing trees, tree groupings, and shrubbery or other landscape enhancements, including berms.

8. Landscaped areas are to be maximized and balanced throughout the site. Tree and shrub plantings should be grouped together to create strong accent points with the site plan.
9. Landscape plans should incorporate all site elements, such as outdoor lighting, signage, trash receptacles and fencing.
10. The scale and nature of landscape materials are to be appropriate to the site and/or the structure. Large-scale landscaping generally should complement large-scale buildings. Landscaping of sites on major streets should include large-scale trees.

The submitted landscape plan shows that the Applicant will maintain all of the existing live trees along Beaver Drive (one is already dead and will be replaced with two new trees) and along the east property line to provide screening to the adjacent residential structures. Street trees and landscaping are provided throughout the site to provide screening of the parking lot, and along Lindbergh Boulevard that meets with the minimum requirements of the Zoning Ordinance. However, the overall design does not provide much interest and is a very plain design. Further the interior landscaping next to the building and within the islands is lacking in design and is very sparse; as shown on the plan below:

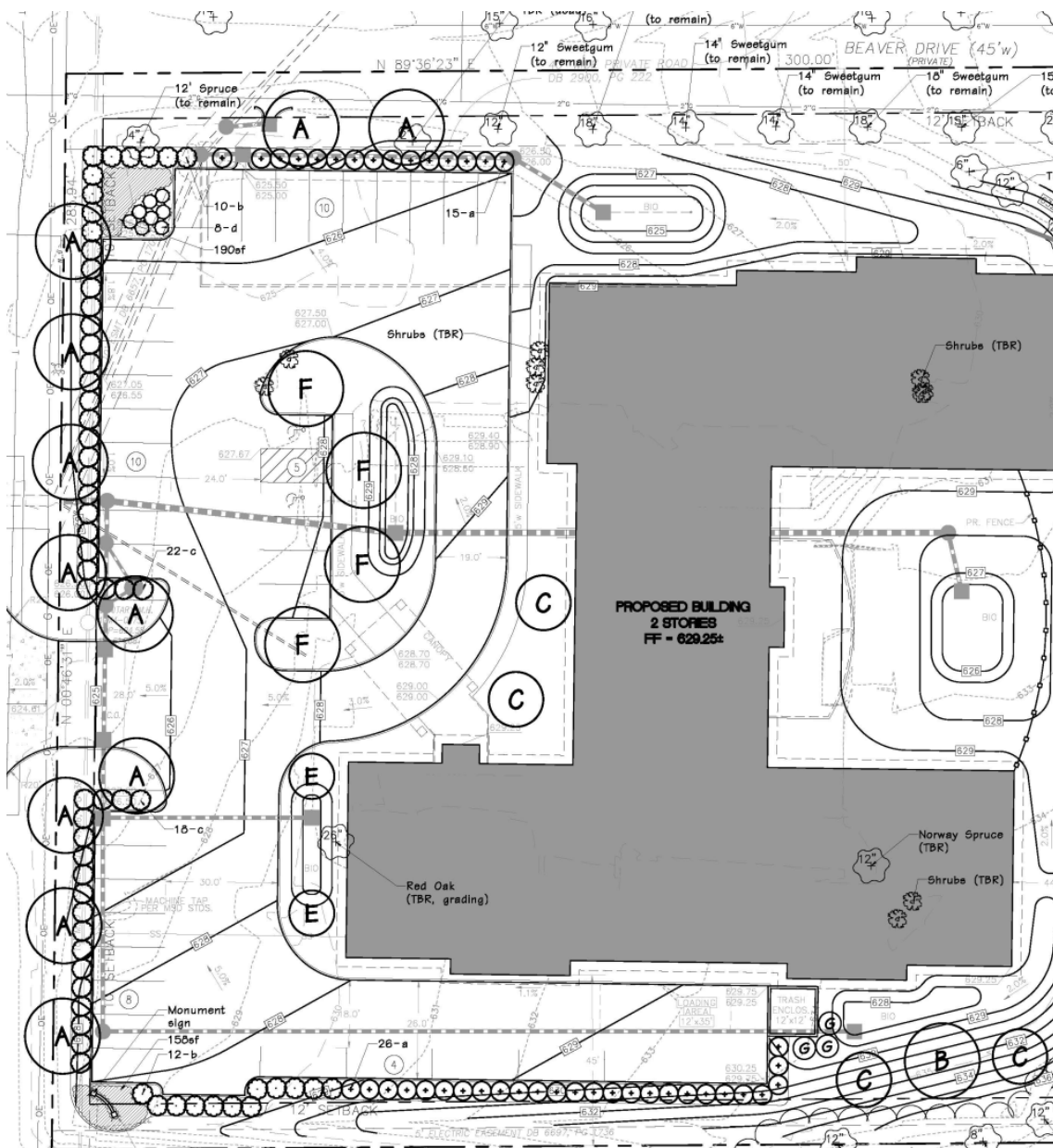


Figure 5: Close-up of the Landscape Plan

Staff recommends that the Applicant revise the landscape plan to provide additional landscaping that more fully meets with the Design Guidelines, especially in the parking lot and along the north side of the building.

Parking:

Chapter 5 (G), Parking, of the Design Guidelines, recommends that parking areas should be located to the side or rear of commercial buildings. However, the layout presented was done to meet with the concerns of the residents and to limit the visibility and access along Beaver Drive. Given the small size of the parking lot and the presence of a landscape screen, staff suggest that the proposed layout is preferred to one that moves the parking lot further east in any manner.

PEDESTRIAN PLAN REVIEW

The Pedestrian Plan again emphasizes that all projects for new construction have the responsibility to install sidewalks and crosswalks meeting the requirements of the City (Intro-7). There is an existing sidewalk that is adjacent to Lindbergh Boulevard, however, the Pedestrian Plan also calls for a separated sidewalk on all primary streets. That is, the sidewalk should be detached from the curb and integrated with the adjacent landscape to improve the pedestrian orientation and overall appearance. Further, the crosswalk should be shown to be maintained, or replaced with modern equipment that meets or exceeds the Pedestrian Plan recommendations. It should be noted, however, that the Lindbergh Boulevard right-of-way is under the review and control of the MoDOT, and any work done within the right-of-way will require their approval.

As mentioned above under the Pedestrian and Vehicular Circulation discussion of the Design Guidelines, no sidewalk exists along Beaver Drive. Since this is an area used for school bus pick-up and drop-off, Staff recommends that a condition of approval include that a sidewalk with a minimum width of five feet, separated from the curb enough to preserve the existing trees, be included along Beaver Drive in order to meet with the recommendations of the Pedestrian Plan and Design Guidelines.

ZONING REVIEW

Section 405.360 of the Zoning Ordinance provides the dimensional regulations for the GC District. The proposed development meets with all of the district regulations regarding maximum structure height, floor area ratio, and site coverage, and yard and setback requirements:

	Proposed Development
SECTION 405.360: "GC" GENERAL COMMERCIAL DISTRICT	
E. Dimensional Regulations.	
3. Building bulk regulations.	
a. Maximum structure height. No building or structure shall exceed three (3) stories or forty-five (45) feet.	The two story building has a total height to the ridge of 41 feet
b. Maximum site coverage. Sixty-three percent (63%). The Planning and Zoning Commission may, in its discretion, allow the permitted coverage to be increased as a bonus by an additional factor (not to exceed a total of seventy percent (70%) site coverage) in consideration of special or outstanding landscape and site planning features as demonstrated by a site development plan submitted in accordance with Section 405.1080.	The proposed site coverage is 53.6%
c. Maximum floor area ratio. Four-	The Site Development Plan indicates that the floor

tenths (0.4). <i>Section 405.120 Definition of Terms defines Gross Leasable Floor Area as:</i> <i>GROSS LEASABLE FLOOR AREA: As employed in this Chapter, the total interior floor area of a building or structure measured at the inside face of the exterior walls but excluding stairwells, lobbies, common corridors and other non-leasable circulation area, elevator shafts, parking structures and space occupied by mechanical equipment or space related to the operation and maintenance of the building as well as that floor surface covered by walls or partitions enclosing these common areas or elements of a building.</i>	area ratio is 0.37. The Applicant submitted further information regarding how the FAR was determined (included in Applicant's Materials attached): First Floor total area = (20,265 sf) Less corridor, stair/elevator, storage, electrical/boiler, linen closet, janitor closet (5,465 sf) Total FAR = (14,800 sf) Second Floor total area = (20,215 sf) Less corridor, stair/elevator, storage, electrical/boiler, linen closet, janitor closet (3,985 sf) Total FAR = (16,230 sf) The Site Development Plan states that the Building is 41,900 sq. ft. while these numbers show the space is 40,481 sq. ft. Less the non-usable space of 31,030 sq. ft. Thus, Staff calculated a FAR of 0.36. The Applicant should clarify these numbers. However, the Code requirement has been met.
4. Yard and setback requirements.	
a. Minimum front yard. No building or structure shall be located closer than ten (10) feet from a public right-of-way. In the event that parking is to be located in front of a building or structure, said building or structure shall be set back a minimum of fifty (50) feet from the right-of-way. The provisions of Section 405.240 shall prevail where applicable on major streets and highways. In every instance, the first ten (10) feet of the front yard setback from the right-of-way shall be provided with and maintained with sidewalks, unless improved sidewalks exist in the abutting public right-of-way, and with landscaping including, but not limited to, deciduous street trees at regular intervals.	The building sits 78 feet from Lindbergh Boulevard at the south and 130 feet at the north end of the building.
b. Minimum side yard. Twelve (12) feet. <i>Further Section 405.630 (B) Side Yard Of Corner Lot states that any corner lot shall have a side yard equal in width to the minimum front yard setback of any adjoining lot fronting on the side street. In any event, the minimum side yard setback of a corner lot shall be no less than fifteen (15) feet. Where Section 405.120 defines the side yard as that part of the yard lying between the nearest major surface of the principal building on the lot and a side property line on the lot and extending from the front yard to the rear yard.</i>	The proposed building is 45 feet from the south property line. The proposed building is 50 feet from the north property line. The front-yard setback for the B Single-Family Residential District is 45 feet, thus the proposed buildings meets with these requirements.

c. Minimum rear yard. Twenty (20) feet.	The proposed building is 28 feet from the east property line at the north wing of the building, and 44 feet from the property line at the south wing of the building.
d. Buffer yards. Notwithstanding the provisions of Sections 405.360(E)(4)(b) and 405.360(E)(4)(c) above, any tract or site abutting or adjoining a single-family residential zoning district shall provide a buffer yard of twenty (20) feet on all sides that abut the single-family district. The minimum required buffer yard shall be increased in five (5) foot increments, up to a maximum of forty (40) feet, for each acre of the subject property over two (2) acres in area. All acreage shall be rounded up to the next whole number for buffer yard calculation purposes. The buffer yard shall not contain any impervious surface and shall be landscaped and provided with other screening devices as deemed appropriate by the Planning and Zoning Commission.	The property is just under 2.0 acres (1.968) so a 20-foot buffer is required and the north wing of the building that is closest to the B Single Family zoning district is 28 feet from the east property line. The Landscape Plan does indicate that the Applicant will maintain the existing trees with the honeysuckle understory that offer a screening of the existing building and proposed building along the southeast corner and east property line adjacent to the residences. However, the honeysuckle is an invasive species, and there has been discussion at the Horticulture, Environmental and Beautification Committee that it should be a requirement with any redevelopment project that it be removed. If the Planning and Zoning Commission wish to see it removed and replaced with another form of opaque barrier, a condition will need to be included for such.

Parking

The site development plan indicates that a total of 37 spaces are provided where 26 spaces are required, per the parking regulations:

SECTION 405.820: REQUIRED OFF-STREET PARKING SPACES

B. General Parking Requirements.

8. Health care and social assistance (NAICS 62).

b. Nursing and residential care personal care facilities (NAICS 623). One (1) space per two (2) patient beds.

Lighting

The Applicant's photometric plan indicates that the new parking lot lighting fixtures are downcast and fully shielded, and should meet with the illumination requirements below, as well as with Section 405.680 where lighting shall not be cast upon an adjacent property or right-of-way nor shall glare be emitted from an illuminant source.

SECTION 405.810: DESIGN AND MAINTENANCE STANDARDS

4. *Lighting. Any off-street parking or loading area used between 6:00 P.M. and 6:00 A.M. shall contain a system of lighting to provide an adequate standard of at least one (1) foot-candle of illumination over the area of the parking area to be used. All lighting shall be arranged to deflect, shade and focus lights away from adjacent properties, shall be designed so as not to create more than one (1) foot-candle of illumination at any property boundary abutting a residential zoning district and shall comply with all provisions of Section 405.680. Any land use which utilizes an off-street parking or loading area between 6:00 P.M. and 6:00 A.M. an average of less than four (4) days per month may be exempted from this requirement by the Planning and Zoning Commission.*

Landscaping

As discussed above, the Landscaping Plan meets with the minimum requirements for the minimum number of street trees, and to provide headlight screening of the parking spaces. However, the landscaping near the building and within the island is lacking. Also, the plan does not indicate that an underground irrigation system has been included, contrary to the requirement below. Therefore, Staff has included a condition of approval that the Applicant submits a new Landscape Plan for the Zoning Administrators approval and that an underground irrigation system shall be included. If the Planning and Zoning Commission wishes to see the invasive Honeysuckle removed and replaced with additional landscaping to provide an opaque screen as mentioned above, please provide direction to the Applicant.

SECTION 405.540: LANDSCAPING

F. Design Standards For Landscape Plans

- 10. All landscaping shall be permanently maintained in good condition with at least the same quality and quantity of landscaping as initially approved. In order to present a healthy, neat and orderly appearance, all landscaped areas including interior parking lot islands and grass areas shall be provided with adequate irrigation for the maintenance of grass, shrubs, ground covering and other landscaping. An underground irrigation system shall be installed, operated and maintained to meet the intent of this Section. Such systems shall be required for all new developments and redevelopments projects. For sites proposing additions and/or expansions, an underground irrigation system shall be installed, operated and maintained to meet the intent of this Section, where physically practical and reasonable, as determined by the Planning and Zoning Commission.*

SUMMARY AND RECOMMENDATION

The proposal represents a substantial change for this site. However, the use would appear to meet with the intent of the Comprehensive Plan by offering a compatible use adjacent to a residential district. Below is a summary of the Staff recommendation.

- Staff recommends that the Applicant reconcile the site plan and elevations and provide additional screening of the loading area and trash areas, as necessary, in order to meet with the Design Guidelines.
- Staff recommends that the Applicant demonstrate to the Commission the sturdiness and architectural quality of the materials proposed or switch to a material more supported by the Design Guidelines. The same materials should be applied to the trash enclosure and the attached draft ordinance contains a condition of approval requiring that the trash enclosure shall be of a material that is consistent with the building.
- Staff recommends that a condition approval include that all rooms have interior-only HVAC units.
- Staff has included a condition of approval that the Applicant submits a new Landscape Plan for the Zoning Administrators approval that meet with the Design Guidelines and Zoning Ordinance.
- Staff recommends that a condition of approval include that a sidewalk with a minimum width of five feet, separated from the curb enough to preserve the existing trees, be included along Beaver Drive, interior pedestrian connection from Lindbergh and the main entrance of the building, and a separated sidewalk along Lindbergh Boulevard should MoDOT agree, in order to meet with the recommendations of the Pedestrian Plan and Design Guidelines.

SUGGESTED ACTION

After hearing the testimony during the public hearing, if the Planning and Zoning Commission believes that the remaining issues are sufficiently minor that the project should proceed forward with the noted changes being made before, then the following is an example of an appropriate motion for a recommendation:

“I move to recommend approval of Application #13-047 for the conditional use permit for a 41,900 square foot 51-bed Assisted Living Facility at 450 N. Lindbergh Boulevard subject to the conditions contained in the draft ordinance prepared for the meeting of January 21, 2014.” (Conditions may be added, eliminated, or modified by preceding motion.)

If the Planning and Zoning Commission believes that a recommendation should be held for further review, then the following is an example of an appropriate motion for recommendation:

“I move to continue Application #13-047 to the meeting of February 3, 2014, to allow the applicant time to address the comments of the Commission.” (Note that the Commission may substitute a different meeting date as they deem necessary.)

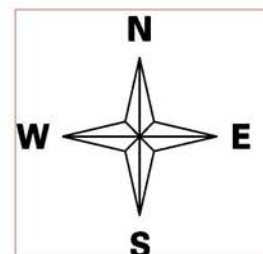
APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL MAP



APPENDIX 4: SITE PHOTOGRAPHS	Photo Date: 09/12/2013
	Description: View of the shopping center looking southeast from the corner of Beaver Drive and Lindbergh Boulevard.
	Description: View looking southeast toward the rear of the property from Beaver Drive.
	Description: View looking east down the south portion of the site.

	Description: View looking south across the rear of the site from Beaver Drive. The paved area at left is the driveway of the adjacent residence.
	Description: View looking west from the front of the site across Lindbergh Boulevard.

SITE DEVELOPMENT PLAN

PART OF LOT 13 OF THOMAS R. AXTELL'S FARM
BEING PART OF SECTION 1 IN
TOWNSHIP 45 NORTH, RANGE 5 EAST OF THE FIFTH PRINCIPAL MERIDIAN,
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI

ST. LOUIS COUNTY BENCHMARK

#13-15 ELEV=643.80
1" ON TOP OF NORTHEAST CORNER OF LOW BRICK
WALL, 8' EAST OF SOUTH PILASTER OF ORNAMENTAL
ENTRANCE TO SUNSWEEP SUBDIVISION ALONG
LINDBERGH BOULEVARD.

SITE BENCHMARK

ELEV=631.89
SET RAILROAD SPIKE @ POWERPOLE ON EAST SIDE OF
LINDBERGH BOULEVARD, JUST NORTH OF BEAVER
DRIVE, AS SHOWN HEREON.

LOCATION MAP

(NOT TO SCALE)

Property Description

The land referred to in this Commitment is situated in the County of St. Louis, State of Missouri, and described as follows:

A Part of Lot 13 of Subdivision of Thomas R. Axtell's Farm in Section 1, Township 45 North, Range 5 East, in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 9 Page 38 of the St. Louis City (former County) records and described as: Beginning at the point of intersection of the East line of Lindbergh Boulevard, 100 feet wide, with the center line of Private Road, 40 feet wide, established by Instrument recorded in Book 2900 Page 221 of the St. Louis County Records; thence Southwardly along the East line of said Lindbergh Boulevard 285.94 feet to the Northwest corner of property conveyed to Rose Kistis by deed recorded in Book 5563 Page 86 of the St. Louis County Records; thence Eastwardly along the North line of said property conveyed to Rose Kistis, as aforesaid, 300 feet to the Northeast corner thereof; thence Northwardly and parallel with the East line of said Lindbergh Boulevard 285.94 feet to a point in the center line of said Private Road, 40 feet wide; thence Westwardly along the center line of said Private Road 300 feet to the point of beginning.

SITE AREA = 85,764 SF = 1.968 AC.

PARKING CALCULATIONS:

PER CITY OF CREVE COEUR MUNICIPAL CODE SECTION 405.820.H.8.b
1 SPACE / 2 BEDS x 51 BEDS = 26.0 SPACES REQUIRED
37 TOTAL SPACES PROVIDED

ADA ACCESSIBLE SPACES REQUIRED = 2
ADA ACCESSIBLE SPACES PROVIDED = 2

SITE COVERAGE CALCULATIONS:

PER CITY OF CREVE COEUR MUNICIPAL CODE SECTION 405.360.E.3.B

BUILDING FOOTPRINT = 21,098 SF

BEAVER DRIVE P.V.M.T. = 3,305 SF

ON-SITE PAVEMENT = 21,594 SF

TOTAL COVERAGE = 45,997 SF

% COVERAGE = 45,997 / 85,764 = 53.63%

% COVERAGE = 53.63% < 63.0% MAX. ALLOWABLE

BUILDING FLOOR AREA CALCULATIONS:

PER CITY OF CREVE COEUR MUNICIPAL CODE SECTION 405.360.E.3.C

MAXIMUM FLOOR AREA RATIO = 0.4

TOTAL BUILDING SQUARE FOOTAGE = 41,900 SF

BUILDING SQUARE FOOTAGE LESS NON-USABLE SPACE = 31,500 SF

FAR: 31,500 / 85,764 = 0.37 < 0.4, VARIANCE NOT REQUIRED

GENERAL NOTES:

1. BOUNDARY AND TOPOGRAPHIC SURVEY TAKEN FROM ALTA/ACSM LAND TITLE SURVEY PREPARED BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC. DATED JULY 11, 2013

2. PRESENT ZONING: "GC" GENERAL COMMERCIAL PER CITY OF CREVE COEUR BUILDING SETBACKS:

FRONT YARD = NO BUILDING OR STRUCTURE SHALL BE LOCATED CLOSER THAN TEN (10) FEET FROM A PUBLIC RIGHT-OF-WAY, IN THE EVENT THAT PARKING IS TO BE LOCATED IN FRONT OF A BUILDING OR STRUCTURE, SAID BUILDING OR STRUCTURE SHALL BE SET BACK A MINIMUM OF FIFTY (50) FEET FROM THE RIGHT-OF-WAY, IN EVERY INSTANCE, THE FIRST TEN (10) FEET OF THE FRONT YARD SETBACK FROM THE RIGHT-OF-WAY SHALL BE PROVIDED WITH AND MAINTAINED WITH SIDEWALKS, UNLESS IMPROVED SIDEWALKS EXIST IN THE ADJUTING PUBLIC RIGHT-OF-WAY, AND WITH LANDSCAPING INCLUDING, BUT NOT LIMITED TO, DECIDUOUS STREET TREES AT REGULAR INTERVALS.

SIDE YARD = 12 FEET

REAR YARD = 12 FEET

BUFFER YARD = NOTWITHSTANDING THE PROVISIONS OF SECTIONS 405.360(E)(4)(b) AND 405.360(E)(4)(c) ABOVE, ANY TRACT OR SITE ADJUTING OR ADJOINING A SINGLE FAMILY RESIDENTIAL ZONING DISTRICT SHALL PROVIDE A BUFFER YARD OF TWENTY (20) FEET ON ALL SIDES THAT ADJUT THE SINGLE FAMILY DISTRICT. THE MINIMUM REQUIRED BUFFER YARD SHALL BE INCREASED IN FIVE (5) FOOT INCREMENTS, UP TO A MAXIMUM OF FORTY (40) FEET, FOR EACH ACRE OF THE SUBJECT PROPERTY OVER TWO (2) ACRES IN AREA. ALL ACREAGE SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER OR BUFFER YARD CALCULATION PURPOSES. THE BUFFER YARD SHALL NOT CONTAIN ANY IMPERVIOUS SURFACE AND SHALL BE LANDSCAPED AND PROVIDED WITH OTHER SCREENING DEVICES AS DEEMED APPROPRIATE BY THE PLANNING AND ZONING COMMISSION.

3. ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.

4. NO GRADE SHALL EXCEED 3:1 SLOPE, UNLESS OTHERWISE NOTED.

5. PROJECT SIGNAGE AND STREET LIGHTING PER THE CITY OF CREVE COEUR REQUIREMENTS.

6. STORMWATER POLLUTION PREVENTION MEASURES TO BE IN ACCORDANCE WITH CITY OF CREVE COEUR AND MSD REQUIREMENTS.

8. SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI MAP NUMBER 29 189 C0167 H WITH AN EFFECTIVE DATE OF AUGUST 2, 1995.

9. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND AND LOCATED WITHIN EASEMENTS.

10. STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH CITY OF CREVE COEUR AND MSD REQUIREMENTS.

11. ALL CONSTRUCTION MATERIALS, MEANS AND METHODS SHALL BE IN ACCORDANCE WITH CITY OF CREVE COEUR REQUIREMENTS.

12. SITE LIGHTING MAXIMUM POLE HEIGHT = 24 FEET.

PERTINENT DATA

OWNER = RDK PROPERTIES INC.
OWNER UNDER CONTRACT = TEALWOOD ACQUISITIONS LLC
SITE ADDRESS = 450 N. LINDBERGH
CREVE COEUR, MISSOURI 63141
EXISTING ZONING = "GC" GENERAL COMMERCIAL
PROPOSED ZONING = "GC" GENERAL COMMERCIAL
COUNTY LOCATOR NO. = 17M120103
WATER SHED = DEER CREEK
WUNNENBERG'S FIRE DISTRICT = PG. 24, GRID I-18
SCHOOL DISTRICT = CREVE COEUR FFD
WATER SERVICE = LAQUE
ELECTRIC SERVICE = MISSOURI AMERICAN WATER CO.
GAS SERVICE = AMEREN MISSOURI
SEWER SERVICE = LAQUE GAS COMPANY
METROPOLITAN ST. LOUIS SEWER DISTRICT

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

N/F
AMERICAN HEART ASSOCIATION, INC.
DB 16503, PG 1693
LOC. NO. 17M120177
ZONED: "GC" GENERAL COMMERCIAL

N/F
EUGENE H. & CAROL M. WEHLING
DB 17024, PG 246
LOC. NO. 17M210322
ZONED: SINGLE FAMILY RESIDENTIAL

N/F
ANDREW DIELMANN
DB18947, PG 1151
LOC. NO. 17M210872
ZONED: SINGLE FAMILY RESIDENTIAL
F.F.=643.8

N/F
ELIZABETH ANN KNOWLES TRUSTEE
DB 11792, PG 1658
LOC. NO. 17M210883
ZONED: SINGLE FAMILY RESIDENTIAL
LOT 2

N/F
ELIZABETH ANN KNOWLES TRUSTEE
DB 16976, PG 1080
DB 11731, PG 1715
LOC. NO. 17M210513
ZONED: SINGLE FAMILY RESIDENTIAL

N/F
ELIZABETH ANN KNOWLES TRUSTEE
DB 11731, PG 1715
LOC. NO. 17M210594
ZONED: SINGLE FAMILY RESIDENTIAL

LEGEND

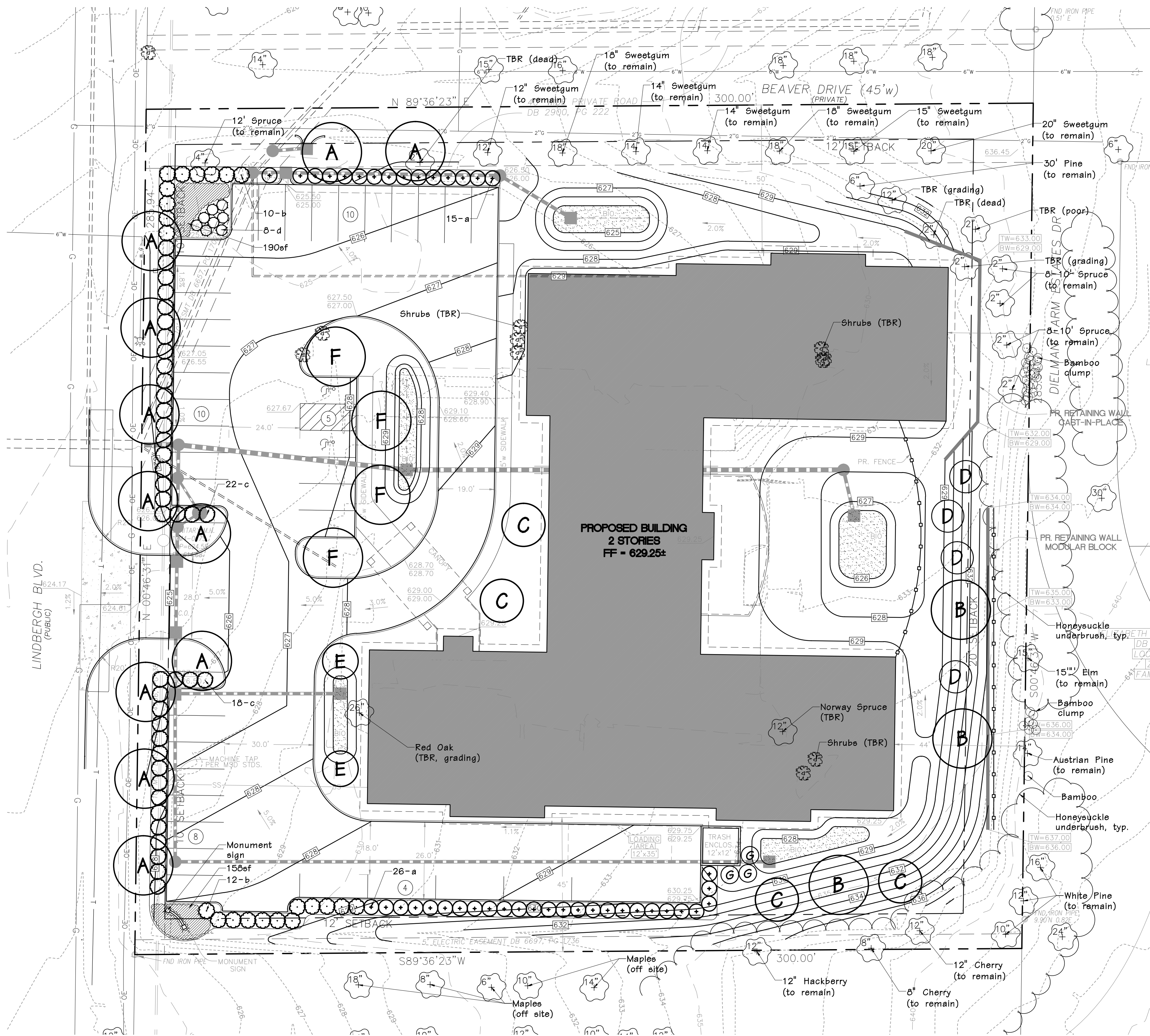
EXISTING SANITARY SEWER
EXISTING STORM SEWER
EXISTING TREE
EXISTING BUILDING
EXISTING CONTOUR
SPOT ELEVATION
EXISTING UTILITIES
FOUND 1/2" IRON PIPE
SET IRON PIPE
FOUND CROSS
FOUND STONE
FIRE HYDRANT
LIGHT STANDARD
BUSH
SIGN
NOTES PARKING SPACES
GUY WIRE
POWER POLE
WATER VALVE
DENOTES RECORD INFORMATION
HANDICAPPED PARKING

ABBREVIATIONS

C.O. - CLEANOUT
DB. - DEED BOOK
E - ELECTRIC
FL - FLOWLINE
FT - FEET
FND. - FOUND
G - GAS
M.H. - MANHOLE
N/F - NOW OR FORMERLY
PB. - PLAT BOOK
PG. - PAGE
P.V.C. - POLYVINYL CHLORIDE PIPE
R.C.P. - REINFORCED CONCRETE PIPE
SQ. - SQUARE
T - TELEPHONE CABLE
V.C.P. - VETRIFIED CLAY PIPE
W. - WATER
(86"W) - RIGHT-OF-WAY WIDTH

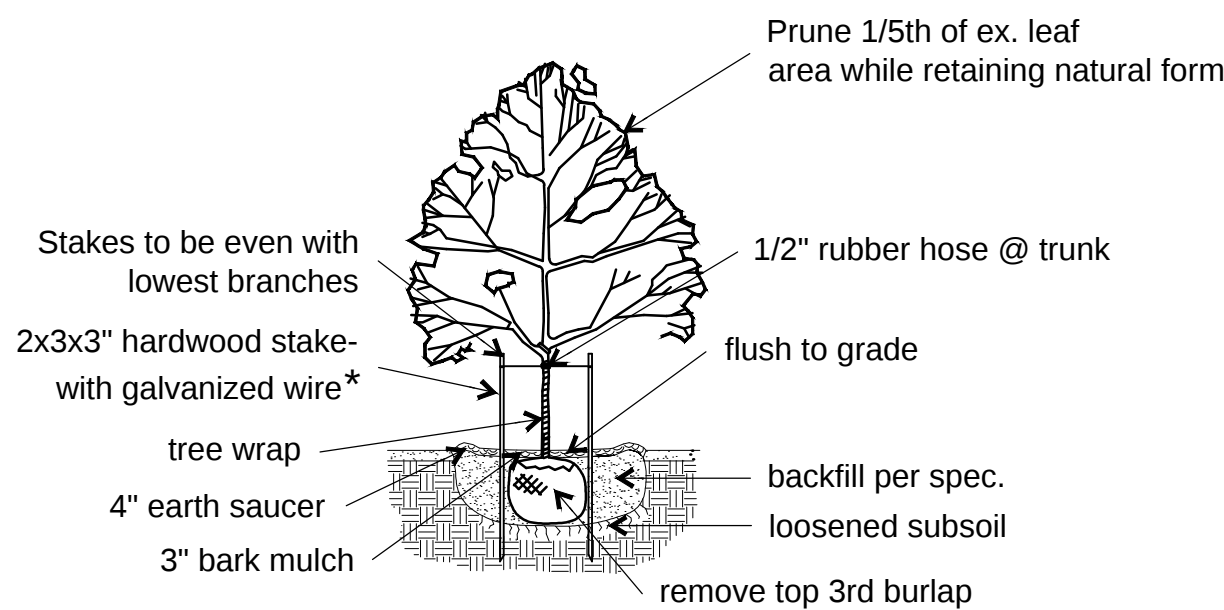
PREPARED FOR:
TEALWOOD ACQUISITIONS, LLC
C/o Brinkmann Constructors
16650 Chesterfield Grove Road, Suite 100
Chesterfield, MO 63005

N/F
400 N. LINDBERGH, L.L.C.
DB 17729, PG 498
LOC. NO. 17M120430
ZONED: "GC" GENERAL COMMERCIAL
B.L.D.G. HT. 13'±
F.F.=627.12



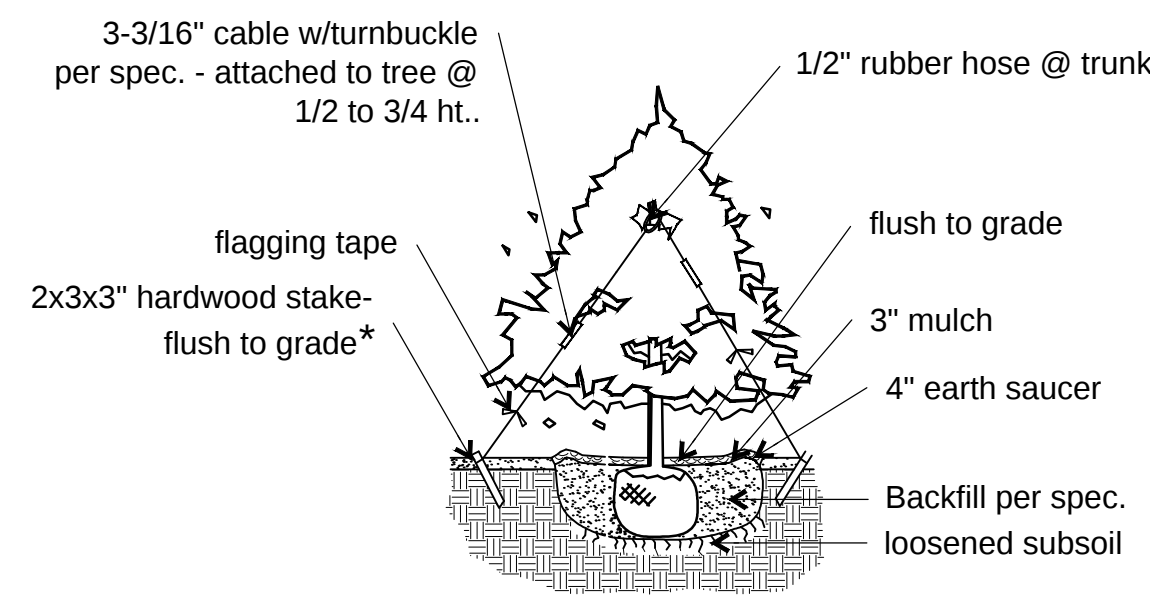
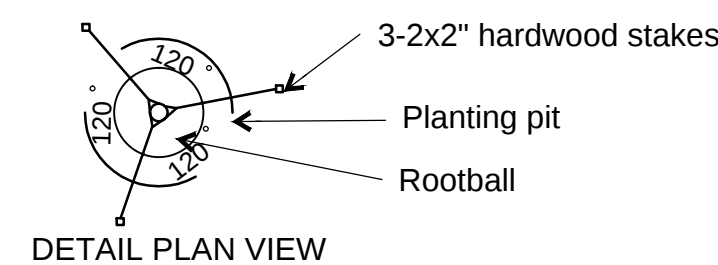
LANDSCAPE PLAN
SCALE 1"=20'

PLANTING SCHEDULE				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
A	11	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.5" cal.
B	3	Taxodium distichum 'Mickelson'	Shawnee Brave Baldcypress	2" cal.
C	4	Cercis canadensis	Eastern Redbud	2" cal.
D	4	Pinus strobus	Eastern White Pine	6'
E	2	Acer x freemanii 'Armstrong'	Armstrong Maple	2" cal.
F	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2" cal.
G	3	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6'
SHRUBS/PERENNIALS				
a	41	Viburnum dentatum 'Synnæstvedt'	Chicago Lustre Viburnum	5 gal.
b	22	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	5 gal.
c	40	Syringa pubescens subsp. patula 'Miss Kim'	Miss Kim Lilac	5 gal.
d	6	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 gal.
348ef		Annuals, Perennials, Groundcovers	-	1 qt.
-		Bioretention plantings per MSD requirements	-	-

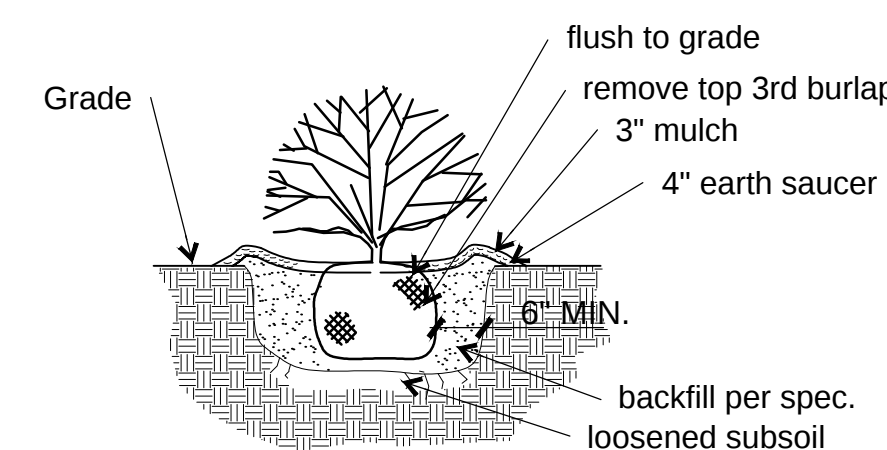


CANOPY TREE PLANTING

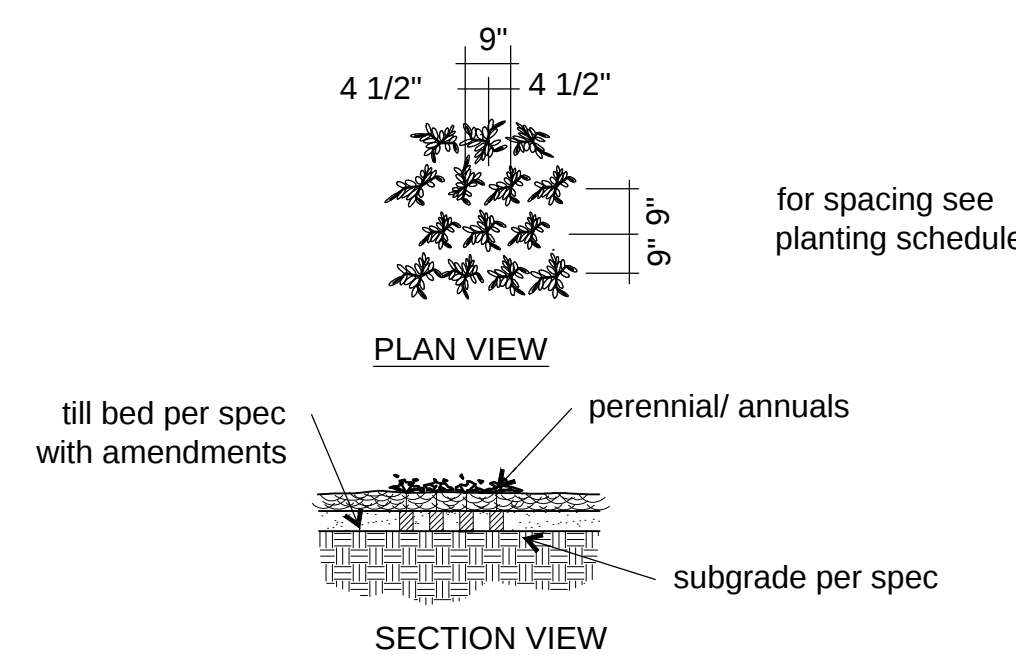
- * Staking should only be done when:
- Planting in soft, loose soils
- Root balls in sandy soils, or wet clay
- Trees located in an extremely windy location



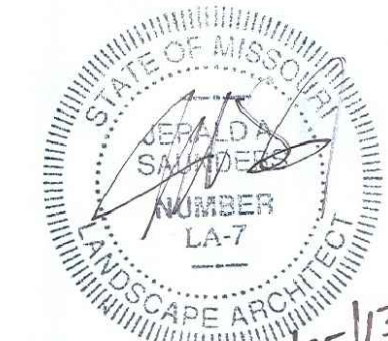
TYPICAL EVERGREEN PLANTING



SCARIFY ROOT BALL OF ALL CONTAINER STOCK TYPICAL SHRUB PLANTING



TYPICAL PERENNIAL PLANTING



Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

The Grove in Creve Coeur

Creve Coeur, Missouri

Revisions:

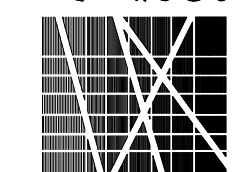
Date	Description	No.

Drawn: LH

Checked: RS

loomisAssociates

landscapedesigners
707 Spirit of Park Drive, Suite 105
Chesterfield, Missouri 63005-1094
Phone: 636.833.1094
E-mail: info@loomisassociates.com



Sheet Title: Landscape Plan

Sheet No: L1

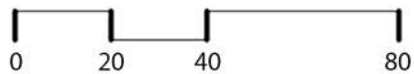
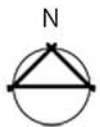
Date: 11/25/13
Job #: 813.034



N

 0 20 40 80
 FIRST FLOOR
 MEMORY CARE

THE GROVE AT CREVE COEUR
 11.20.2013
 CREVE COEUR, MISSOURI

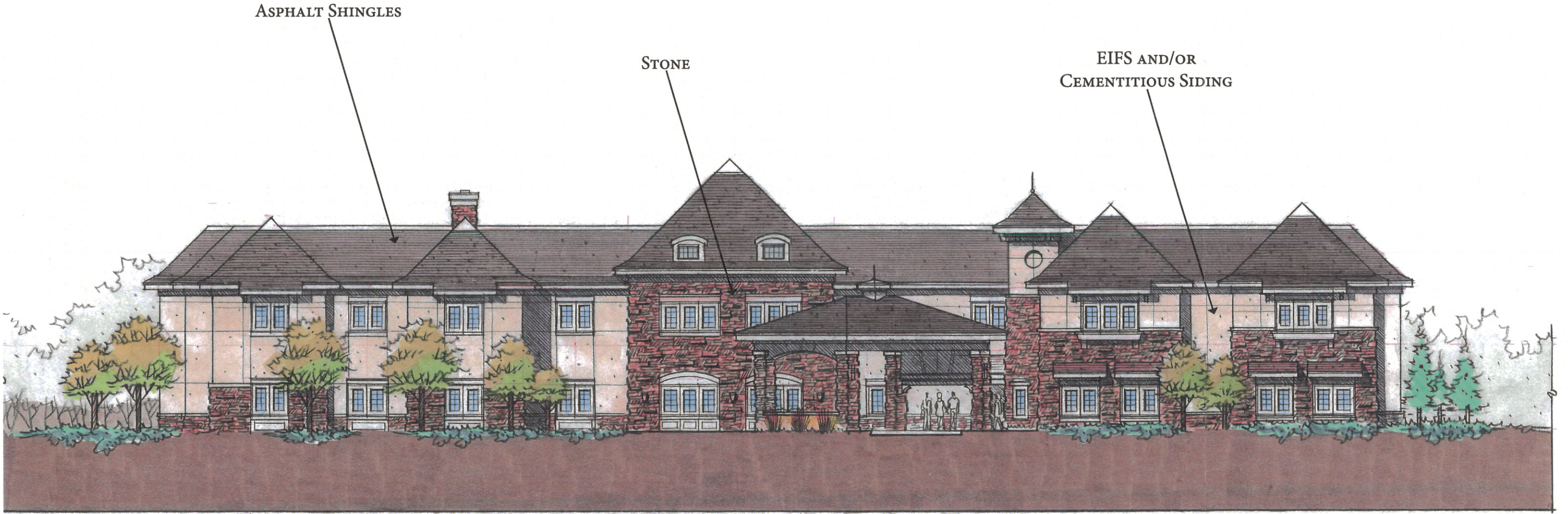


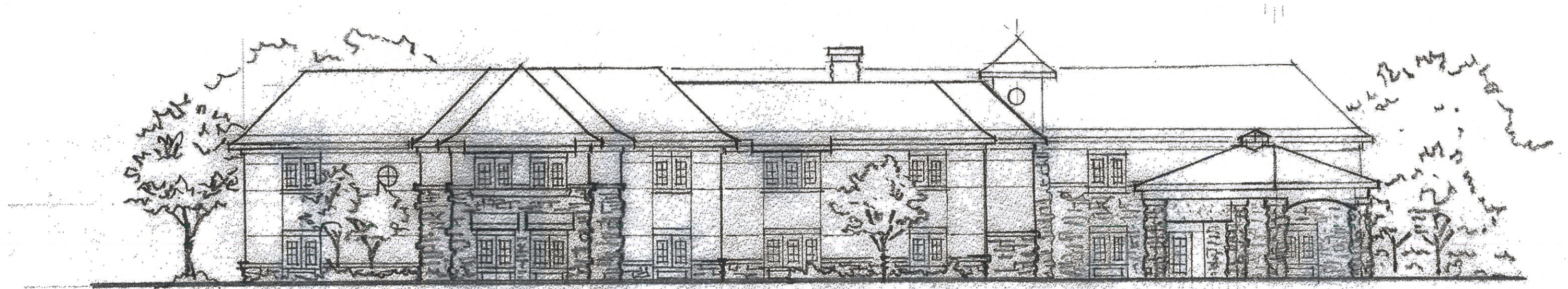
SECOND FLOOR MEMORY CARE

THE GROVE AT CREVE COEUR
11.20.2013 CREVE COEUR, MISSOURI

Lantz  Boggio Architects, P.C.

BUILDING MATERIALS

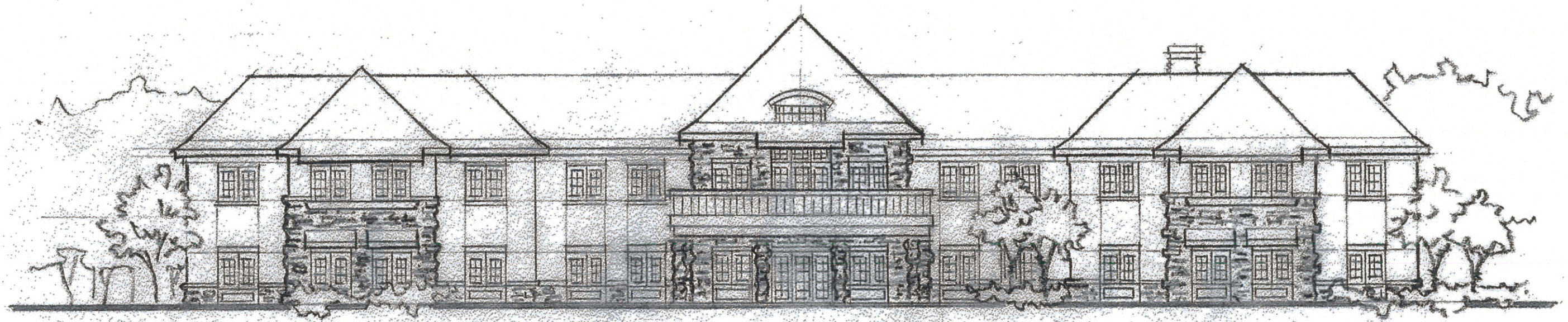




NORTH ELEVATION

THE GROVE IN CREVE COEUR
CREVE COEUR, MISSOURI

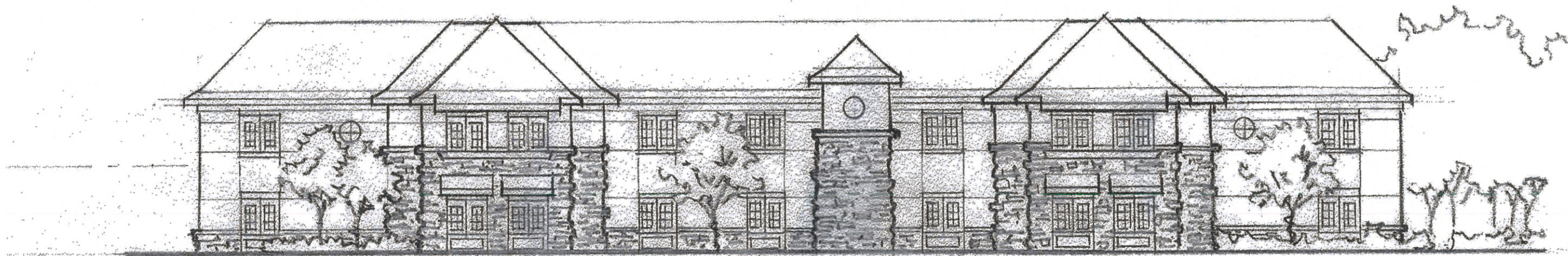
Lantz — Boggio Architects, P.C.



EAST ELEVATION

THE GROVE IN CREVE COEUR
CREVE COEUR, MISSOURI

Lantz — Boggio Architects, P.C.



SOUTH ELEVATION

THE GROVE IN CREVE COEUR
CREVE COEUR, MISSOURI

Lantz — Boggio Architects, P.C.

DESCRIPTION

Galleria's beauty and versatility make it an excellent choice for roadway and general area lighting applications. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.

Galleria's superior light distributions makes it the optimum choice for almost any small, medium or large area lighting application.

SPECIFICATION FEATURES

Construction

HOUSING: Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations. **DOOR:** Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)

Electrical

BALLAST TRAY: Ballast tray is hard-mounted to housing interior for cooler operation.

Optical

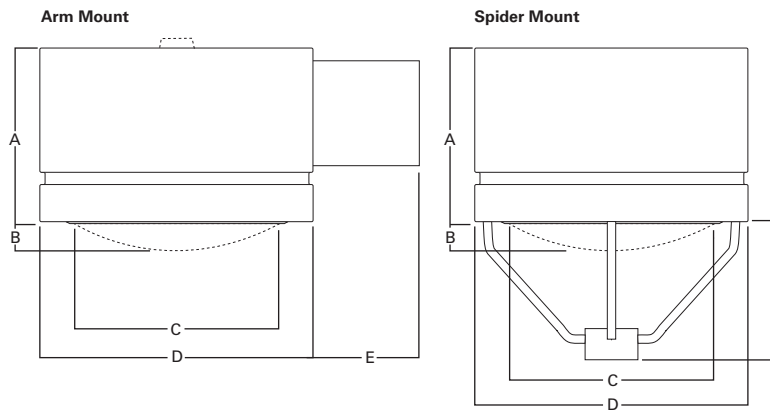
REFLECTOR: Choice of 14 high efficiency optical systems utilizing horizontal and vertical lamp orientations. Optional high efficiency segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Standard with mogul-base socket. All optical modules feature quick disconnect wiring

plugs and are field rotatable in 90° increments. **LENS:** Convex tempered glass lens or flat glass.

Mounting

Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Specify arm-included mounting for contractor-friendly single carton packaging of housing and arm.

DIMENSIONS



Fixture	A	B	C	D	E	F
GSS	9-1/4"	1-1/2"	12-7/8"	15-5/8"	6" or 9"	13-1/4"
	235mm	38mm	327mm	397mm	152mm or 229mm	337mm
GSM	11"	3-1/2"	19-1/4"	21-3/4"	6" or 14"	15" or 16"
	279mm	89mm	480mm	552mm	152mm or 356mm	381mm or 406mm
GSL	14-1/2"	4-1/4"	25-7/8"	27"	6" or 14"	18-3/4" or 19-3/4"
	368mm	108mm	657mm	686mm	152mm or 356mm	476mm or 502mm

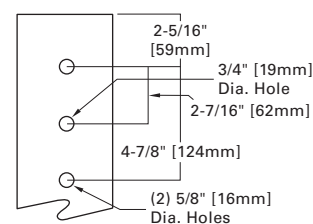
NOTE: Top cap used on GSM with 1000W flat glass vertically lamped optics only.

WATTAGE TABLE

Fixture	Lamp Type	Wattage
GSS (Galleria Small)	Pulse Start Metal Halide (MP)	70, 100, 150W
	High Pressure Sodium (HPS)	70, 100, 150W
	Metal Halide (MH)	175W
GSM (Galleria Medium)	Pulse Start Metal Halide (MP)	70, 100, 150, 175, 200, 250, 320, 350, 400, 450, 750, 875, 1000W
	High Pressure Sodium (HPS)	70, 100, 150, 250, 400, 750, 1000W
	Metal Halide (MH)	175, 250, 400, 1000W
GSL (Galleria Large)	Pulse Start Metal Halide (MP)	250, 320, 350, 400, 450, 750, 1000W
	High Pressure Sodium (HPS)	250, 400, 750, 1000W
	Metal Halide (MH)	250, 400, 1000W

ARM DRILLING

TYPE "M"



GSS/GSM/GSL GALLERIA SQUARE

70 - 1000W

Pulse Start Metal Halide

High Pressure Sodium

Metal Halide

ARCHITECTURAL
AREA LUMINAIRE



NOTE: In all flat glass configurations only.

ENERGY DATA

CWA Ballast Input Watts

150W MP HPF (185 Watts)
175W MP HPF (198 Watts) ©
250W MP HPF (283 Watts) ©
250W HPS HPF (295 Watts)
400W MP HPF (452 Watts) ©
400W HPS HPF (457 Watts)
750W MP HPF (820 Watts)
1000W MH HPF (1080 Watts)
1000W HPS HPF (1100 Watts)

EPA

Effective Projected Area: (Sq. Ft.)
[Without Arm]

GSS: 1.20 **GSM:** 2.40 **GSL:** 3.90

[Spider Mount]

GSS: 1.53 **GSM:** 2.86 **GSL:** 4.45

SHIPPING DATA

Approximate Net Weight:

36 lbs. (16 kgs.)

79 lbs. (36 kgs.)

88 lbs. (40 kgs.)



MOUNTING CONFIGURATIONS

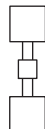
Wall Mount



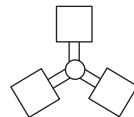
Arm Mount Single



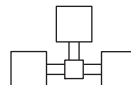
Arm Mount 2 @ 180°



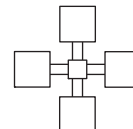
Arm Mount 2 @ 90°

Arm Mount 3 @ 120°
(Round Pole Only)

Arm Mount 3 @ 90°



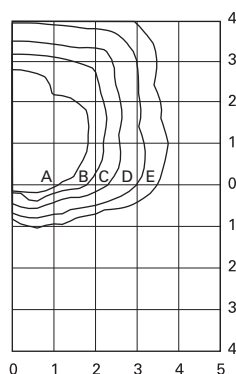
Arm Mount 4 @ 90°



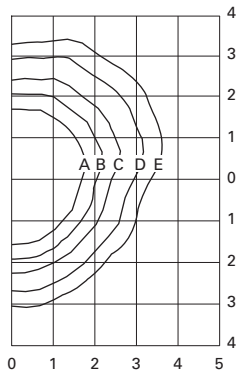
E.P.A. TABLE

	Single [w/arm where applicable]	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
GSS	1.7	3.4	3.4	4.6	4.6	5.2
GSM	2.9	5.8	6.8	9.2	9.2	10.4
GSL	4.4	8.8	9.8	13.7	13.7	15.6

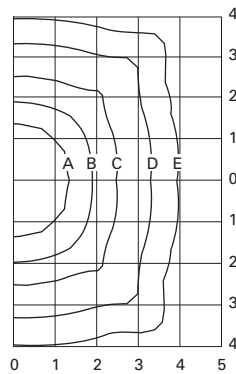
PHOTOMETRICS



GSM-XX-1000-MH-SL-FG
1000-Watt MH
110,000-Lumen Clear Lamp
Spill Light Eliminator
Flat Glass



GSM-XX-1000-MH-3V-FG
1000-Watt MH
110,000-Lumen Clear Lamp
Type III Vertical
Flat Glass



GSM-XX-1000-MH-AS-SG
1000-Watt MH
110,000-Lumen Clear Lamp
Area Square
Flat Glass

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
1000W [SL] / 400W [AR]					
25'	2.88	1.44	0.72	0.29	0.14
30'	2.00	1.00	0.50	0.20	0.10
35'	1.46	0.73	0.37	0.15	0.07
1000W [3V/AS]					
30'	3.50	2.00	1.00	0.50	0.20
35'	2.60	0.73	0.37	0.18	0.07
40'	2.00	1.00	0.50	0.20	0.10

ORDERING INFORMATION

Sample Number: GSM-AM-400-MP-MT-3V-SG-BK-L

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Product Family

GSS=Galleria Square Small
GSM=Galleria Square Medium
GSL=Galleria Square Large

Mounting Method

AM: Arm Mount¹
AIR: Arm Included for² Round Pole
AIS: Arm Included for² Square Pole
SM1: Spider Mount³ (2 3/8" OD Tenon)
SM2: Spider Mount (3" OD Tenon)
SM3: Spider Mount⁴ (3 1/2" OD Tenon)

Lamp Wattage

MP
70=70W
100=100W
150=150W
175=175W
200=200W
250=250W
320=320W
350=350W
400=400W⁶
450=450W
750=750W
875=875W
1000=1000W⁷
HPS
70=70W
100=100W
150=150W
250=250W
400=400W
750=750W
1000=1000W⁷
MH⁸
175=175W
250=250W
400=400W
1000=1000W⁷

Lamp Type

MP=Pulse Start Metal Halide
HPS=High Pressure Sodium
MH=Metal Halide⁸

Voltage⁹

120=120V
208=208V
240=240V
277=277V
347=347V
480=480V
MT=Multi-Tap¹⁰
TT=Triple-Tap¹⁰
5T=5-Tap¹¹

Distribution**Horizontal Lamp**

1F=Type I Formed¹²
2F=Type II Formed
2S=Type II Segmented¹³
3F=Type III Formed
3S=Type III Segmented¹³
4S=Type IV Segmented¹³
5S=Type V Segmented¹³
FT=Forward Throw
SL=Spill Light Eliminator¹⁴
CA=Cutoff Asymmetric with EHS¹⁵
Vertical Lamp
AR=Area Round
AS=Area Square¹⁵
3V=Type III Vertical¹⁵
RW=Rectangular Wide^{15, 16}

Lens Type

FG=Flat Glass¹⁷
SG=Sag Glass

Color¹⁸

AP=Grey
BZ=Bronze
BK=Black
WH=White
DP=Dark Platinum
GM=Graphite Metallic

Options¹⁹

CEC: California Title 20 Compliant Ballast (Applies to 175-320W and 400W MP only)
F=Single Fuse (120, 277 or 347V)
FF=Double Fuse (208, 240 or 480V)
L=Lamp Included
EM=Quartz Restrike w/²⁰ Delay
Q=Quartz Restrike²⁰
R=NEMA Twistlock Photocontrol Receptacle
EHS=External Adjustable House Side Shield
HS=House Side Shield^{21, 22}
VS=Vandal Shield²³

Accessories²⁴

GSM-EXTHS=External House Side Shield - 2.24 EPA
GSL-EXTHS=External House Side Shield - 2.46 EPA
MA1004XX=14" Arm for Square Pole. 1.0 EPA^{15, 25}
MA1005XX=6" Arm for Square Pole. 0.5 EPA¹⁵
MA1006XX=Direct Mount Kit for Square Pole¹⁵
MA1007XX=14" Arm for Round Pole. 1.0 EPA^{15, 25}
MA1008XX=6" Arm for Round Pole. 0.5 EPA¹⁵
MA1009XX=Direct Mount Kit for Round Pole¹⁵
MA1021XX=6" Arm for Square Pole. 0.5 EPA³
MA1022XX=6" Arm for Round Pole. 0.5 EPA³
MA1023XX=9" Arm for Square Pole. 0.5 EPA^{3, 25}
MA1024XX=9" Arm for Round Pole. 0.5 EPA^{3, 25}
MA1029XX=Wall Mount Bracket with 10" Arm
MA1046XX=Wall Mount Bracket³
MA1208XX=11 1/2" Arm and Round Pole Adapter - .0.8 EPA
OA1066XX=Mast Arm Adapter
MA1010XX=Single Tenon Adapter for 3 1/2" O.D. Tenon
MA1011XX=2@180° Tenon Adapter for 3 1/2" O.D. Tenon
MA1012XX=3@120° Tenon Adapter for 3 1/2" O.D. Tenon
MA1013XX=4@90° Tenon Adapter for 3 1/2" O.D. Tenon
MA1014XX=2@90° Tenon Adapter for 3 1/2" O.D. Tenon
MA1015XX=2@120° Tenon Adapter for 3 1/2" O.D. Tenon
MA1016XX=3@90° Tenon Adapter for 3 1/2" O.D. Tenon
MA1017XX=Single Tenon Adapter for 2 3/8" O.D. Tenon
MA1018XX=2@180° Tenon Adapter for 2 3/8" O.D. Tenon
MA1019XX=3@120° Tenon Adapter for 2 3/8" O.D. Tenon
MA1045XX=4@90° Tenon Adapter for 2 3/8" O.D. Tenon
MA1048XX=2@90° Tenon Adapter for 2 3/8" O.D. Tenon
MA1049XX=3@90° Tenon Adapter for 2 3/8" O.D. Tenon
MA1060=House Side Shield for GSS (Field Installed)²⁶
MA1061=House Side Shield for GSM (Field Installed)²⁶
MA1062=House Side Shield for GSL (Field Installed)²⁶
OA/RA1016=NEMA Twistlock Photocontrol - Multi-Tap
OA/RA1027=NEMA Twistlock Photocontrol - 480V
OA/RA1201=NEMA Twistlock Photocontrol - 347V

- Notes:**
- 1 Arm not included. See Accessories.
 - 2 Arm length varies based on housing size: 9" for GSS, 11-1/2" for GSM and 14" for GSL.
 - 3 Available on GSS housing only.
 - 4 Available on GSL housing only.
 - 5 Standard with medium-base sockets in GSS housing. Mogul-base sockets in GSM and GSL housings. Wattage availability varies by housing size - see Wattage Table.
 - 6 Requires reduced envelope ED-28 lamp when used with GSM housing and flat glass vertically lamped optics.
 - 7 Requires reduced envelope BT-37 lamp when used with GSM housing.
 - 8 175, 250 and 400W MH available for non-US markets only.
 - 9 Products also available in non-US voltages and 50Hz for international markets. Consult factory for availability and ordering information.
 - 10 Multi-Tap ballast is 120/208/240/277V wired 277V. Triple-Tap ballast is 277/347/480V wired 347V.
 - 11 5-Tap ballast is 120/208/240/277/480V wired 480V. Only available in 400-1000W.
 - 12 Medium housing fixture only.
 - 13 Maximum wattage on segmented optical distributions is 400W. 400W Metal Halide lamp must use reduced envelope ED-28 lamp. Not available in GSL housing.
 - 14 Must use reduced envelope lamp, not available in GSL housing.
 - 15 Available on GSM and GSL housings only.
 - 16 RW optic not available with flat glass.
 - 17 1000W GSL with flat glass requires BT-37 lamp and is not available in AS, RW, SL or 3V distributions.
 - 18 Other finish colors available, including a full line of RAL color matches. Consult your Cooper Lighting Representative.
 - 19 Add as suffix in the order shown.
 - 20 Quartz options not available with SL optics.
 - 21 House side shield not available with 5S, RW, AS, AR, SL and CA optics.
 - 22 Not available in 1000W.
 - 23 Arm mount only, 400W Maximum.
 - 24 Order separately, replace XX with color suffix.
 - 25 Use for mounting fixtures at 90 degree increments.
 - 26 Compatible with sag lens vertical optics only.



AREAS REMOVED

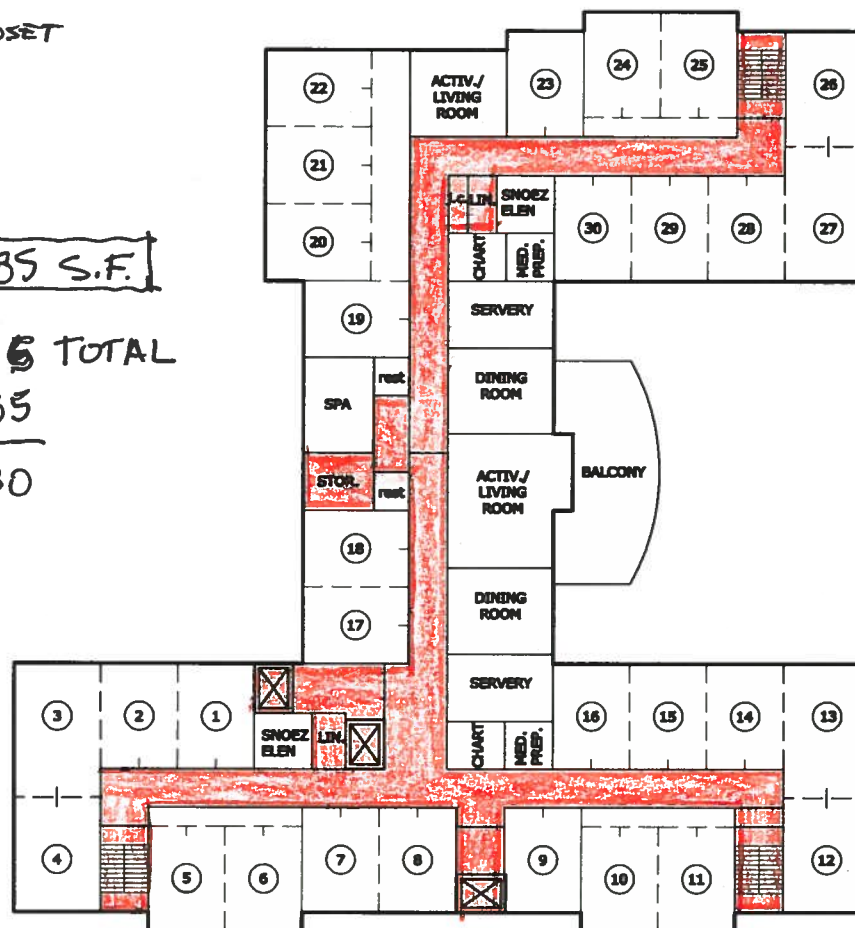
- CORRIDOR
- STAIR/ELEVATOR
- STORAGE
- LINEN CLOSET
- JANITOR CLOSET

3985 S.F.

20,215 TOTAL

- 3,985

16,230



BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING THE ISSUANCE OF A NEW CONDITIONAL USE
PERMIT FOR A 41,900 SQUARE-FOOT, 51 BED, ASSISTED LIVING FACILITY
LOCATED AT 450 N. LINDBERGH BOULEVARD IN THE "GC" GENERAL
COMMERCIAL DISTRICT**

WHEREAS, under Chapter 405, Table A, of the Creve Coeur Code of Ordinances, Assisted Living Facilities for the Elderly (NAICS 623312) in the "GC" General Commercial zoning district require the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, an application was submitted by Bill Biermann, of WM. Biermann Company LLC, for a conditional use permit for a 41,900 square-foot, 51-bed, two-story, assisted living facility, to be known as The Grove in Creve Coeur, and located at 450 N. Lindbergh Boulevard, in the GC District; and

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Tuesday, January 21, 2014, beginning at 7:00 p.m. or immediately following the close of the previous public hearing, on said application for the conditional use permit as provided by Section 405.1070(D)(2); and

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and

WHEREAS, the Planning and Zoning Commission reviewed and, by a ____ vote, recommended approval of the conditional use permit, subject to the conditions contained herein, at its meeting on January 21, 2014; and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed conditional use, when subject to certain conditions set forth herein:

1. Will contribute to and promote the community welfare and convenience at the specific location.
2. Will not cause substantial injury to the value of neighboring property.
3. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation therefrom.
4. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

BILL NO. _____

ORDINANCE NO. _____

Section 1: A Conditional Use Permit is authorized to be issued pursuant to Section 3 hereof for the operation of an assisted living facility, located in the "GC" General Commercial zoning district, whose legal description is as follows:

A Part of Lot 13 of Subdivision of Thomas R. Axtell's Farm in Section 1, Township 45 North, Range 5 East, in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 9 Page 38 of the St. Louis City (former County) records and described as: Beginning at the point of intersection of the East line of Lindbergh Boulevard, 100 feet wide, with the center line of Private Road, 40 feet wide, established by Instrument recorded in Book 2900 Page 221 of the St. Louis County Records; thence Southwardly along the East line of said Lindbergh Boulevard 285.94 feet to the Northwest corner of property conveyed to Rose Kitsis by deed recorded in Book 5563 Page 86 of the St. Louis County Records; thence Eastwardly along the North line of said property conveyed to Rose Kitsis, as aforesaid, 300 feet to the Northeast corner thereof; thence Northwardly and parallel with the East line of said Lindbergh Boulevard 285.94 feet to a point in the center line of said Private Road, 40 feet wide; thence Westwardly along the center line of said Private Road 300 feet to the point of beginning.

Section 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. The Conditional Use Permit shall be for a 41,900 square-foot assisted living facility with a maximum of 51 resident beds at 450 N. Lindbergh Boulevard.
2. The applicant is required to submit a Site Improvement Permit application, showing all exterior improvements, as required by Section 420.070 of the Land Disturbance Code. The permit application shall be in substantial conformance with the "Site Development Plan," dated November 26, 2013 as bound together and submitted in conjunction with Application #13-047 by George Stock, of Stock & Associates, Consulting Engineers, Inc., except that the plans shall be revised to provide additional screening of the loading area and trash areas, as necessary, in order to meet with the Design Guidelines, subject to the review and approval of the Zoning Administrator.
3. The Site Development Plan shall include new sidewalks to meet with the City of Creve Coeur Design Guidelines and Pedestrian Plan, subject to the review and approval of the Zoning Administrator.
4. The applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the "Exterior Elevations" received December 18, 2013, as bound together and submitted in conjunction with Application #13-047, except the main building material shall be revised to a masonry material to meet with the City of Creve Coeur Design Guidelines, subject to the review and approval of the Zoning Administrator.
5. The Applicant shall submit a revised Landscape Plan in conformance with the Design Guidelines and Section 405.540: Landscaping of the Zoning Ordinance, subject to the review and approval of the Zoning Administrator. Said revisions shall provide a greater interest and year-round aesthetic, especially within the north side yard and the central parking island.
6. All exterior heating, ventilation and air conditioning (HVAC) equipment shall be located within the south side yard and enclosed within a masonry enclosure extending no less than two feet higher than the tallest equipment within the enclosure.
7. All in-room HVAC equipment shall be vertical terminal air conditioner (VTAC) design.
8. No external fans or ventilators of any kind may be located on any east-facing wall or roof slope of the facility.

9. Accessory structures, including the generator, dumpster and any HVAC enclosures, and the supporting structure of the ground monument sign shall be of materials consistent with the main building.
10. All lighting shall be in conformance with Section 405.680, Lighting, of the Zoning Code.
11. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code.
12. The kitchen facility shall use a tempered makeup air system. Such system shall be regularly cleaned and maintained in order to reduce cooking smells.
13. Any mechanical equipment installed for the site shall be properly screened with approved materials.
14. The Applicant shall provide to the City a copy of all current licenses issued by the State of Missouri for the operation of the assisted living facility, to be kept on file with the City for public inspection.
15. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
16. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
17. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
18. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

Section 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

BILL NO. _____

ORDINANCE NO. _____

Section 4: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2014.

SCOTT SAUNDERS
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2014.

BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK

From: [Allison Pinnick](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#)
Subject: 450 N Lindbergh Redevelopment
Date: Thursday, January 16, 2014 8:58:02 AM

I am a resident on Haven View and have spoken with you both previously about the potential redevelopment of the site at 450 N Lindbergh for senior housing. I wanted to share my thoughts, as follows:

Conceptually I am not opposed to redevelopment for a senior housing use and, if done correctly, could see it benefiting an otherwise under-utilized property.

My biggest concerns are as follows: (1) insuring that all of the existing trees along Beaver Drive are maintained, not removed, and protected from an encroaching development that might kill them in the future, (2) keeping any kind of service drive access off of Beaver Drive, which is not wide enough in my opinion to accommodate regular truck delivery, (3) prohibiting development higher than 2 or 3 stories, to avoid a high-rise looming in our backyard, (4) insuring that the project will be low-lit to avoid light flooding into our backyard at night and (5) requiring a reasonably attractive exterior aesthetic to the development (i.e.- some brick work and/or other features that will show well); [note: I have seen on their web-site that their developments on 141 in Chesterfield appear to look quite attractive while other developments in North County look a bit cheaper and feature primarily vinyl siding, which is what I would wish to avoid].

These five conditions are most important to me and it is important to me that they are all met, without condition. If this is accomplished and this developer can put together an attractive project, I would not be in opposition.

I appreciate your consideration.

Thank you,

Ben Friedman
#3 Haven View Drive

From: [Cheryl Burnham](#)
To: [Kelly Whitney](#)
Subject: 450 N Lindbergh
Date: Tuesday, January 14, 2014 2:30:06 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU
Cheryl Burnham
#43 Tealwood Dr

From: [Ed Bloomquist](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: 450 N. Lindberg
Date: Tuesday, January 14, 2014 10:18:54 AM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

Elaine & Edmund Bloomquist
12 Haven View dr.

From: [Marvin Greenberg](#)
To: [Kelly Whitney](#)
Subject: 450 N. LINDBERGH DEVELOPMENT
Date: Friday, January 17, 2014 3:03:36 PM

TO CREVE COEUR OFFICIALS AND PLANNING AND ZONING COMMISSION

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety for the residents of the facility and residents of the neighborhoods, the negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL.

Thank you,

Marvin Greenberg
19 Haven View
63141

From: sandeegee19@aol.com
To: [Kelly, Whitney](#)
Subject: 450 N. LINDBERGH DEVELOPMENT
Date: Friday, January 17, 2014 2:48:18 PM

: TO: CREVE COEUR OFFICIALS AND PLANNING AND ZONING COMMISSION

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety for the residents of the facility and residents of the neighborhoods, the negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL.

Thank you,

Sandra Greenberg
19 Haven View
63141

sandeegee19@aol.com

From: [Ann White](#)
To: [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#); [Langdon, Paul](#); [Kelly, Whitney](#)
Subject: 450 N. Lindbergh
Date: Tuesday, January 14, 2014 2:52:17 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU,
Ann & Randy White

From: [Paul Decker](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Cc: [LouAnne Decker](#)
Subject: Assisted Living Facility for 450 N Lindbergh
Date: Tuesday, January 14, 2014 11:09:23 AM

TO: Creve Coeur officials and P&Z Commission:

This email is to register our personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. Our main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU FOR PROTECTING OUR NEIGHBORHOOD

Paul and Louanne Decker

23 Havenview Dr

From: [SUZY SHEPARD](#)
To: [Langdon, Paul](#)
Subject: Assisted Living Facility on Lindbergh
Date: Monday, January 13, 2014 10:06:13 AM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU

Suzy Shepard

From: [Donna Meier](#)
To: [Kelly, Whitney](#); [Langdon, Paul](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Assisted Living Proposal
Date: Wednesday, January 15, 2014 6:32:53 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU



DONNA MEIER

Senior Partner
Javelin, Inc.
1910 Locust Street
St. Louis, MO 63103
Direct: (314) 260-4000
Mobile: (314) 409-4380
www.javelinexperiential.com

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From: [Karen Mayberry](#)
To: [Kramer, Cynthia](#)
Cc: [Kreuter, Dave](#)
Subject: Building proposed @450 N. Lindbergh
Date: Friday, January 17, 2014 11:10:12 AM

Ms. Kramer, please do what you can to stop the building of the nursing center. It is totally too big for that site. Parking at the facility will need to be much bigger than projected in the proposal. When you consider staffing needs, visitors and guest needs, and the area needed for deliveries, the streets around the building like Beaver & Tealwood will be filled 24/7 with on-street parking. What a way to mess up our beautiful views and quiet neighborhoods! Please do the right thing and vote this proposal down. Karen & Darrell Mayberry, 31 Tealwood Dr.

From: [sarada rao](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Fw: Important Tealbrook Message!
Date: Monday, January 13, 2014 8:36:46 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, reduced quality of life for both neighborhood and facility residents, and possible impact on property values.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU FOR YOUR CONSIDERATION

**Sarada Rao
15 South Tealbrook Drive
St. Louis, MO 63141**

From: [Lawrence Mayer](#)
To: plangdon@ci.creve-coeur.mo.us; [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Cc: susan.hibbard@att.net
Subject: Fwd:
Date: Friday, January 17, 2014 11:07:07 AM

----- Forwarded message -----

From: **Lawrence Mayer** <lawrencemayer@claytonschoools.net>
Date: Fri, Jan 17, 2014 at 10:46 AM
Subject:
To: plangdon@ci.creve-coeur.mo.us

Please defeat the proposal for the "Care" center at 450 N. Lindberg. It infiltrates our peaceful and valuable residential neighborhood. It sounds like a miserable place for the patients. too. The lot is too small, with only a small courtyard? for fresh air and exercise. Is that where you want to be when the need arises? Maybe they are planning to have supervised hikes around the neighborhood. PLEASE defeat this proposal.

Lawrence Mayer
Tealbrook

From: [Kristin Connell](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: In regards to the proposed development at 450 N. Lindbergh (Tealwood Sq)
Date: Friday, January 17, 2014 12:33:12 PM

Dear Creve Coeur elected officials and staff members,

After weeks of deliberation over the proposed Memory Care/ Assisted Living Building for the property at 450 N. Lindbergh, we have come to the conclusion that this developmental, at this location is not in the best interest for the city and its residents.

We feel that this proposed development is much too large for the size of the lot. It poses several problems, especially for the safety of the children in the neighborhood in regards to all of the large trucks that will be visiting on a recurring basis.

The parking situation is also a big concern to us. Where will the overflow parking go on the holidays and weekends? Thirty-seven spaces seems hardly enough for the employees and visitors coming to the property. The only viable option for those not finding a parking space would be to use Beaver Drive as an alternative. This would also happen if visitors would pass up the entrance, as there is no place to turn around without heading all the way up to Olive. This scenario happens now with the present building.

Right now there are approximately 100 spaces for a building consisting of 20,000 square feet. The new development will have 41,900 square feet and only 37 parking spaces, not nearly enough for the anticipated employees and visitors, especially at the peak visiting times.

We doubt there is any other Memory Care/ Assisted Living building that is within 28 feet of a single family property, let alone any commercial development in the entire City of Creve Coeur where the actual building is within 28 feet of a single family property. In addition to the closeness and the noise factors, this development is 2 stories high, allowing people to look down upon our homes, yards and pool 24 hours a day, 7 days a week. We do not think this is the quality of life that our elected officials talk about or that the Creve Coeur residents expect or deserve to have. Would you want a 2 story commercial building within 28 feet of your property?

The present commercial/retail building is more acceptable, first it is 105 feet from the property line, second it does not have anyone looking down upon our homes, yards and pool and third, it is not a 24/7 operation.

We have spoken to many neighbors on both sides of Lindbergh and there is overwhelming opposition to this development from the residents of Beaver Drive, Haven View Drive, Tealwood, Tealbrook, Sunswept, Foxbrook Subdivision and Quailways. Please listen to the constituents you serve and vote to deny this proposed development.

Thank you for your consideration in this matter.

Sincerely,
Harold Dielmann

Andrew Dielmann and Kristin Connell
Susan Turner
True and Elizabeth Knowles

From: [Kristin Connell](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: In regards to the proposed development at 450 N. Lindbergh (Tealwood Sq)
Date: Friday, January 17, 2014 12:33:12 PM

Dear Creve Coeur elected officials and staff members,

After weeks of deliberation over the proposed Memory Care/ Assisted Living Building for the property at 450 N. Lindbergh, we have come to the conclusion that this developmental, at this location is not in the best interest for the city and its residents.

We feel that this proposed development is much too large for the size of the lot. It poses several problems, especially for the safety of the children in the neighborhood in regards to all of the large trucks that will be visiting on a recurring basis.

The parking situation is also a big concern to us. Where will the overflow parking go on the holidays and weekends? Thirty-seven spaces seems hardly enough for the employees and visitors coming to the property. The only viable option for those not finding a parking space would be to use Beaver Drive as an alternative. This would also happen if visitors would pass up the entrance, as there is no place to turn around without heading all the way up to Olive. This scenario happens now with the present building.

Right now there are approximately 100 spaces for a building consisting of 20,000 square feet. The new development will have 41,900 square feet and only 37 parking spaces, not nearly enough for the anticipated employees and visitors, especially at the peak visiting times.

We doubt there is any other Memory Care/ Assisted Living building that is within 28 feet of a single family property, let alone any commercial development in the entire City of Creve Coeur where the actual building is within 28 feet of a single family property. In addition to the closeness and the noise factors, this development is 2 stories high, allowing people to look down upon our homes, yards and pool 24 hours a day, 7 days a week. We do not think this is the quality of life that our elected officials talk about or that the Creve Coeur residents expect or deserve to have. Would you want a 2 story commercial building within 28 feet of your property?

The present commercial/retail building is more acceptable, first it is 105 feet from the property line, second it does not have anyone looking down upon our homes, yards and pool and third, it is not a 24/7 operation.

We have spoken to many neighbors on both sides of Lindbergh and there is overwhelming opposition to this development from the residents of Beaver Drive, Haven View Drive, Tealwood, Tealbrook, Sunswept, Foxbrook Subdivision and Quailways. Please listen to the constituents you serve and vote to deny this proposed development.

Thank you for your consideration in this matter.

Sincerely,
Harold Dielmann

Andrew Dielmann and Kristin Connell
Susan Turner
True and Elizabeth Knowles

From: Kryn1210@aol.com
To: plangdon@ci.crve-coeur.mo.us; [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Cc: DLWorkman716@yahoo.com; akwteacher@aol.com
Subject: Latest Tealwood Square Proposal
Date: Thursday, January 16, 2014 3:42:14 PM

TO CREVE COEUR OFFICIALS:

As Planning and Zoning will again be considering a proposal for an Assisted Living Facility on the Tealwood Square property, my family's objections are renewed for all the same reasons we were not in favor of the earlier proposal. That location is not appropriate for that kind of facility from either the standpoint of the institution itself nor for its impact on the adjoining community. We live on streets that have commercially zoned properties on each side of the entrance, and the existing businesses and their predecessors have all co-existed nicely with the neighborhoods, so our opposition is not based on "we don't want anything commercial in our neighborhood." Instead, our objection is to the nature of the development being proposed. These streets are desirable locations -- attractive, well maintained residences; excellent school district; location convenient to the entire municipal area. It would be a disservice to the many Creve Coeur citizens who live on these adjoining streets to allow an incursion that would be seriously detrimental to the quality of these residential areas. Thank you for your work for our fine city, and thank you for your consideration.

Kathryn Workman
25 Beaver Drive

From: [Hsu, Fong](#)
To: [Kelly, Whitney](#)
Date: Wednesday, January 15, 2014 10:03:08 AM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU

Fong-Fu Hsu
Resident of the house located at
434 Shadybrook Drive
Creve Coeur, MO 63141
Tel:314-5676077
email:fhsu@im.wustl.edu

From: [Lawrence Mayer](#)
To: [Langdon, Paul](#)
Date: Friday, January 17, 2014 10:50:31 AM

Please defeat the proposal for the "Care" center at 450 N. Lindberg. It infiltrates our peaceful and valuable residential neighborhood.
It sounds like a miserable place for the patients. too. The lot is too small, with only a small courtyard? for fresh air and exercise.
Is that where you want to be when the need arises? Maybe they are planning to have supervised hikes around the neighborhood.
PLEASE defeat this proposal.

Lawrence Mayer

From: [Lixin Chen](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Objection to the proposed Assisted Living Facility for 450 N. Lindbergh
Date: Monday, January 13, 2014 6:49:19 AM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU

Lixin Chen

From: [xiaoyun.xing](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Objection to the proposed Assisted Living Facility for 450 N. Lindbergh
Date: Monday, January 13, 2014 6:46:29 AM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU

Xiaoyun Xing

From: [Judy Fiedler](#)
To: [Kelly Whitney](#)
Subject: Objection to the proposed Assisted Living Facility for 450 N. Lindbergh
Date: Tuesday, January 14, 2014 3:04:45 PM

Ms. Kelly,

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL.

THANK YOU.

Judy

--

Judy Fiedler

34 Tealwood Drive
St. Louis, MO 63141

From: [Yuxing Feng](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Cc: [Yuxing Feng](#)
Subject: Objection to the Proposed Assisted Living Facility for 450 N. Lindbergh
Date: Thursday, January 16, 2014 4:44:37 PM

DEAR CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL.

THANK YOU!

Yuxing Feng
Parent of Yifu Zhu

5 Haven View Drive
St. Louis, MO 63141

From: [irvin fagin](#)
To: [Kreuter, Dave](#); [Kramer, Cynthia](#); bglantz@ci.creve-coeur.mo.us; [Kelly, Whitney](#); [Langdon, Paul](#)
Subject: objections to assisted living facility at 450 lindberg
Date: Friday, January 17, 2014 1:00:41 PM

My wife Ieane and I and a large majority of our neighbors are vehemently opposed to the above project as being detrimental to ourselves and to the city of Creve Coeur, St Louis county and to other community facilities and services that depend on taxes [sales, real estate, etc] as another example of so called "non profit" enterprises taking business advantage a fluke in our laws. Our community needs another such senior facility like a hole in our head.

Irvin Fagin
one of the seniors

From: [DC Rao](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Mayor Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: OPPOSED to the Assisted Living Facility for 450 N. Lindbergh
Date: Monday, January 13, 2014 4:24:55 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:
Ladies and Gentlemen,

I am writing this email to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. I have lived in my current house for 27 years and I am seriously concerned about safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.
I REQUEST THAT THIS PROPOSAL NOT BE APPROVED.
Thank you for your consideration of our concerns.

D.C. Rao
15 S. Tealbrook Drive

From: [bin wang](#)
To: [Glantz, Barry](#); [Langdon, Paul](#); [Kelly, Whitney](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: OPPOSE--PROPOSAL FOR 450 N. LINDBERGH (TEALWOOD SQ).
Date: Tuesday, January 14, 2014 2:03:19 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU!

**Wu Jin & Bin Wang
9 Haven View Drive**

From: elenastl@charter.net
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Opposition to Devevopment at 450 N. Lindbergh
Date: Thursday, January 16, 2014 6:01:02 PM

Dear Creve Coeur Officials and P&Z Commission:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL.

Thank you.

Elena Parker
35 Tealwood Drive
Creve Coeur, MO 63141

From: dkd1905@aol.com
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Lowery, Julie](#)
Cc: [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Opposition to Tealwood Square Redevelopment Proposal
Date: Friday, January 17, 2014 7:21:42 AM

My initial reaction to the revised proposal for an assisted living facility (ALF) at 450 N. Lindbergh Blvd was, "I hope we can make this work". I was encouraged that George Stock, the consulting engineer, had listened to the residents and attempted to address their objections. Unfortunately, upon further review it was clear that increasing set-backs and removing a third floor did not resolve the overriding objection to the development – 450 N. Lindbergh, a 1.97 acre site on a high traffic arterial road and abutting residential property, is an inappropriate location for a senior living facility.

I strongly oppose the approval of this proposal for the following reasons:

- The General Commercial (GC) district is intended to accommodate retail shopping and offices which are compatible in scale and intensity of use with adjacent residential uses. A use that is 24 hours a day, 7 days a week, and 365 days a year is not compatible with residential neighborhoods unless extensive green space and buffers are present to absorb noise from both the facility services and employees on breaks. A 1.97 acre lot cannot accommodate a building, parking, and service area, and have any acreage remaining for a suitable buffer.
- It is irresponsible to place an assisted living facility within 80 feet of a U.S. Highway with no barrier between the front door and vehicles travelling 40 – 50+ mph. It changes to negligence when 50+% of the residents have dementia. Once again the 1.97 acre lot is insufficient in size to allow for a fence or other suitable deterrent to residents wandering into high-speed traffic. Research places the incidence of ALF residents wandering at 60%. Any reasonable person would view 450 N Lindbergh as an unsuitable location for the proposed usage. On the other hand, the Wm C Biermann, LLC appears to see it as a suitable place to make money.
- The traffic flow and lot size are ill-suited to ongoing truck deliveries. The Quailways/ Tealbrook u-turn intersection does not have the necessary turning radius for delivery trucks to turn north onto Lindbergh. Deliveries to Davita have already demonstrated that trucks create a traffic blockage on Lindbergh Blvd as they maneuver the u-turn (that is, they back-up after entering the roadway to get a different angle for the turn). The traffic light is short. Most trucks cannot negotiate the turn in the time allowed.

Trucks have caused repeated damage to the curbs, drains and sewer covers. The frequency of traffic blockage and cost of repairs will only increase if this new facility is approved. In addition, right turns into the proposed parking lot by delivery trucks will block both lanes of north-bound Lindbergh traffic. To negotiate the parking lot, trucks will need to either back into or out of the service drive. While doing so they will transect pedestrian foot traffic and run parallel and close to four parked cars. A 1.97 acre lot holding a 41,900 square foot ALF is of insufficient size to safely accommodate the co-existence of trucks, cars and pedestrians, much less elderly pedestrians.

The above is not an all-inclusive list. I could continue to describe my objections *ad nauseum*. I could discuss the noise, the reputation of the developer, or parking on Beaver. In the end it all comes back to one thing - 450 N. Lindbergh, a 1.97 acre site on a high traffic arterial road and abutting residential property, is an inappropriate location for a senior living facility. To approve this proposal is to put the profit interests of the developer above the public welfare of the residents of Creve Coeur.

Sincerely,

Deni Dickler
7 Haven View Drive

From: [SUZY SHEPARD](#)
To: [Suzy Shepard](#)
Subject: Please Help
Date: Monday, January 13, 2014 10:09:18 AM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU

Suzy Shepard

**6 North Tealbrook Drive
St. Louis, Missouri 63141**

From: [Mary Outten](#)
To: [Langdon, Paul](#)
Subject: Proposal for Assisted Living Facility on Lindbergh Blvd.
Date: Tuesday, January 14, 2014 2:07:01 PM

Dear Mr. Langdon,
I would like to register my personal objection to the assisted living facility proposed for 450 N. Lindbergh Blvd. There are many reasons why this is simply not an appropriate property to host such a facility.

My main concern is safety.

The increase in traffic turning on and off Lindbergh would cause a significant danger.

This particular stretch of Lindbergh **was not designed** to handle the level of traffic which would result from such a facility operating there. Think of vendors (trucks), employees, and visitors, all converging on a parking lot which is located NEXT to one of the busiest urban thoroughways in the St. Louis area. The concrete median divider which extends for miles along the middle of Lindbergh Blvd was intended to prevent just this sort of development from taking place, in order to protect the surrounding neighborhoods from noisy commercial enterprise.

Please consider the impact of a 24/7 business being situated between two residential neighborhoods. This is important for the quality of life we are proud to enjoy in Creve Coeur. I am sure you can understand my concern.

Please, DO NOT APPROVE the proposal.

Thank you,
Mary Outten
1 Tealwood Drive
Creve Coeur, MO 63141

From: [Charles Peyton](#)
To: [Langdon, Paul](#)
Cc: [Kelly, Whitney](#); bglanz@ci.creve-coeur.mo.us; [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Proposed assisted living facility
Date: Tuesday, January 14, 2014 7:14:34 PM

My wife, Lucie, and I object to the proposed Assisted Living Facility for 450 N. Lindbergh. We feel the location at the entrance to our subdivision will affect property values in our neighborhood. We live in a quiet neighborhood and a 24/7 operation will create traffic, 24 hour lights, and noise during the 24/7 operation. Charles and Lucie Peyton, 12 Beaver Dr.

From: [Geoff Nash](#)
To: [Langdon, Paul](#); [Glantz, Barry](#); [Kelly, Whitney](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Proposed assisted living facility at 450 N Lindbergh in Creve Coeur
Date: Friday, January 17, 2014 11:28:13 AM

TO: Creve Coeur Officials and Planning and Zoning Commission:

I would like to register my objection to the proposed assisted living facility at 450 N Lindbergh in Creve Coeur.

There are many issues my neighbors and I have with this such as increased traffic, noise, light and impact on our already over stressed sewage and drainage system . Rather than repeating all of these, I will concentrate on the issue of the FAR calculation.

I have serious reservations on the new calculation of the FAR. The new company has not fully laid out the plans for the interior space of the facility, however they have stated the FAR has been reduced approximately 45% (from .71 to .39), just below that level required for GC zoning. To remove this much of the square footage would seem unlikely base only on the removal of stair wells, elevators, etc. I would expect they are also not counting common areas which are reserved for tenants, guests, and staff. All these areas would seem to be required in the FAR calculation as they are leasable areas of the building. These areas are not public, but reserved for the tenants, guests, and staff, and in effect are leased for use by the tenants.

Also, all common areas could be leased out for management purposes after the building is completed and in use. For instance, such leasing may be done for purposes of having an outside company maintain the kitchen and dining room. This might be done for cost containment purposes. Other areas might also be leased, for a doctor or physical therapist, or other medical purpose in support of the individuals living there. Areas may be leased to the tenants for storage beyond that available in the bedroom.

In many buildings the interior walls are not structural but are able to be moved to change the purpose of the area of the building. In calculating the square footage of leasable building space, all areas available for use should considered as the leasing entity may modify the area so halls become rooms, etc.

Unless the FAR calculation does include all leasable space used by the tenants, not just bedrooms, I do not believe it accurately reflects the true FAR. I do not see how this application can be recommended to the council until the specifics of the FAR calculation have been made available and meet these requirements. I believe the zoning commission should not accept the FAR as matching that required for the district and should not recommend this as an acceptable use in the neighborhood.

Yours,

Geoffrey S. Nash

13 N Tealbrook Dr.

Creve Coeur, MO 63141

From: [Geoff Nash](#)
To: [Langdon, Paul](#); [Glantz, Barry](#); [Kelly, Whitney](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Proposed assisted living facility at 450 N Lindbergh in Creve Coeur
Date: Friday, January 17, 2014 11:28:08 AM

TO: Creve Coeur Officials and Planning and Zoning Commission:

I would like to register my objection to the proposed assisted living facility at 450 N Lindbergh in Creve Coeur.

There are many issues my neighbors and I have with this such as increased traffic, noise, light and impact on our already over stressed sewage and drainage system . Rather than repeating all of these, I will concentrate on the issue of the FAR calculation.

I have serious reservations on the new calculation of the FAR. The new company has not fully laid out the plans for the interior space of the facility, however they have stated the FAR has been reduced approximately 45% (from .71 to .39), just below that level required for GC zoning. To remove this much of the square footage would seem unlikely base only on the removal of stair wells, elevators, etc. I would expect they are also not counting common areas which are reserved for tenants, guests, and staff. All these areas would seem to be required in the FAR calculation as they are leasable areas of the building. These areas are not public, but reserved for the tenants, guests, and staff, and in effect are leased for use by the tenants.

Also, all common areas could be leased out for management purposes after the building is completed and in use. For instance, such leasing may be done for purposes of having an outside company maintain the kitchen and dining room. This might be done for cost containment purposes. Other areas might also be leased, for a doctor or physical therapist, or other medical purpose in support of the individuals living there. Areas may be leased to the tenants for storage beyond that available in the bedroom.

In many buildings the interior walls are not structural but are able to be moved to change the purpose of the area of the building. In calculating the square footage of leasable building space, all areas available for use should considered as the leasing entity may modify the area so halls become rooms, etc.

Unless the FAR calculation does include all leasable space used by the tenants, not just bedrooms, I do not believe it accurately reflects the true FAR. I do not see how this application can be recommended to the council until the specifics of the FAR calculation have been made available and meet these requirements. I believe the zoning commission should not accept the FAR as matching that required for the district and should not recommend this as an acceptable use in the neighborhood.

Yours,

Geoffrey S. Nash

13 N Tealbrook Dr.

From: [Michael Tsiaklides](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Proposed Assisted living Facility for 450 N. Lindbergh
Date: Friday, January 17, 2014 12:46:01 PM

Dear Creve Coeur Officials and P&Z Commission:

This email is to register my strong personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

Thank you.

Michael Tsiaklides

From: [Maue And Maue](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); bglantz@ci-creve-coeur.mo.us; [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Proposed development at 450 N. Lindbergh
Date: Friday, January 17, 2014 12:13:37 PM

Dear Mayor Glantz, Mr. Langdon, Ms. Kelly, Ms. Kramer, and Mr. Kreuter:

I am writing to strongly oppose the proposed Assisted Living Development at 450 N. Lindbergh Rd.

Originally Assisted Living projects were grouped with all other Senior Living projects, which would have precluded any such use of this site, which is under the three acre requirement for Senior Housing developments. The Planning and Zoning Commission has now agreed that Assisted Living should be included with all other Senior Housing, in the meeting of January 6th, 2014.

Any Assisted Living Development will therefore be shoe-horned into this site.

There are multiple other factors which make a development of this kind incompatible in scale and intensity of use with the adjacent residential uses, including the 24 hour/7days a week nature of the business, safety issues, noise issues, sewer issues, and environmental/green issues,

The nature of the business and the size and location of this site are not congruent with the GC District intent to accommodate "convenience retail shopping and services and offices..."

PLEASE OPPOSE THIS DEVELOPMENT. Thank you.

Michele M. Maue
13 N. Tealbrook Dr.

The Missouri Bar Disciplinary Counsel requires all Missouri lawyers to notify all recipients of email that (1) email communication is not a secure method of communication; (2) any email that is sent to you or by you may be copied and held by various computers it passes through as it goes from me to you or vice versa; (3) persons not participating in our communication may intercept our communications by improperly accessing your computer or my computer or even some computer unconnected to either of us which the email passes through. I am communicating to you via email because you have consented to receive communications via this medium. If you change your mind and want future communications to be sent in a different fashion, please let me know at once.

From: [Mary Outten](#)
To: [Kelly Whitney](#)
Subject: Proposed Development/450 N. Lindbergh Blvd.
Date: Tuesday, January 14, 2014 2:16:02 PM

Dear Mr. Kelly,

I would like to register my personal objection to the assisted living facility proposed for 450 N. Lindbergh Blvd. There are many reasons why this is simply not an appropriate property to host such a facility.

My main concern is safety.

The increase in traffic turning on and off Lindbergh would cause a significant danger.

This particular stretch of Lindbergh **was not designed** to handle the level of traffic which would result from such a facility operating there. Think of vendors (trucks), employees, and visitors, all converging on a parking lot which is located NEXT to one of the busiest urban thoroughways in the St. Louis area. The concrete median divider which extends for miles along the middle of Lindbergh Blvd was intended to prevent just this sort of development from taking place, in order to protect the surrounding neighborhoods from noisy commercial enterprise.

Please consider the impact of a 24/7 business being situated between two residential neighborhoods. This is important for the quality of life we are proud to enjoy in Creve Coeur. I am sure you can understand my concern.

Please, DO NOT APPROVE the proposal.

Thank you,
Mary Outten
1 Tealwood Drive
Creve Coeur, MO 63141

From: [Susan Hibbard](#)
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Cc: [Hibbard, Susan](#)
Subject: Proposed Facility at 450 N. Lindbergh
Date: Thursday, January 16, 2014 10:07:17 PM

To: Creve Coeur Officials and Planning and Zoning Committee Members:

As a homeowner in Tealbrook Estates, I object to the proposed Assisted Living Facility at 450 N. Lindbergh. I cannot see why the wishes of one commercial property owner should trump the legitimate concerns of dozens of homeowners in four or five surrounding neighborhoods. We all prize our peace and quiet. Please leave us with some.

I urge you to vote against the proposal.

Thank you,
Susan Hibbard

From: [Faith Waxman](#)
To: [Kelly Whitney](#)
Subject: RE: 450 N. Lindbergh Assisted Living Facility Opposition
Date: Friday, January 17, 2014 12:00:14 PM

TO: CREVE COEUR OFFICIALS AND P&Z COMMISSION:

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL

THANK YOU

Faith Waxman

From: [Geisler, Sheila](#)
To: [Kelly, Whitney](#)
Subject: RE: 450 N. Lindbergh
Date: Tuesday, January 14, 2014 5:55:57 PM

TO: CREVE COEUR OFFICIALS AND PLANNING & ZONING COMMISSION

This email is to register my personal objection to the proposed Assisted Living Facility for 450 N. Lindbergh. My main concerns include safety, negative impact on residential neighborhoods, and reduced quality of life for both neighborhood and facility residents.

PLEASE DO NOT APPROVE THIS PROPOSAL.

THANK YOU,

**Sheila G. Geisler
11 Beaver Drive
Creve Coeur, MO 63141**

From: [Donna Dierker](#)
To: [Langdon, Paul](#)
Cc: [Kelly, Whitney](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: Tealwood Acquisitions Assisted Living Proposal
Date: Thursday, January 16, 2014 7:49:42 PM

While the developer has listened to the residents and tried to meet our needs, this plan still is likely to create parking and traffic hassles, because of the lot's limitations:

- * Beaver is too narrow for overflow parking, and *it is the only access/exit for residents of Beaver and Haven View*.
- * The penalty for missing the turn is high, and few visitors will go all the way up to Olive to U-turn back down. Further, there is no parking south of the planned facility, along Lindbergh or on the Davita lot. As a result, when the Tealwood Acquisitions lot is full, then the visitors will park on Beaver, potentially blocking access to emergency vehicles, if they are needed on Beaver or Haven View.
- * The median presents an extra obstacle for delivery/service vehicles doing business at the Tealwood lot. Ideally, these vehicles should be able to drive around the building, so that they can properly orient themselves before exiting back to Lindbergh. If they must pull in and back out to pick up trash, for example, then this sets us up for another situation like we already have next door, at the Davita lot: Trucks are lined up and waiting out on Lindbergh, while shuttles and other patient vehicles are maneuvering on the small lot. I personally have waited ten minutes on northbound Lindbergh while a truck was trying to get into the Davita lot.

While 37 parking spaces might seem adequate for the decreased number of residents, this kind of facility will still require a substantial peak staff capacity. Besides the fact that some of the residents (e.g., spouses of impaired residents) will still be driving, and the typical number of baseline visitors, there will be multiple events that will spike visitors. For example, it is inevitable that some of the residents will die while living at this facility (not having been moved to a hospital first). When it becomes clear that a resident will pass away that day, family and friends will be summoned and will park wherever they need to in order to spend the last few precious moments with their loved ones. They won't wait for a shuttle, valet, or other overflow mechanism. They will park on Beaver. And this is not something you should allow to happen.

Again, Beaver is our only entrance/exit to the residents of Beaver and Haven View. Make sure this access is not blocked by overflow parking and visitors who missed their turn into the Tealwood facility. Find another lot for this facility.

Donna Dierker
17 Haven View Drive

From: [krb](#)
To: [Kelly, Whitney](#)
Subject: tealwood sq.
Date: Friday, January 17, 2014 1:33:27 PM

Dear Ms. Kelly,

Though currently not opposed I am quite leery of a nursing home or assisted-living facility being shoe-horned onto the Tealwood Square property. I live just east of there in Tealbrook.

I understand the need to make productive use of that land, which for too long has not occurred. Personally I'd think a few homes and/or park would be great there but I appreciate the business communities' acumen for knowing their market and putting their own investments on the line.

Perhaps the building can be sold to a nonprofit and inturn many of the existing vacancies filled with nonprofit organizations?

Anyway, please postpone any approval till my neighbors and I can further evaluate this proposal and its consequences for our environs.

ken bush
11 tealbrook n.
63141

From: wallislb@aol.com
To: [Langdon, Paul](#); [Kelly, Whitney](#); [Glantz, Barry](#); [Kramer, Cynthia](#); [Kreuter, Dave](#)
Subject: St. Andrew's Assisted Living on Lindbergh, In favor of current plan, add designated outside smoking area for staff and residents
Date: Thursday, January 16, 2014 8:14:03 PM

Dear Representatives,

I live on Sunswept Drive, just NW of the proposed development of the Grove. I attended the open house this evening sponsored by St. Andrews and staffed by several representatives of the proposal team. I realize that the architectural drawings as presented tonight are the outcome of dialogue over several informal and several formal meetings. Earlier in my career I worked as a social worker with the elderly at JF@CS and now I am aware of the aging concerns of the elders in my own family (and my own concerns). St. Andrews has a solid reputation in the St. Louis area from my point of view. I would prefer that facilities for the elderly who need assistance be embedded in local communities as much as possible. The Tealwood Square property has been under utilized for most of the 30 years that I have lived on Sunswept. I support this development.

Sincerely,

Lisa Wallis LCSW
#3 Sunswept Drive
63141

From: [Joan Glascock](mailto:Joan.Glascock@ci-creve-coeur.mo.us)
To: bglantz@ci-creve-coeur.mo.us
Cc: ckramer@ci-creve-coeur.mo.us; [Kreuter, Dave](#); [Langdon, Paul](#); [Kelly, Whitney](#)
Subject: Support for Assisted Living Facility Proposed for 450 N. Lindbergh
Date: Thursday, January 16, 2014 12:40:16 AM

Dear Mayor Glantz;

I am contacting you and your colleagues to express my strong support for the assisted living facility project proposed for 450 N. Lindbergh Boulevard. I appreciate that the developer is willing to make a very substantial investment in a building specialized to accommodate an assisted living facility. I am very impressed by the developer's responsiveness to the neighborhood concerns. Major changes in the project design have been made to address several of these neighborhood concerns including reducing the building's square footage, increasing setbacks, and increasing parking. I feel a great admiration for St. Andrew's, the not-for-profit organization which would be operating the proposed assisted living facility. The work that St. Andrew's has done for over fifty years dedicated to helping senior citizens in the St. Louis community is to be much respected. I would feel very honored to have them as a neighbor. I would trust that they would have the experience and understanding to operate an assisted living facility in a safe and responsible manner at the 450 N Lindbergh location. The proposed assisted living facility would add a very valuable and much needed resource to Creve Coeur, I believe.

I disagree with many of the additional concerns that have been expressed by neighbors who feel strong opposition to the project. I do not share the same degree of concern regarding added "pollution, excessive traffic, noise, and disruption to the surrounding neighborhood" suggested by individuals opposing the project. I visit a friend who lives at Bethesda Gardens located at 420 S Kirkwood Road. Bethesda Gardens is an independent living facility, not an assisted living facility. However, it is of a similar size to the proposed project for 450 N. Lindbergh Boulevard and does provide meals to residents in a restaurant-like setting. On the many occasions when I have visited my friend at Bethesda Gardens, I have not seen any evidence of added "pollution, excessive traffic, noise or disruption to the surrounding neighborhood." To the contrary, Bethesda Gardens is a quiet, well-managed facility that appears to co-exist well with the surrounding neighborhood. I believe that an assisted living facility at 450 N Lindbergh, if realized, would be operated similarly.

I would like to see this project proposal accepted.

Best Regards,

Joan Glascock, PharmD, PhD
41 Beaver Drive
Creve Coeur, MO 63141
(314) 567-0799

From: [johnhamacher](#)
To: [Langdon, Paul](#)
Subject: Assisted Living
Date: Wednesday, January 15, 2014 9:15:37 PM

I have no objection.

Sent from my Samsung Epic™ 4G Touch



city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

MEMORANDUM TO THE PLANNING & ZONING COMMISSION

Meeting Date: January 21, 2014

Subject: Form-Based Code (FBC), Urban Design Incentives

Memo Prepared by: Paul Langdon, AICP, Community Development Director

Attachments: Draft Regulating Plan Section
Staff Memo from May 20, 2013
Work Schedule

On February 11, 2013, staff presented the draft Form-Based Code (FBC) to a joint session of the City Council and Planning Commission. At that time, attention was called to one of the key unfinished sections: the Urban Design Regulating Plan. This plan is intended to provide direction for the location of incentivized improvements that the city holds to be of added importance to the overall character and success of the district. Items included are entry features, small public spaces (“pocket parks”) or art installations, parking garages that allow public use and a large central public plaza or gathering space.

On May 20, 2013 a memo discussing the Urban Design “Plan” was forwarded (and attached hereto) and a revised set of proposed zoning incentives was provided at the last meeting on January 6th. In keeping with the review schedule that was also provided at the last meeting, a final draft of the urban design incentives section is attached to this memo along with the complete Regulating Plan section of the FBC. The Planning Commission is asked to review this section and advise staff of any apparent oversights, errors or points of contention. These can be addressed while the next and final section of new material, Definitions, is prepared for the next meeting on February 3rd. In general, the discussion in the May 20th memo was the basis for the standards in the draft section and members of the Commission should refer to the key issues therein when evaluating this latest draft.

Staff will be seeking comments and direction on this item from the Commission during the work agenda on January 21st.

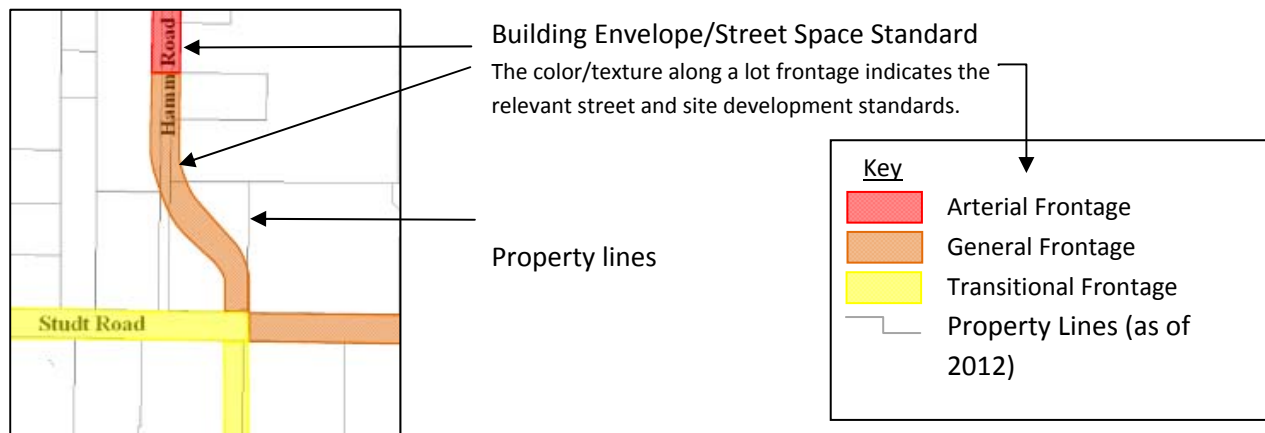
SECTION 405-400.C. THE REGULATING PLAN

1. Understanding the Regulating Plan

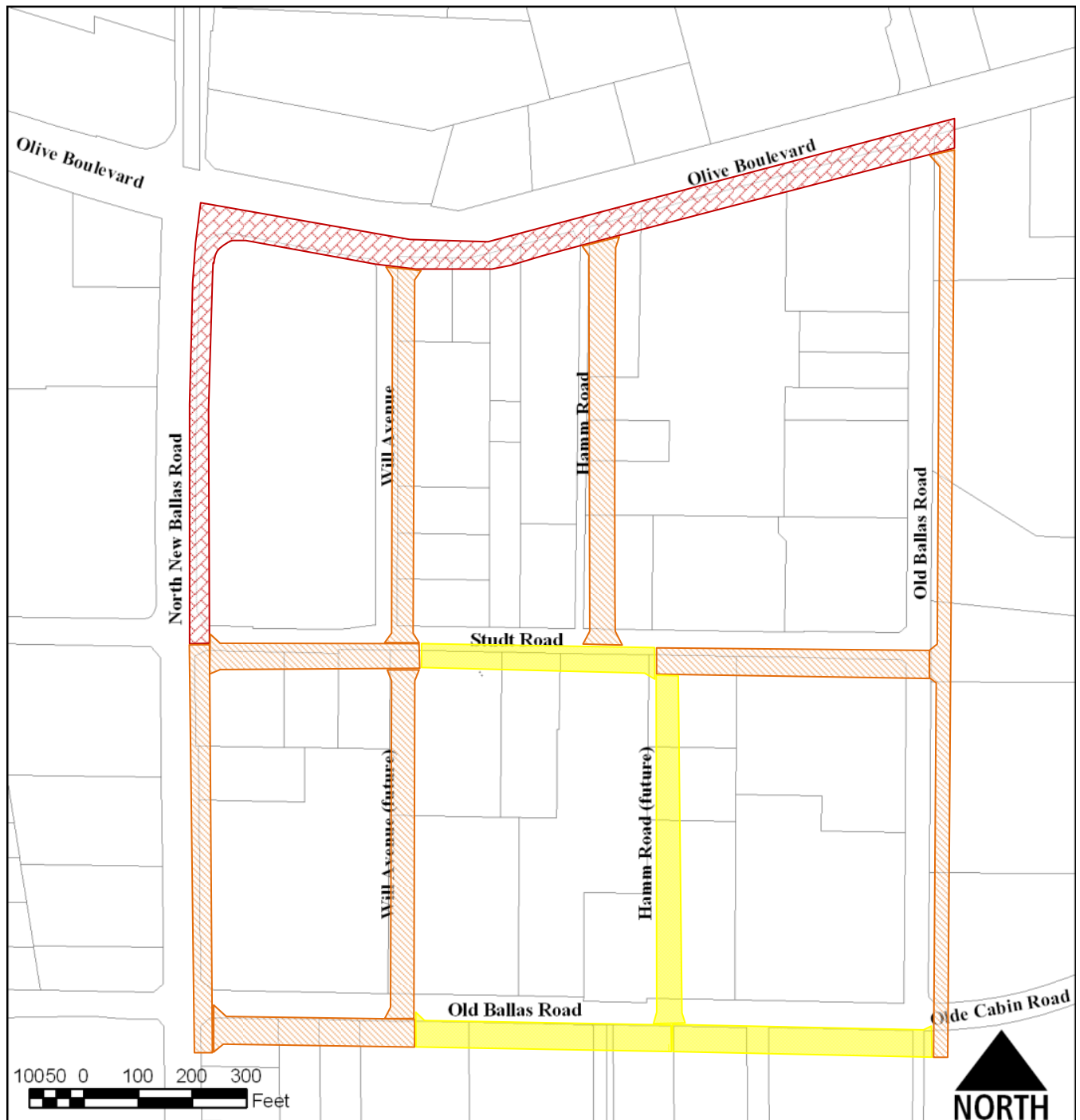
- a. *Generally.* The REGULATING PLAN, which is actually composed of several layers of information, is the principal tool for directing the development pattern in the FBC. The REGULATING PLAN layers standards for:
 - the development style of each property or lot, referred to as the BUILDING ENVELOPE STANDARDS (BES);
 - the relationship between the assigned street types and the adjacent properties, referred to as the STREET-SPACE STANDARDS;
 - the zoning incentives, or bonuses, that are available for certain public amenities, referred to as the URBAN DESIGN FEATURES; and,
 - the general rules for development that apply throughout the district, referred to as the RULES FOR NEW DEVELOPMENT.
- b. *Optional Street Pattern.* Two versions of the PLAN FOR BUILDING ENVELOPE AND STREET SPACE STANDARDS are presented, each depicting an alternate outcome for Hamm Road. Option “A” follows the original alignment of the street. However, in the event that future circumstances allow the realignment of the street to form a four-way intersection at Studt Road, Option “B” may be used as the guiding plan. All other streets are similar between the optional plans.
- c. *Overlay of Urban Design Features.* This plan is intended to provide direction for the location of incentivized improvements that the city holds to be of added importance to the overall character and success of the district. Items included are entry features, small public spaces (“pocket parks”), art installations, parking structures that allow public use and a large central public plaza or gathering space. While inclusion of these elements can be asset in any project and will be a consideration in any project approval, effective use of those elements under the terms of this section, will accrue defined development bonuses.

2. Building Envelope and Street Space Standards

The key below explains the elements of the REGULATING PLAN FOR BUILDING ENVELOPE AND STREET SPACE STANDARDS and serves as a reference when examining the REGULATING PLAN:



Section 450-400 C.3.a. Plan for Building Envelope & Street Space Standards "A"

Using this plan

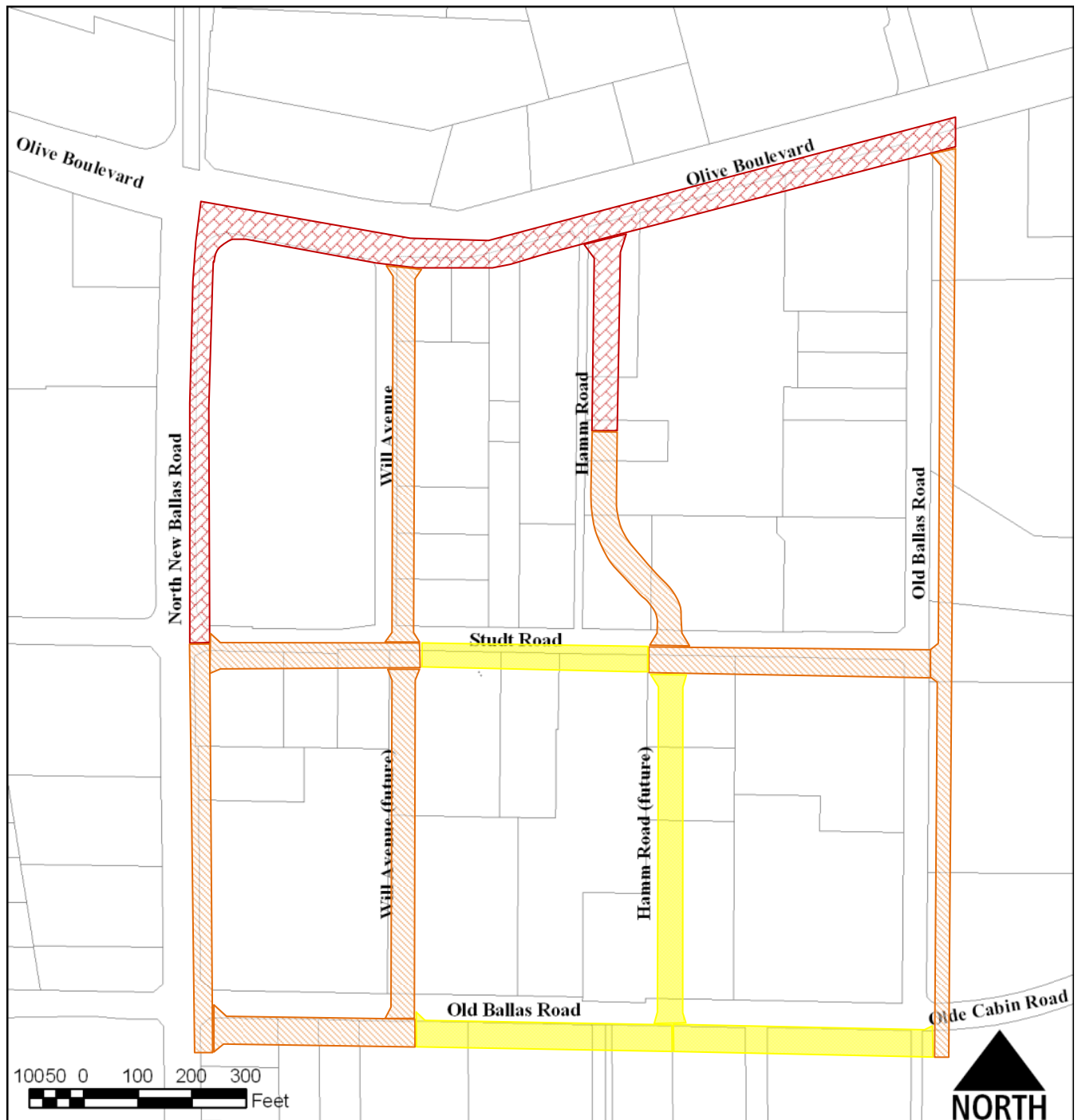
The Form-Based Code (FBC) is primarily concerned with the relationship between private development and the public right-of-way (ROW). The different colors on this map reference the character of street and building development along and adjacent to the given portion of ROW. The names shown in the legend correspond with particular building envelope and Street Space standards described in Sections 405.400.D and E.

Note that this map is not intended to describe any street ROW standards beyond a representative alignment. Please refer to Section 405.400.E for detailed ROW information.

Key

-  Arterial Frontage
-  General Frontage
-  Transitional Frontage
-  Property Lines (as of 2007)

Section 450-400 C.2.b. Plan for Building Envelope & Street Space Standards "Option B"

Using this plan

The Form-Based Code (FBC) is primarily concerned with the relationship between private development and the public right-of-way (ROW). The different colors on this map reference the character of street and building development along and adjacent to the given portion of ROW. The names shown in the legend correspond with particular building envelope and Street Space standards described in Sections 405.400.D and E.

Note that this map is not intended to describe any street ROW standards beyond a representative alignment. Please refer to Section 405.400.E for detailed ROW information.

Key

- Arterial Frontage
- General Frontage
- Transitional Frontage
- Property Lines (as of 2012)

3. Urban Design Features

a. *Public Art and Open Space and Gateway Incentive (See Section 450-400 C.3.c Plan for Urban Design Features for available locations)*

The City Council, on the recommendation of the Planning and Zoning Commission, may approve additional floors necessary to achieve the maximum FAR or RESIDENTIAL YIELD plus an additional five (5) square feet of gross floor area in exchange for every one (1) square-foot of privately installed and maintained PUBLIC ART, small open space (POCKET PARK) and GATEWAY FEATURE, up to a maximum net gain of three thousand (3,000) square feet of GROSS LEASABLE FLOOR AREA. In approving such projects, the Planning Commission and City Council will expect:

- The positive recommendation of the Creve Coeur Arts Commission.
- Implementation of the Downtown Design Guidelines to the fullest extent practicable;
- Year-round aesthetic and functionality;
- Integration with adjacent buildings and streets.
- In the case of gateway features, coordination with other gateway features in the district.

b. *Public Structured Parking Incentive (throughout the FBC District)*

The City Council, on the recommendation of the Planning and Zoning Commission, may approve additional floors necessary to achieve the maximum FAR or RESIDENTIAL YIELD plus an additional two (2) square feet of GROSS LEASABLE FLOOR AREA for every one (1) square foot of free, public parking area, excluding drive aisles, if a project includes structured parking wherein no less than twenty percent (20%) of all spaces are for free and unrestricted use by the public. In approving such projects, the Planning Commission and City Council will expect:

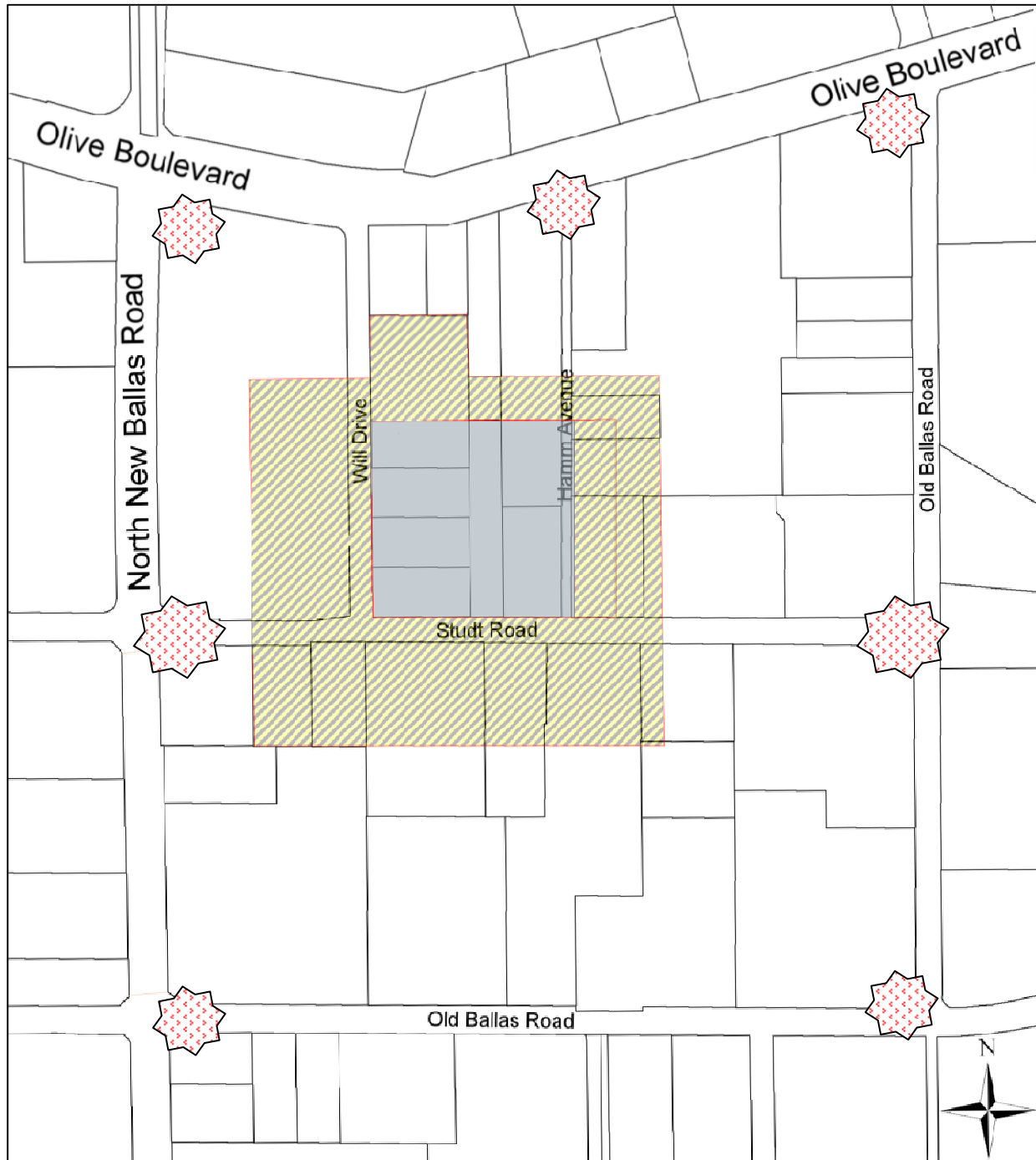
- Implementation of the Downtown Design Guidelines to the fullest extent practicable;
- Year-round aesthetic and functionality;
- Inclusion of commercial or residential units in front of the structure.
- Incorporation of street furniture and visual interest at the ground floor; and
- Integration with adjacent buildings and streets.

c. *Public Plaza Incentive (See Section 450-400 C.4. Regulating Plan for Urban Design Features for available locations)*

The City Council, on the recommendation of the Planning and Zoning Commission, may approve additional floors necessary to achieve the maximum FAR or RESIDENTIAL YIELD if a project includes a PUBLIC PLAZA covering at least ten thousand square feet (10,000 s.f.) of site area and is fully accessible to the public via Studt Road and Ham and/or Will Avenues. If the developer, and their successors, accept a maintenance agreement for the plaza, the City Council may authorize additional floors as needed to include an additional four (4) square feet of GROSS LEASABLE FLOOR AREA in exchange for every (1) square foot of privately maintained plaza area. In approving such projects, the Planning Commission and City Council will expect:

- Implementation of the Downtown Design Guidelines to the fullest extent practicable;
- Year-round aesthetic and functionality;
- Multi-functionality; and
- Integration with adjacent buildings and streets.

Section 450-400 C.3.d Plan for Urban Design Features



Using this plan

Each of the symbols represents a desired urban design element as shown in the plan key. If a developer is able to provide one or more of the desired elements in the vicinity of the mapped symbols, they may be eligible for certain development bonuses (See Section 405.400.C.3). In all cases, bonuses will only be awarded upon acceptance of the proposed urban design element(s) in concert with an approved site development plan (See Section 405.400.C.4).

Key

-  District Gateway
-  Art and Open Space Incentive Area
-  Public Plaza Incentive Area

4. Rules for New Development

a. *Site Concept And Site Development Plan Required.*

SITE CONCEPT and SITE DEVELOPMENT PLAN approval by the Planning and Zoning Commission and City Council are required for all proposed developments within the FBC District as provided for in Section 405.1080.

b. *Lots/Blocks/Alleys/Curb Cuts*

- (1) All lots shall share a frontage line with a STREET-SPACE.
- (2) All lots and/or all contiguous lots shall be considered to be part of a BLOCK for this purpose. No BLOCK face shall have a length greater than 400 feet without an ALLEY, common drive or access easement, or PEDESTRIAN PATHWAY providing public through-access to another street, ALLEY or common access easement, or STREET-SPACE. Individual lots with less than 75 feet of FRONTAGE are exempt from the requirement to interrupt the BLOCK face; those with over 250 feet of frontage shall meet the requirement within their lot, unless already satisfied within that BLOCK face.
- (3) ALLEYS shall provide access to the rear of all lots. ALLEY construction is required as part of the development project within the REAR SETBACK, unless an ALLEY already exists. ALLEYS shall be constructed to meet the City construction standards in order to be suitable for emergency and service vehicle access.
- (4) Where an ALLEY does not exist and is not to be constructed at the time of development of any property, the developer is required to dedicate the ALLEY right-of-way within the REAR SETBACK, file a site improvement permit, including all escrows, to build the ALLEY, and maintain the area within the REAR SETBACK prior to ALLEY construction by:
 - (a) Sodding and providing routine landscape maintenance to the area; and
 - (b) Keeping the area clear of debris, stored materials, and vehicles.
- (5) In the event that completion of an ALLEY is necessary to provide access from adjacent properties to a street, the City may demand said completion within 180 days of approval for such demand by the Planning Commission which shall not occur without prior written notice to the affected property owner(s).
- (6) Curb cuts shall be limited to no more than one (1) per two hundred (200) feet of STREET FRONTAGE ON ARTERIAL and GENERAL FRONTAGE sites unless otherwise allowed by site development plan approval per Section 405.1080, and approval by the Missouri Department of Transportation where applicable.

c. *Buildings*

- (1) The maximum building FOOTPRINT is sixty thousand (60,000) square feet.
- (2) For each BLOCK face, building(s) along the STANDARD BUILDING LINE (SBL) shall present a complete and discrete vertical FAÇADE composition (i.e., a new FAÇADE design) at an average STREET FRONTAGE length of no greater than seventy-five (75) feet for ARTERIAL SITES; or sixty (60) feet for GENERAL and TRANSITIONAL SITES. Each FAÇADE composition shall include a functioning, primary STREET-SPACE entry. This requirement may be satisfied through the use of liner shops conceived to specifically mask large floor-plate building facades. Individual infill projects on lots with frontage of less than one hundred (100) feet are exempt from this requirement.

- (3) Where the BUILDING ENVELOPE STANDARD (BES) designations change along a STREET FRONTAGE, the property owner/developer has the option of applying either BES for a maximum additional distance of seventy-five (75) feet in either direction along that frontage.
- d. *Streetscape*
- (1) STREET TREES shall be planted at the time of development at an average spacing of no greater than thirty (30) feet on center (measured per BLOCK face). Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants and other infrastructure elements. At no time may spacing exceed forty-five (45) feet on center.
 - (2) STREET LIGHTS shall be installed on both sides of streets along the STREET TREE ALIGNMENT LINE and unless otherwise designated on the REGULATING PLAN, at intervals of not more than seventy-five (75) feet for GENERAL and TRANSITIONAL SITES, measured parallel to the STREET. STREET LIGHTS shall be between nine (9) and sixteen (16) feet above ground in height. At the time of development, the developer is only responsible for the installation of STREET LIGHTS on the side(s) of the STREET-SPACE being developed.
 - (3) All sidewalks approved within a phased development shall be installed in the first phase of construction.
- e. *Parking*
- (1) Parking goals:
 - (a) Enable people to park once at a convenient location and to access a variety of commercial and civic enterprises in pedestrian friendly environments by encouraging shared parking.
 - (b) Reduce diffused, inefficient, single-purpose and reserved parking.
 - (c) Avoid adverse parking impacts on neighborhoods adjacent to the FBC District.
 - (d) Maximize on-street parking.
 - (e) Ensure visibility and accessibility of parking.
 - (f) Provide flexibility for redevelopment of small sites.
 - (g) Promote innovative projects using flexible and creative incentives especially with regard to stormwater management.
 - (2) Parking Standards:
 - (a) Sites under twenty-thousand (20,000) square feet in land area have no minimum parking requirements.
 - (b) Sites over twenty-thousand (20,000) square feet in land area have the following requirements:
 - (i) A minimum of one and one-eighth (1-1/8) parking space per residential unit, of which a minimum of one-eighth (1/8) parking space per residential unit shall be provided as shared parking (i.e. not reserved for the resident(s)). There are no maximum limits on shared parking.
 - (ii) A minimum of one space per one thousand (1,000) square feet of non-residential GROSS FLOOR LEASABLE AREA (GLFA) shall be provided as shared parking; there are no set maximum limits on shared parking. New on-street parking spaces created in conjunction with the development, which did not previously exist, may be counted toward the minimum requirement for shared parking. Any limitations on the shared parking (time limits or hours of the day) shall be subject to approval by the Zoning Administrator which shall be given upon a finding that at least twelve (12) hours of public parking are

provided in any twenty-four (24)-hour period and that at least eight (8) of those hours are provided during either business or nighttime hours depending whether the Zoning Administrator determines that the primary public use will be for commercial or residential uses.

- (iii) A maximum of one (1) space per one thousand (1,000) square feet of nonresidential GLFA or two (2) spaces per residential unit may be made available for reserved parking.
- (3) Shared parking shall be designated by appropriate signage.
- (4) Special Parking Provisions:
 - (a) Parking requirements may be met either on-site or within five hundred (500) feet of the nearest property line as approved in conformance with Section 405.800.E.
 - (b) Construction of shared parking structures shall be an eligible cost under any financial assistance program duly requested and approved.
- f. *Non-Conformities* – It is the intent of the FBC to encourage the discontinuance of nonconforming uses and structures, subject to Section 405.610, *Nonconformities*, of the Zoning Code. However, nothing herein shall be construed as prohibiting any lawful change in tenancy, ownership, or management of a nonconforming lot, use, or structure.

5. Modifications to the Regulating Plan. Changes to the text or graphics in the Regulating Plan are changes to the zoning district and are subject to the following:

- a. Conformance with the provisions of Section 405.1060, Zoning Changes and Text Amendments covering text amendments.
- b. In addition to the provisions of Section 405.1060, applications to modify the Regulating Plan must demonstrate that:
 - (1) The proposed amendment will further the purpose and intent of the FBC;
 - (2) The proposed amendment will not compromise the integrity of the Regulating Plan;
 - (3) The proposed amendment addresses specific practical difficulties resulting from strict application of the FBC on more than one property; and,
 - (4) The proposed amendment is the least change necessary to address the practical difficulties.

6. Variances. Applicants are encouraged to work within the design approval discretion available through the site development plan process. However, in the event that specific provisions of the FBC create practical difficulties or unnecessary hardships for a specific property or development, a variance may be requested according to the provisions of Section 405.1110, Variances and Appeals.



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MEMORANDUM TO THE PLANNING & ZONING COMMISSION

Meeting Date: May 20, 2013

Subject: Form-Based Code (FBC) Review

Memo Prepared by: Paul Langdon, AICP, Community Development Director

Attachments: Draft Urban Design Regulating Plan
Draft Urban Design Incentives
Staff Memorandum to the City Council and Planning Commission, dated February 11, 2013

On February 11, 2013, staff presented the draft Form-Based Code (FBC) to a joint session of the City Council and Planning Commission. At that time, attention was called to one of the key unfinished sections: the Urban Design Regulating Plan. This plan is intended to provide direction for the location of incentivized improvements that the city holds to be of added importance to the overall character and success of the district. Items included are entry features, small public spaces (“pocket parks”) or art installations, parking garages that allow public use and a large central public plaza or gathering space.

The attached plan outlines these features. The gateway features are, obviously, shown at the primary entrance points. Although they are generalized in location and size to allow for an uncertain future design, they should be coordinated during their design to ensure that a common identity is established for the district. The small spaces and public art can be included anywhere, but the area they would be of greatest value to people using the district would be off of Olive Boulevard and, as such, are shown throughout the interior of the district. Parking garages allowing public use, on the other hand, are encouraged in all locations.

The large-scale public space or plaza is in a central location for several reasons. That is, this location:

- is somewhat protected from the noise and bustle of Olive Boulevard.
- would have a synergistic effect on the most properties within the district.
- allows easy pedestrian access from the most different directions.
- is supported by the 2005 Downtown Plan.

The Commission should review the plan and advise staff if any locations are unnecessary or missing. Also, if there are different forms of amenities that is not accounted for, they should be identified.

As identified above, these would be incentivized amenities. Per prior discussions, the City does not own property in this area and, as a result, has little ability to obligate the creation of the amenities noted above. Further, it would be difficult for the City to purchase the land and install these amenities without some degree of partnership with a private land owner/developer. There are two principle ways for a city to work with these circumstances: 1. Offer a significant development financing incentive, such as a tax increment financing district; or, 2. Offer a development bonus in exchange for inclusion of a public amenity in the overall project. Basically, the former reduces the cost of building the project, while the latter increases the revenue potential from the project.

Although financing options might be necessary in the future, staff believe the first effort should be toward establishing incentives to include the amenities with future projects. Attached is draft language that could be

included within the Building Envelope Standards or as a stand-alone section. One factor to consider is that this FBC will only succeed with a degree of “marketing” to the development community and it is always helpful, in such efforts, to be able to identify any incentives quickly and easily. This would suggest a separate section that appears as soon as the reader scans the Table of Contents.

In reviewing these incentives, the Commission should be mindful of the following:

- Incentives may never be used, without meaningful benefits to the applicant.
- If the incentives are too easily realized, the community may be granting excessive development intensity with too little benefit for the community.

The bottom line is that incentive zoning requires a delicate balance of community versus development interests.

The Commission is asked to provide comments on all of these matters for inclusion in the final draft document. Staff will present a revised set of building envelope standards, at a subsequent meeting, that support the central focus created by these incentives.

Meeting Date	Project Accomplishment
January 21	Complete “Urban Design Incentives”
February 3	Draft “Definitions” section
February 18	Complete “Definitions”; provide complete draft
March 3	Call for final changes
March 17	Review changes (if necessary)
April 7	Conduct Public Hearing
April 21	Recommendation to City Council
May 5	First reading at City Council
May 19	Possible approval