



AGENDA
CITY OF CREVE COEUR
PLANNING AND ZONING
300 NORTH NEW BALLAS RD
JUNE 17, 2024
6:00 PM

CALL TO ORDER

ROLL CALL

Ms. Julie LaBonte (Chair)
Ms. Muriel Hall
Mr. Larry Potashnick
Ms. Marjorie Richter
Mr. AJ Wang
Ms. Rhonda O'Brien
Mr. Thomas Buelter

Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Bethany L. Moore, City Planner
Ms. Christine Schuermann, Administrative Services Associate/Recording Secretary

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

- 1. June 3, 2024 Planning and Zoning Commission Draft Meeting Minutes**

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS

NEW BUSINESS

- 1. Application #24-002: Preliminary Plat for the Subdivision of a 3.6 Acre Lot at 350 South Mason Road into Three Lots within the A Single-Family Residential Zoning District**

Request to Continue to the July 1, 2024 Planning and Zoning Commission Meeting Agenda



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2. Venable Park Master Plan

Jason Valvero, Director of Recreation, will present the Venable Park Master Plan to the Commission for review and comments prior to the City Council adoption of the Plan. No vote is requested.

3. Public Hearing. Application #24-017: A Conditional Use Permit for a Theater Company, Winter Opera St. Louis, Located at 1283 Research Boulevard

Gina Galati, of Winter Opera St. Louis, has submitted an application for a Conditional Use Permit for 1283 Research Boulevard in the "LI" Light Industrial Zoning District. The 13,134 square foot space within the existing building will be used for offices, alterations, costume, props and set storage, practice rooms and performance rehearsals. The hours will be from 10:00 AM to 4:00 PM Tuesday through Friday with 3 employees at the busiest shift. NAICS 711110 Theater Companies and Dinner Theaters is a Conditional Use in the "LI" Light Industrial District with review and approval by the City Council upon recommendation by the Planning and Zoning Commission.

4. Public Hearing. #24-018: An Amendment to an Existing Conditional Use Permit for a New Car Dealer Use for Plaza BMW Located at 777 Decker Lane

Jim Whisler, of Grimes Consulting on behalf of Asbury Automotive St. Louis, has submitted an application for an amendment to the existing Conditional Use Permit for Plaza Motors to allow for the exterior renovation of the existing Plaza Lexus dealership building in order to accommodate the new tenant, Plaza BMW. Located at 777 Decker Lane in the "CB" Core Business Zoning District. NAICS 441110 New Car Dealers are permitted as conditional uses with review and approval by the City Council upon recommendation by the Planning and Zoning Commission.

WORK AGENDA

PENDING APPLICATIONS

1.

- B'nai Amoona 3 Lot Subdivision Located at 350 South Mason Road.
- Text Amendment to Section 405.470.A.22, *Conditional Uses, Various Membership Organizations*.



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DEPARTMENT REPORTS

ADJOURNMENT

Pursuant to Section 610.022 RSMo., the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. And/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Posted by: _____

Date/Time posted: _____

If you need special accommodations to attend a meeting, services may be arranged by contacting the Office of the City Administrator in advance.



**DRAFT MINUTES
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CALL TO ORDER

The meeting was called to order at 6:00pm

ROLL CALL

**Ms. Julie LaBonte (Chair)
Ms. Muriel Hall (Absent)
Mr. Larry Potashnick
Ms. Marjorie Richter
Mr. AJ Wang
(Absent)
Ms. Rhonda O'Brien
Mr. Thomas Buelter**

**Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Bethany L. Moore, City Planner
Ms. Christine Schuermann, Administrative Services Associate/Recording
Secretary**

ACCEPTANCE OF THE AGENDA

Mr. Potashnick made a motion to accept the agenda. Ms. Richter seconded. All in favor

APPROVAL OF MINUTES

Ms. Richter made a motion to approve the minutes. Mr. Potashnick seconded.
All in favor

1. May 20, 2024 Planning and Zoning Commission Draft Meeting Minutes

PUBLIC COMMENT

None

UNFINISHED BUSINESS

None

NEW BUSINESS



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**1. Public Hearing. Application #24-015: An Amendment to the Existing
Conditional Use Permit for Vero Pasto Fulfillment Center at 10650
Gateway Boulevard**

Those who will be speaking were sworn in.

Mr. Cary Exler, head of wholesale of Katie's Pizza & Pasta/Vero Pasta, 10650 Gateway Blvd gave a presentation on the amendment to the existing Conditional Use Permit to install an exterior freezer at the current space at 10650 Gateway Blvd.

Mr. Exler gave an overview of the business and stated the company is completely out of space. Mr. Exler stated the business has seen massive sales growth over the last 6 months and steady growth over the last few years. Mr. Exler is happy to be in the Creve Coeur community and would like to stay here.

Mr. Exler stated the most immediate need is frozen storage space and that they have come to the conclusion that installing an outside storage space is the most feasible opportunity for the business. Mr. Exler stated this option is the most cost-effective opportunity and it is a removeable opportunity so when they leave, they are able to take the unit with them and won't be a problem for the building.

Mr. Exler gave details on the unit they are looking at and the other options they have explored. Mr. Exler also is looking to lease additional space in the current building as well but none of the spaces are able to hold a freezer similar to what they have the opportunity to install.

Mr. Exler stated this is the lowest impact and the most cost-effective use of their dollars so they can extend their business with Creve Coeur. The space in the building is entirely out of storage space and they looked into installing a custom walk-in unit within the building, but the cost was extremely expensive. Another issue with installing a unit in the building is the unit wouldn't be able to move and would drastically change the space.

Mr. Exler believes the outside storage unit is the best possible solution for the business. Mr. Exler stated they have looked at a number of specific locations and decided on one specific location on the south side of the building. This location is the best because of tenant uses, gas & electric meters and entry doors elsewhere.



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Mr. Exler believes this is the only opportunity for the business to stay in this building.

Ms. O'Brien asked regarding the fence and the city had a comment that the fence is not necessary because the unit is fully enclosed.

Mr. Exler stated they have worked with various fencing companies and the companies felt based on their experience that an 8 1/2-foot chain link with privacy screening was the best alternative. This type of fence would be able to withstand weather conditions and give the most privacy. Later Mr. Exler learned a fence was not required by the city. Mr. Exler explained the reason for this is the unit is a closed container rather than a walk-in freezer.

Ms. O'Brien asked if they had a generator if the power goes out.

Mr. Exler stated they have a generator company on standby and when they get wired into the building will have on the exterior weather safe panel connection for the generator.

Ms. Bethany Moore, City Planner presented the application for amendment of the existing Conditional Use Permit for Vero Pasto. This is the fulfillment center located at 10650 Gateway Blvd which is connected to Katie's Pizza and Pasta.

Ms. Moore showed where the fulfillment center would be, and this would be on a temporary basis. When Ms. Moore and the applicant met, he said he is looking to expand and is currently looking for a building but don't have anything in mind. This is a temporary solution, so it won't be a permanent fixture. That is addressed in the conditions for how long the unit would be allowed on the property. If they wanted to continue to use the unit, they would need to come back to get additional approval from the commission.

Ms. Moore presented the site plan showing where the storage unit would be located. The storage unit will take up 2 parking spaces so those were removed from the official count. The business is still meeting the requirements for parking for this building. They considered other locations but there isn't any other way to have this storage unit on site and not interrupt other users in the building. Ms. Moore showed a picture and a drawing of the unit the applicant provided. The unit is 8 1/2 feet tall, 8 feet wide and 20 feet long and this unit is one of the shorter options available.



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Ms. Moore presented the screening process requirements for the fence for exterior storage. Ms. Moore explained why the fence was not needed and why staff felt the unit was already enclosed so the fence was redundant because it is already contained in that unit. Staff also felt the space was limited and the fence would take up too much room. The commission can discuss this if they feel the fence would be needed.

Ms. Moore gave an overview of the conditions of approval.

Mr. Buelter asked if there would be noise implications for the freezer running for the surrounding area

Mr. Exler stated this is a very quiet storage unit and that is one of the reasons why he chose this type of unit. This unit is quieter than the refrigerator truck they have, and they have talked to the neighbors, and they don't feel the noise will be a problem.

Ms. LaBonte asked what is the security for the outside unit?

Mr. Exler stated they will have the ability to lock the unit and will have a commercial grade heavy lock on the outside of the unit. They have camera security in the parking lot and that will be expended to cover both sides to ensure enough safety coverage. There is already high security in the area, but they will be expanding the security for the unit.

Ms. LaBonte stated public comment will be opened

Mr. Qianhong Fan was sworn in before his statement

Mr. Qianhong Fan of 132 N Mosley Creve Coeur, MO 63141 spoke regarding his business Applied Diamond Tools at 10666 Gateway Blvd.

Mr. Fan stated his business is next to Katie's Pizza and his concern with the request is the parking lot. Mr. Fan's business, which is at 10664 Gateway Blvd. and between him and Mr. Exler's building there isn't much space. On Mr. Exler's side of the building they have parking lots striped off but on Mr. Fan's side of the building they don't have parking lots striped off. Some of the surrounding businesses often drive on Mr. Fan's side of the street.



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Mr. Exler stated the space of the storage unit is approximately half the depth of a parking space. Mr. Exler let his staff know they would have to park on the other side of the building. His staff has a number of spaces available to them on the north side of the building and those are the spaces we expect for the daily team members to park to compensate for the parking spaces they are losing for the unit.

Mr. Exler stated he would talk to the vendors regarding where they park when making deliveries. The unit wouldn't change anything about what is happening currently and wouldn't change the number of trucks coming down the street. Mr. Exler stated if this is an issue on where the deliveries are happening and don't have a loading dock in the area.

Unfortunately, we don't have a loading dock and are looking at the space next to the current space and that would allow a loading dock to be built to help with that situation.

Mr. Exler stated he would be happy to talk to vendors about where they are parking and keeping the thoroughfare open. This project won't affect keeping the thoroughfare open because the unit is where the employees were parking before. This won't change how trucks come in and out of the property.

Ms. LaBonte stated it would be beneficial to have signage along the unit stating no parking and having striped in a certain way

Mr. Fan stated he was worried employees from Katie's Pizza would park in spaces that are for his business. His business only has 6 parking spaces available.

Mr. Exler stated he has already talked to employees and that is unacceptable to park against that building. Mr. Exler feels there are enough spaces on the front of the building, south side of the space, and north side of the space. Mr. Exler stated he shouldn't have any employees parking along Mr. Fan's building ever. That is a current expectation.

Ms. O'Brien stated a condition should be added regarding parking along the unit being installed and having striped those parking spaces.

Mr. Lumley offered the exhibits to the record.



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Mr. Potashnick made a motion to recommend approval of the conditional use permit amendment for Vero Pasto fulfillment center at 10650 Gateway Blvd subject to conditions contained in the draft ordinance attached to the staff report for application #24-015 at the meeting June 3, 2024. But to also include one additional condition for staff to work out appropriate signage for parking. Ms. O'Brien seconded.

RESULT: passed

MOVER: Potashnick

SECONDER: O'Brien

AYES: Julie LaBonte, Thomas Buelter, Rhonda O'Brien, Larry Potashnick, Marjorie Richter

NAYS: None

2. Application #24-002: Preliminary Plat for the Subdivision of a 3.6 Acre Lot at 350 South Mason Road into Three Lots within the A Single-Family Residential Zoning District

Ms. LaBonte stated the application #24-002 requested to be continued to the June 17th meeting. Ms. Julie requested a motion.

Ms. O'Brien made a motion to continue to the June 17th meeting. Mr. Potashnick seconded. All in favor.

WORK AGENDA

None

PENDING APPLICATIONS

1.

- 1283 Research Boulevard, Winter Opera St. Louis Conditional Use Permit
- 777 Decker Lane, Plaza Lexus Conditional Use Permit Amendment for Exterior Changes to be converted to Plaza BMW
- Venable Park Master Plan

Ms. Moore gave an overview of the pending applications. One of the pending



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applications is a conditional use permit application for Winter Opera STL located at 1283 Research Blvd. Currently they are operating in Kirkwood and would like to move to a bigger building in Creve Coeur. They will be hosting some of their practices but in smaller groups and no performances will be held there. The location in Creve Coeur will be where their costumes and instruments are stored.

Another pending application is located at 777 Decker Lane which is Plaza Lexus. This is a conditional use permit application for exterior changes to switch over to Plaza BMW.

Venable Park Master Plan will be presented by Mr. Jason Valvero. The last pending application is for the subdivision that was continued.

Ms. LaBonte asked if all 4 applications could be potentially on June 17th meeting and Ms. Moore said it was a possibility.

DEPARTMENT REPORTS

Mr. Jaggi introduced Ms. Claralyn Bollinger and she has started her second week with the city. She is the new Administrative Services Supervisor and replaced Megan Waller. Ms. Bollinger worked previously at the City of St. Louis at the airport where she was customer service supervisor for the security operations. The commission welcomed her to the city.

Mr. Jaggi reminded the commission about the joint meeting for City Council on August 26th. The meeting starts at 6:00pm and dinner will be provided beforehand. Mr. Jaggi gave an overview of what will be discussed at the joint meeting including the discussion on the comprehensive plan.

Mr. Buelter asked if the annexation would be addressed at the joint session.

Mr. Jaggi stated he would give the commission updates on the annexation as it moves forward.

Mr. Jaggi didn't have any updates regarding Olia Village. The city is still waiting on the redevelopment agreement to be signed.



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Mr. Jaggi gave an overview of Santino Court and that was scheduled to be voted on at the next city council meeting.

Mr. Jaggi gave an overview on the status of the boundary adjustment with Town and Country. Mr. Jaggi stated the developer and the residents are working together to address the concerns of the residents. The vote is scheduled for the next City Council meeting, but Council was clear no matter how long it takes they would like to see some resolutions for the builder and the residents.

Mr. Jaggi stated the five-year map plan was approved by the City Council with the agreement with the Planning and Zoning Commission to concentrate Northeastern area. Mr. Jaggi filed with the Boundary Commission last week and it has been received. Ms. Schuermann helped with the printing off some maps for that because of the requirement needed by the Boundary Commission to have 15 printed copies for the file.

ADJOURNMENT

Meeting was adjourned at 6:31pm

Submitted by:

Recording Secretary

Chair

CITY OF CREVE COEUR



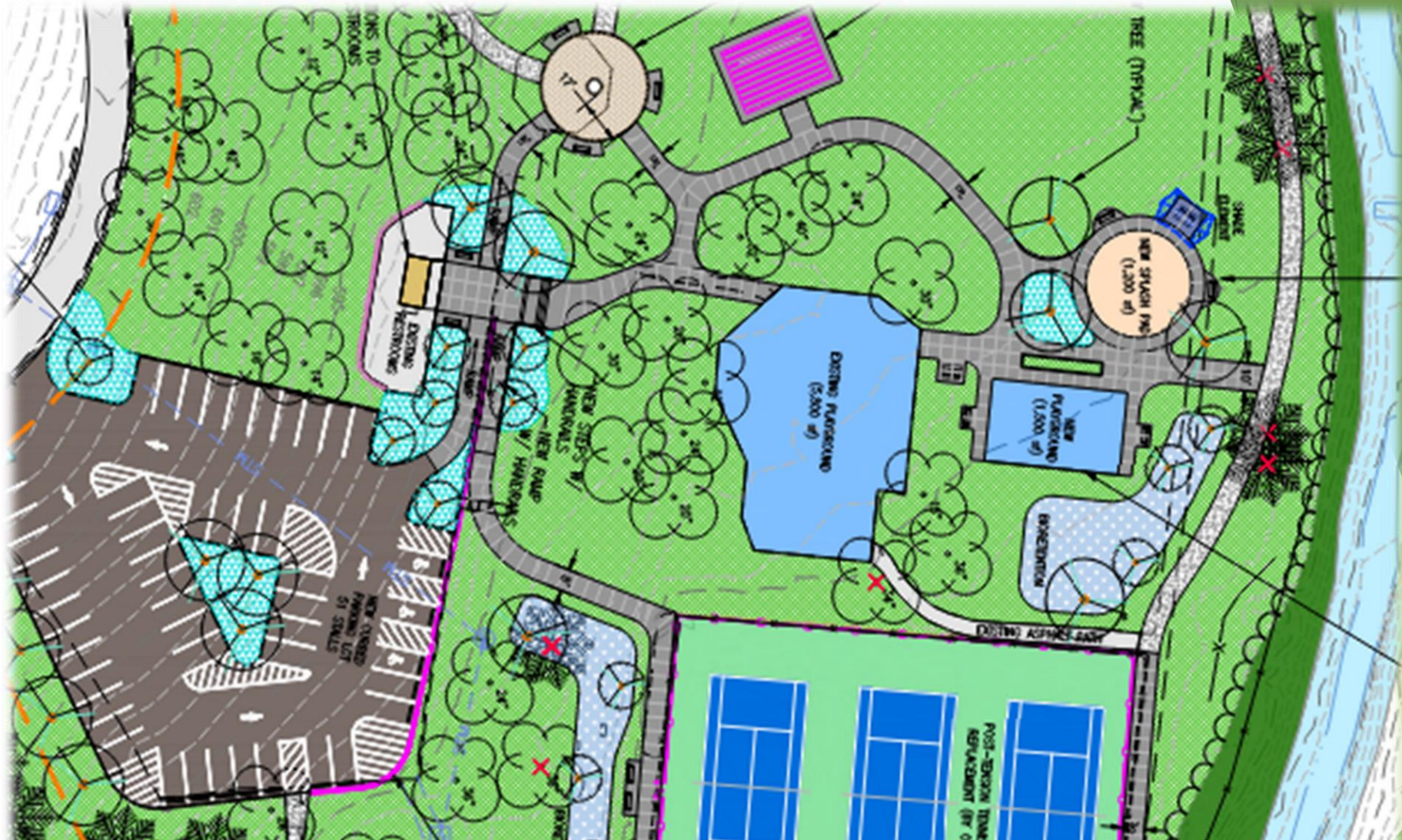
MEMORANDUM

Date: June 7, 2024
To: Jason Jaggi, Community Development Director
From: Jason Valvero, Director of Recreation
CC:
Subject: Venable Park Master Plan

The city completed an overall master plan in 2019 with Planning Design Studio (PDS). As a result of that plan, the city's flagship park, Millennium Park, was selected to complete an individual park master plan with the goal in mind to drill down on the details that were presented in 2019. Now that the park project is completed, the city is looking to renovate Venable Park next. TWM was the firm selected to complete the plan to keep the momentum moving forward after the passage of the Parks and Stormwater ½ Cent Sales tax.

The project moved along at a good pace, meeting the scope of work goals along the way. There have been public meetings, stakeholder meeting, staff meetings, City Council meetings and citizen input throughout the process. Staff and TWM are now ready to present the final draft to Council for adoption, but we are asking the Planning and Zoning Commission to review the plan and provide comments.

All comments regarding the plan will be presented to the City Council for adoption at the June 24, 2024 meeting.



Venable Park

Final Concept Review – June 17, 2024 Planning & Zoning Meeting

Master Plan Elements

- Improved Entrance and Signage
- Expanded Parking Lot (8 space increase, with 3 accessible)
- Accessibility of site, trails and parking lot.
- Replacement of 3-5 Year Old Playground
- Year Round Restrooms
- Replacement of Pavilion
- New Plaza (40' diameter) with Memorial Art
- Replacement of Walking Trail
- Addition of Splash Pad (possible bid alternate)
- Replacement of Bridge (possible bid alternate)
- Replacement of Tennis Courts (this summer)

[illegible]

CONSULTING ENGINEERING
GEOSPATIAL SERVICES

ILLINOIS	SWANSEA
	WATERLOO
	EDWARDSVILLE
	PEORIA

MISSOURI	ST. CHARLES
	ST. LOUIS

TENNESSEE | NASHVILLE
CHATTANOOGA

THOUVENOT, WADE
& MOERCHEN, INC.

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ST. LOUIS, MISSOURI
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WWW.TIVA-INC.COM



IT'S LANDSCAPE ARCHITECTURE
HOW TERRACE GROUVE RISE
BY: LORAIN AND KOTTE
(714) 824-4000



THE CITY OF CHEVY CHASE
222 N. WASH. MILL RD.
CHEVY CHASE, MD 20815
(301) 432-8000

DATE: 4/26/2004

PROJECT

VENABLE MEMORIAL PARK -
SITE DESIGN IMPROVEMENTS

10600 COUNTRY VIEW DR.
CRDGE COEUR, MD 63141

TITLE:	
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CONCEPTUAL LAYOUT

SHEET 1 of 2

ALTERNATE BID ITEM

1. FIBERFORM BRIDGE

PARKING DATA

EXISTING FARMING DATA

- 46 TOTAL STALLS
- 0 NEW STALLS

PROPOSED PARKING DATA

- 60 TOTAL STALLS
- 3 ADA STALLS

LEGEND

 PROPOSED LANDSCAPED AREAS

PROPOSED BIORETENTION BASIN



EDUCATED A SENSE THAT WAY

PROPOSED ASPHALT PARKING LOT

 EXISTING ASPHALT PAVEMENT TO REMAIN

 GRASSED AREAS

EXISTING TREE LINE



EXISTING CREEK

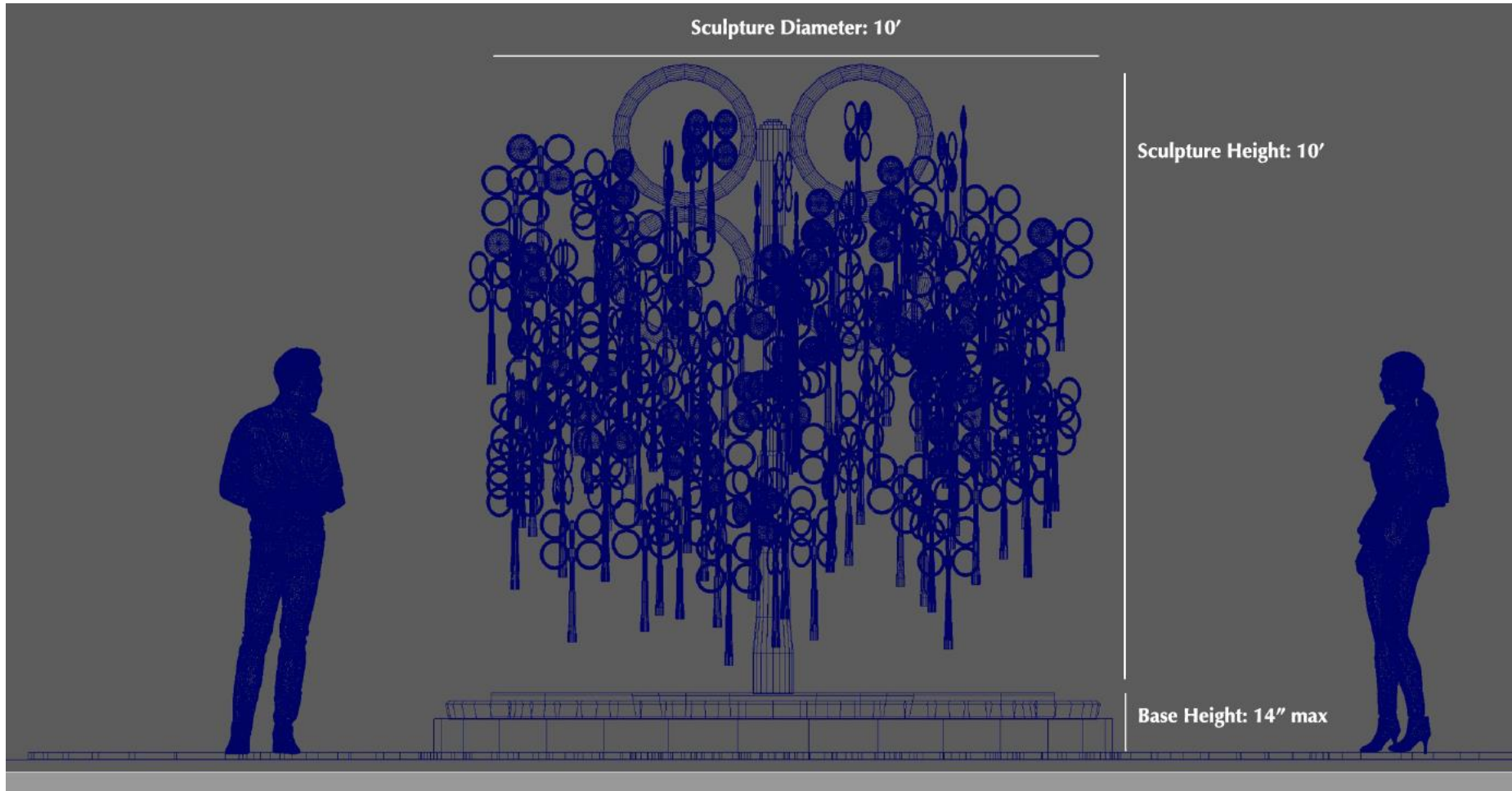
Memorial Art



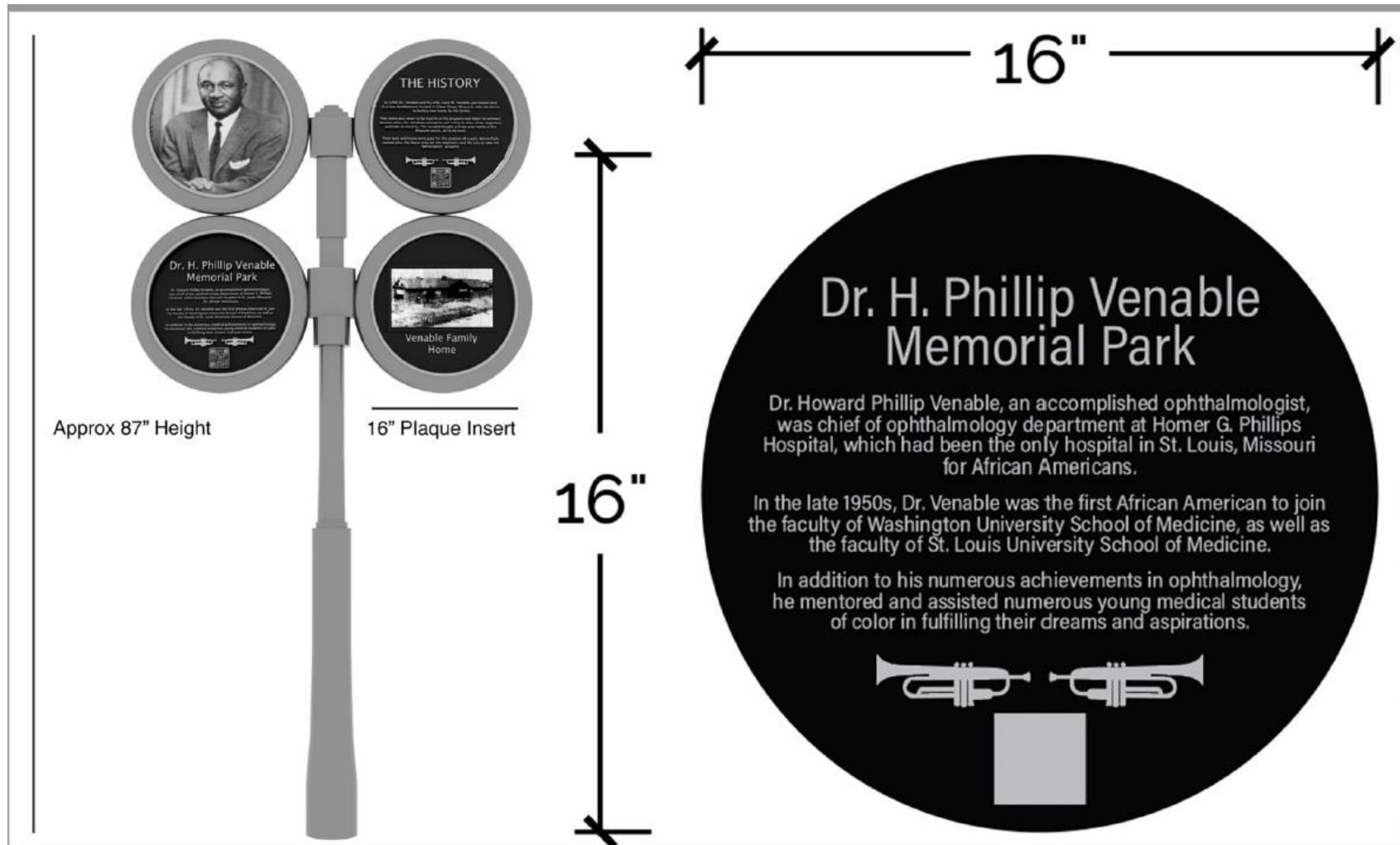
Memorial Art



Memorial Art (approximately 10' diameter)



One Interpretative Sign



Engineer Opinion of Probable Cost

	May 2024	10% Contingency
Earthwork & Removals	\$209,500	
Erosion Control	\$9,800	
Hardscapes	\$557,620	
Utilities	\$153,000	
Miscellaneous Items	\$140,326	
New Pavilion	\$135,000	
Landscaping Items	\$163,316	
Bathroom Renovations	\$125,000	
Playground (3-5 yr)	\$183,900	
Memorial hardscapes	\$100,000	
Memorial - Artwork	\$300,000	
Total Base -w/out Alternates	\$2,077,462	\$208,000
Alt. #1 - Pedestrian Bridge	\$250,000	\$25,000
Total with Alternates	\$2,327,462	\$2,560,462

CIP - FY2025 to FY2029

9506 PARKS AND RECREATIONAL FACILITIES	FY2025 PROJECTED	FY2026 PROJECTED	FY2027 PROJECTED	FY2028 PROJECTED	FY2029 PROJECTED
Millennium Phase 2 - Trails & Ridgemoor Forest Connection	-	-	-	110,000	850,000
Venable Park Phase 1 - Bridge, Playground & Splash pad	2,200,000	-	-	-	-
Playground Safety Surface - Conway 2026 & MTP 2029	-	125,000	-	-	200,000
Millennium Phase 3 - Park Entrance & Parking Lot Imp.			-	70,000	400,000
Lake School Park Renovations (Tennis & pickleball courts)	11,000	75,000	675,000	2,600,000	
Venable Park Memorial (HDR Foundation Grant)	225,000				-
Malcolm Terrace Park Pavilion Replacement					75,000
Millennium Park - Parking Lot Solar Lighting	25,000				
Subtotal	2,461,000	200,000	675,000	2,780,000	1,525,000
Ending Fund Balance (Cash Basis) - Parks and Stormwater Fund	646,881	1,590,998	2,720,066	1,429,239	1,748,575

Memorial (City Contribution)	\$150,000
Memorial (HDR Foundation Grant)	\$100,000
Memorial (Private Donations)	\$50,000
Master Plan (HDR Foundation Grant)	\$300,000

Possible Schedule

- October / November 2024 Public Bid
- December 2024 Award of Construction Contract
- January 2025 Construction Commence (weather permitting)
- October 2025 - Ribbon Cutting Ceremony

Discussion / Next Steps



APPLICATION TO PLANNING AND ZONING COMMISSION

#24-017: A CONDITIONAL USE PERMIT FOR A THEATER COMPANY, WINTER OPERA ST. LOUIS, LOCATED AT 1283 RESEARCH BOULEVARD

FOR THE MEETING OF: Monday, June 17, 2024

LOCATION: 1283 Research Boulevard, in the LI (Light Industrial)
Zoning District

REQUEST: Gina Galati, of Winter Opera St. Louis, has submitted an application for a Conditional Use Permit for 1283 Research Boulevard in the "LI" Light Industrial Zoning District. The 13,134 square foot space within the existing building will be used for offices, alterations, costume, props and set storage, practice rooms and performance rehearsals. The hours will be from 10:00 AM to 4:00 PM Tuesday through Friday with 3 employees at the busiest shift. NAICS 711110 Theater Companies and Dinner Theaters is a Conditional Use in the "LI" Light Industrial District with review and approval by the City Council upon recommendation by the Planning and Zoning Commission.

ADDITIONAL INFORMATION: The existing 13,134 square foot warehouse and office building was originally developed in 1963 under St. Louis County jurisdiction. The entire area was annexed into the City of Creve Coeur in 1990 and subsequently zoned LI-Light Industrial District. The property has remained largely unchanged since that time, and has some pre-existing, non-conformities regarding site development. No changes to the exterior of the building or site are proposed. And there will be no outdoor storage of materials.

Key Issues:

- Does the request further the goals and/or implement the Comprehensive Plan?
- Is the request consistent with the requirements for a conditional use permit?

Creve Coeur 2030 Comprehensive Plan References

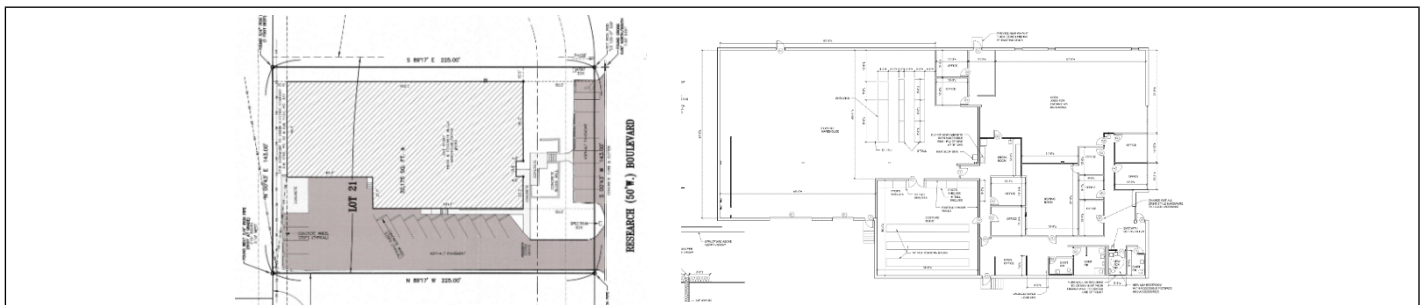
- Mixed-Use Innovation Campus District
- Design Guidelines

Zoning Code References

- Section 405.380: LI-Light Industrial District
- Section 405.470: Conditional Uses

APPLICANT: Gina Galati
Winter Opera St. Louis
2324 Marconi Avenue
St. Louis, MO 63110

OWNER: PM Developments, LLC
5629 E Beverly Boulevard
Los Angeles, CA 90022



REPORT PREPARED BY: Bethany L. Moore, AICP, City Planner

DATE: 6/10/2024

ATTACHMENTS: Applicant's Materials
Draft Ordinance

BACKGROUND AND ZONING HISTORY

Gina Galati, of Winter Opera St. Louis, is seeking approval to occupy the 13,134 square foot space within the existing building to be used for offices, alterations, costume, props and set storage, practice rooms and performance rehearsals. Winter Opera St. Louis is currently operating out of a smaller space in Kirkwood and is looking to expand in order to address their needs. Live performances will continue to take place off site and the space at 1283 Research Boulevard will only be used for rehearsals. There will be no outdoor storage of materials. The number of employees at the busiest shift will include 3 people and there will be a varying number of performers for various rehearsals throughout the weeks leading up to performances. The applicant reports that typically there would be 5-10 people for a rehearsal, with perhaps three occasions per year in the range of 20-30 people. The property was originally developed in 1963 under St. Louis County jurisdiction, and annexed into the City in 1990, and has some pre-existing, non-conformities. The property has remained largely the same since originally developed. NAICS 711110, Theater Companies and Dinner Theaters is a Conditional Use in the “LI” Light Industrial district requiring approval from the City Council with a positive recommendation from the Planning and Zoning Commission.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Industrial	“LI” Light Industrial	N/A
South	Industrial	“LI” Light Industrial	N/A
East	Industrial	“LI” Light Industrial	Research Boulevard
West	Industrial	“LI” Light Industrial	N/A

COMPREHENSIVE PLAN REVIEW

The subject property is located within the Mixed-Use Innovation Campus District and within the Industrial Park area of the 39 N. Master Plan. The vision for the Mixed-Use Innovation Campus District (MUIC) is a sustainable hub for cutting-edge research, job opportunities, and community amenities that encourages innovation, collaboration, and entrepreneurship in a vibrant, mixed-use environment. As the proposal is utilizing a vacant warehouse space and building that is pre-existing non-conforming, the proposed use would satisfy the goals and objectives of the Comprehensive Plan in as much as this request can.

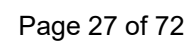
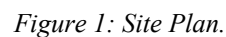


Figure 2: Floor Plan.

ZONING REVIEW

The stated purpose of the LI-District, under Section 405.380(A) is to encourage the development and redevelopment of areas of the City which are designated as industrial by one of the City's land use plans. The "LI" District is further intended to ensure high quality future development through the use of site development plan approval procedures which provide for specific consideration of access, parking, drainage, landscaping, and design factors. As the proposed use is utilizing an existing space within a single-tenant building, will not be making any changes to the exterior of the building or site and will not be putting on performances for the public at this location, staff does not have any concerns with this use. Table A includes Theater Companies and Dinner Theaters (NAICS 711110) as a Conditional Use in the LI District. All activity will occur inside the building, with no outdoor storage of materials on site.

Parking:

As discussed above, the 13,134 square foot warehouse and office building was originally developed in 1963 under St. Louis County jurisdiction. There is no specific parking requirement for Theater Companies and Dinner Theaters uses. Section 405.820 *Required Off-Street Parking Spaces* (A)(7) states: "If a specific land use is not included in the list of uses for which parking space requirements are specifically listed, then the required parking for that use shall be determined by using the required parking for the most similar use that is specifically listed." Given how the space will be used, Staff has determined that the most similar use would be wholesale trade, warehousing and storage (NAICS 42,49) which requires parking be provided based on the following table:

Building Size	Parking Spaces
Less than 5,000 square feet	1 space per 1,000 square feet
5,000 to 15,000 square feet	1 space per 1,500 square feet
15,001 to 40,000 square feet	1 space per 2,000 square feet
Greater than 40,001 square feet	1 space per 2,500 square feet

or one (1) space per employee on the largest shift, whichever is greater.

The size of the building is 13,134 square feet and the number of employees at the largest shift is three. According to the above table, 1 parking space per 1,500 square feet is required meaning that this use would require 9 parking spaces, and 32 are provided on site. Even with the occasional rehearsals there would be sufficient spaces. Staff do not have any concerns about parking on site, given that no live performances will be occurring as part of this request. The parking areas do, however, need to be restriped and a condition has been proposed in that regard,

Landscaping:

Due to the fact that the subject property was developed under St. Louis County standards before it was incorporated into the City of Creve Coeur, there are some non-conformities on the site. One of the non-conformities is that the required street trees are unable to be placed near the street due to the location of the parking spaces at the front of the building. Given the site constraints, staff do not recommend the installation of new street trees as part of this Conditional Use Permit.

RECOMMENDATION

Based on the above analysis, the request for a conditional use permit meets the requirements of the Zoning Ordinances and goals of the Comprehensive Plan. If approved by the Planning and Zoning

Commission, Staff recommends the following conditions below which are included in the draft ordinance:

1. The Conditional Use Permit shall be for the operation of a 13,134 square foot Theater Companies and Dinner Theaters use (NAICS 711110), located at 1283 Research Boulevard, Creve Coeur MO 63141, as bound together and submitted in conjunction with Application #24-017, except as modified below.
2. All landscaping shall be maintained and vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed, as required under Section 405.540 Landscaping.
3. The hours of operation shall be: 10:00 a.m. to 4:00 p.m. Tuesday through Friday.
4. There shall be no live performances conducted at this location unless specifically approved with an amendment to the Conditional Use Permit.
5. Additional business hours may be permitted with the Zoning Administrator's approval.
6. The parking areas shall be restriped to clearly provide for at least 32 spaces, prior to occupancy.
7. All signs and banners shall be in conformance with Article VII, Sign Regulations, of the Zoning Code.
8. Any future enlargement, extension, expansion or exterior alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or exterior alteration may be issued.
9. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
10. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.

MOTION

If the Commission wishes to vote on a recommendation to the City Council based on the current proposal, the following would be an appropriate motion:

“I move to recommend approval of the conditional use permit for Winter Opera St. Louis according to the draft ordinance attached to the staff report on Application #24-017, for the meeting of June 17, 2024.” (Conditions in the draft ordinance may be added, eliminated, or modified by preceding motion)

APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO



APPENDIX 4: SITE PHOTOGRAPHS	Photo Date: 6/11/24
	Description: Existing Landscaping
	Description: Existing Conditions at Street Frontage



Description:
Existing Trash
Enclosure in
good
condition.

BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING A NEW CONDITIONAL USE PERMIT FOR A
THEATER COMPANY, WINTER OPERA ST. LOUIS, AT 1283 RESEARCH
BOULEVARD IN THE LI-LIGHT INDUSTRIAL DISTRICT**

WHEREAS, under Section 405.370(C), Theater Companies and Dinner Theaters (NAICS 711110) in the “LI” Light Industrial District requires the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, Gina Galati, of Winter Opera St. Louis, has submitted an application for a conditional use permit to utilize the building at 1283 Research Boulevard, Creve Coeur, MO 63141; and

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, June 17, 2024, beginning at 6:00 p.m. or immediately following the close of the previous public hearing, on said application for the conditional use permit as provided by Section 405.1070(D)(2); and

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and

WHEREAS, the Planning and Zoning Commission reviewed and, by a ____ vote, recommended approval of the conditional use permit, subject to the conditions contained herein, at its meeting on June 17, 2024; and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed conditional use, when subject to certain conditions set forth herein:

1. Complies with all applicable provisions of this Zoning Ordinance Chapter 405 including but not limited to environmental performance standards presented in Section 405.550, the criteria in Section 405.470 and the standards of this chapter in regard to yard and setback, parking and loading areas, screening and buffering, refuse, storage and service areas and signs.
2. Will contribute to and promote the welfare and convenience of the community at the specific location.
3. Will not cause substantial injury to the value of neighboring property.
4. Is consistent with the applicable provisions of the City’s Comprehensive Plan and any applicable neighborhood or sector plans, unless good cause is demonstrated for deviation there from.
5. Will provide, if applicable, erosion control and on-site stormwater detention in accordance with the standards contained in this Chapter.
6. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on pedestrian or vehicular traffic or on community facilities or services, including but not limited to emergency services.

BILL NO. _____

ORDINANCE NO. _____

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

Section 1: A Conditional Use Permit is authorized to be issued pursuant to Section 3 hereof for Winter Opera St. Louis, a Theater Company (NAICS 711110) within the LI-Lighting Industrial zoning district, whose legal description is as follows:

The South 143 feet of Lot 21 of RESUBDIVISION OF SECTIONS 2,3, AND 4 OF LINDBERGH-WARSON INDUSTRIAL CENTER ADDITION NO. 1, according to the plat thereof recorded in plat Book 100 page 52 of the St. Louis County Recorder's Office.

Section 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. The Conditional Use Permit shall be for the operation of a 13,134 square foot Theater Companies and Dinner Theaters use (NAICS 711110), located at 1283 Research Boulevard, Creve Coeur MO 63141, as bound together and submitted in conjunction with Application #24-017, except as modified below.
2. All landscaping shall be maintained and vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed, as required under Section 405.540 Landscaping.
3. The hours of operation shall be: 10:00 a.m. to 4:00 p.m. Tuesday through Friday.
4. There shall be no live performances conducted at this location unless specifically approved with an amendment to the Conditional Use Permit.
5. Additional business hours may be permitted with the Zoning Administrator's approval.
6. The parking areas shall be restriped to clearly provide for at least 32 spaces, prior to occupancy.
7. All signs and banners shall be in conformance with Article VII, Sign Regulations, of the Zoning Code.
8. Any future enlargement, extension, expansion or exterior alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or exterior alteration may be issued.
9. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.

BILL NO. _____

ORDINANCE NO. _____

10. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.

Section 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

Section 4: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2024.

TIM CARNEY
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2024.

ROBERT HOFFMAN
MAYOR

ATTEST:

KELLIE HENKE
CITY CLERK

Building Permit Rationale for Interior Renovation for Winter Opera St. Louis

Project Description: This project involves interior renovations to an existing building located at 1283 Research Blvd. in Creve Coeur, MO 63132. The primary goals are to improve functionality for the occupants and ensure compliance with ADA standards.

Reasons for Approval:

- **Improved Functionality:** The renovations will significantly enhance the usability of the space for the opera company:
 - Specific examples - e.g., Improve office layout, create a dedicated rehearsal space, add shelving and a sink to the warehouse, add shelving & costume racks to costume & prop shop, build a laundry area with washer and dryer hookups.
 - Updating the building to meet ADA standards will improve accessibility for everyone.
- **Positive Economic Impact:** The opera company will generate cultural vibrancy in the area and offer valuable services such as alterations and costume rental for the general public and theater companies. We offer practice rooms and rehearsal space for local artists and students, fostering a thriving artistic community.
- **Community Enrichment:** The opera company offers artistic and cultural enrichment to the community. It can provide educational opportunities, attract talented artists, and create a unique sense of place, enhancing the overall appeal of Creve Coeur.
- **Aesthetic Improvements:** The planned landscaping (trimming, mulch, flowers) will enhance the property's visual appeal, benefiting the entire neighborhood.
- **Compliance with Codes:** All work will comply with applicable building codes and regulations set forth by Creve Coeur, MO.
- **Parking Available** – We have 32 designated parking spots which are sufficient for our operational needs.

Impact Mitigation Measures:

- **Dust Control:** We will implement dust control measures indoors such as sealing off work areas and performing regular cleaning to minimize dust generation and dispersion.
- **Noise Control:** Construction activities will be scheduled to minimize disruption to nearby businesses and residents. Noisy work will be limited to inside the building during permitted hours.
- **Waste Management:** We will maintain a clean and organized worksite with a designated waste disposal plan to minimize debris and ensure proper disposal. We will be utilizing a professional waste management company for regular pick up and trash disposal.

Proposed Design Changes:

The project involves modifications to the building's interior as outlined in the architectural report. There will be no structural changes. We are clearing 5 offices to make an open space for rehearsals, adding a drinking fountain, slop sink and washer and dryer hook ups for our Costume Shop.

Conclusion:

This inside renovation project will significantly improve the functionality and accessibility of the building for the opera company. The improved facilities will allow us to offer valuable services and enrich the cultural life of Creve Coeur. We have outlined a comprehensive plan to minimize any potential impacts on surrounding areas and ensure a smooth construction process. We are confident that this project will be a positive improvement for the community and respectfully request your approval to proceed.

Access and Parking – Winter Opera St. Louis

Our facility boasts a convenient parking arrangement with 32 designated spaces, ensuring ample availability for visitors and staff. To further enhance accessibility, we're committed to creating an ADA-compliant restroom in the near future. While budgetary considerations currently influence the timeline, this project remains a high priority, reflecting our dedication to inclusivity.

Building Elevations of New Construction – Winter Opera St. Louis

We are not planning any changes of the exterior facade of the building.

Landscaping Plan – Winter Opera St. Louis

Our lawn care strategy focuses on consistent maintenance and future beautification. We've contracted a professional service for weekly mowing, bush trimming, and comprehensive weed control. To further enhance the property's aesthetics, we plan to incorporate fresh mulch and flowering plants at a later date, as budgetary resources allow.

BILL OF SALE AND ASSIGNMENT

Know all men by these presents that PM DEVELOPMENTS, LLC, a California limited liability company (“**Grantor**”), for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to it in hand paid by WINTER OPERA ST. LOUIS, a Missouri nonprofit corporation (“**Grantee**”), the receipt and sufficiency of which are hereby acknowledged, does hereby GRANT, BARGAIN, SELL, CONVEY, AND TRANSFER unto Grantee, and its successors and assigns all of Grantor’s right, title and interest in and to (1) all tangible personal property, if any, now existing or installed in the real property described on **Exhibit A** attached hereto and incorporated herein by reference and used as a part of, or in connection therewith; and (2) any and all legally assignable site plans, blueprints, plans, specifications, manuals, warranties, guaranties, names and logotypes, licenses, permits, franchises and certificates relating to the real property.

Executed as of May 03, 2024.

GRANTOR:

PM DEVELOPMENTS, LLC,
a California limited liability company

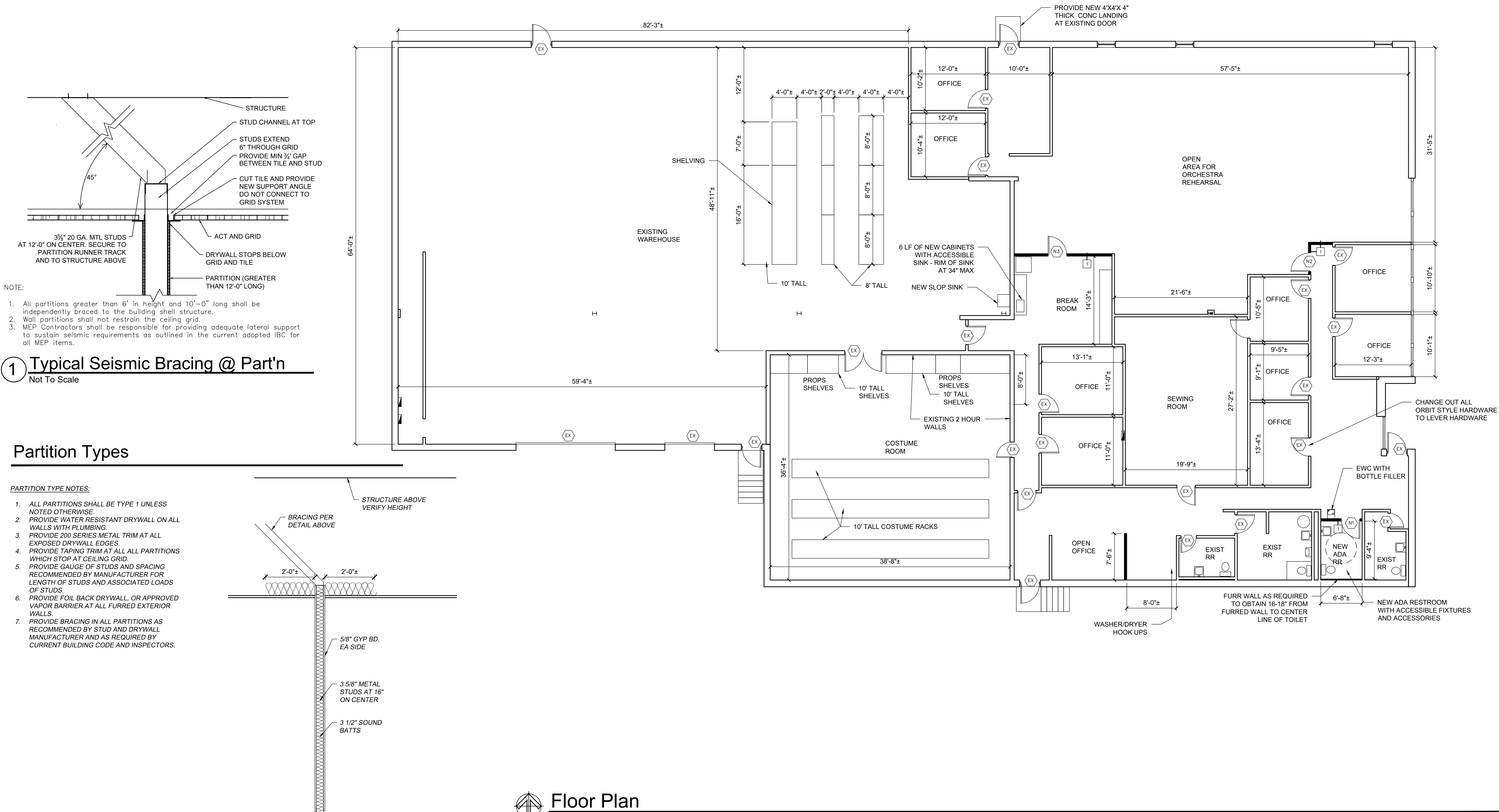
By: 
Name: Alvin Phung
Title: Manager

EXHIBIT A

Legal Description

The South 143 feet of Lot 21 of RESUBDIVISION OF SECTIONS 2, 3 AND 4 OF LINDBERGH-WARSON INDUSTRIAL CENTER ADDITION NO. 1, according to the plat thereof recorded in Plat Book 100 page 52 of the St. Louis County, Missouri, Recorder's Office.

Building data:			
Address: 1283 Research Boulevard			
Creve Coeur City Building Code:	2015 IBC, IEBC		
Creve Coeur Fire District Code:	2021 IBC, IEBC, IFC		
Construction Classification of Shell Building: IIB observed			
Code Use Group Classification:	Office Warehouse Building		
S-1, B (No change from existing use)			
Occupancy Load			
Existing Office Area	=	5785 usf / 100 =	58
Existing Warehouse	=	5371 usf / 300 =	
2 hour separated Uniform Room	=	1465 usf / 300 =	
Total	=	12,621 usf	=
Fire Suppression: Building is not fully sprinkled			
Accessible Upgrades to the building			
ADA restroom modifications			
New drinking fountain with bottle filler			
Change out orbit door hardware to lever type hardware			



Building Improvements for

Winter Opera St Louis

1283 Research Blvd
Creve Coeur, MO

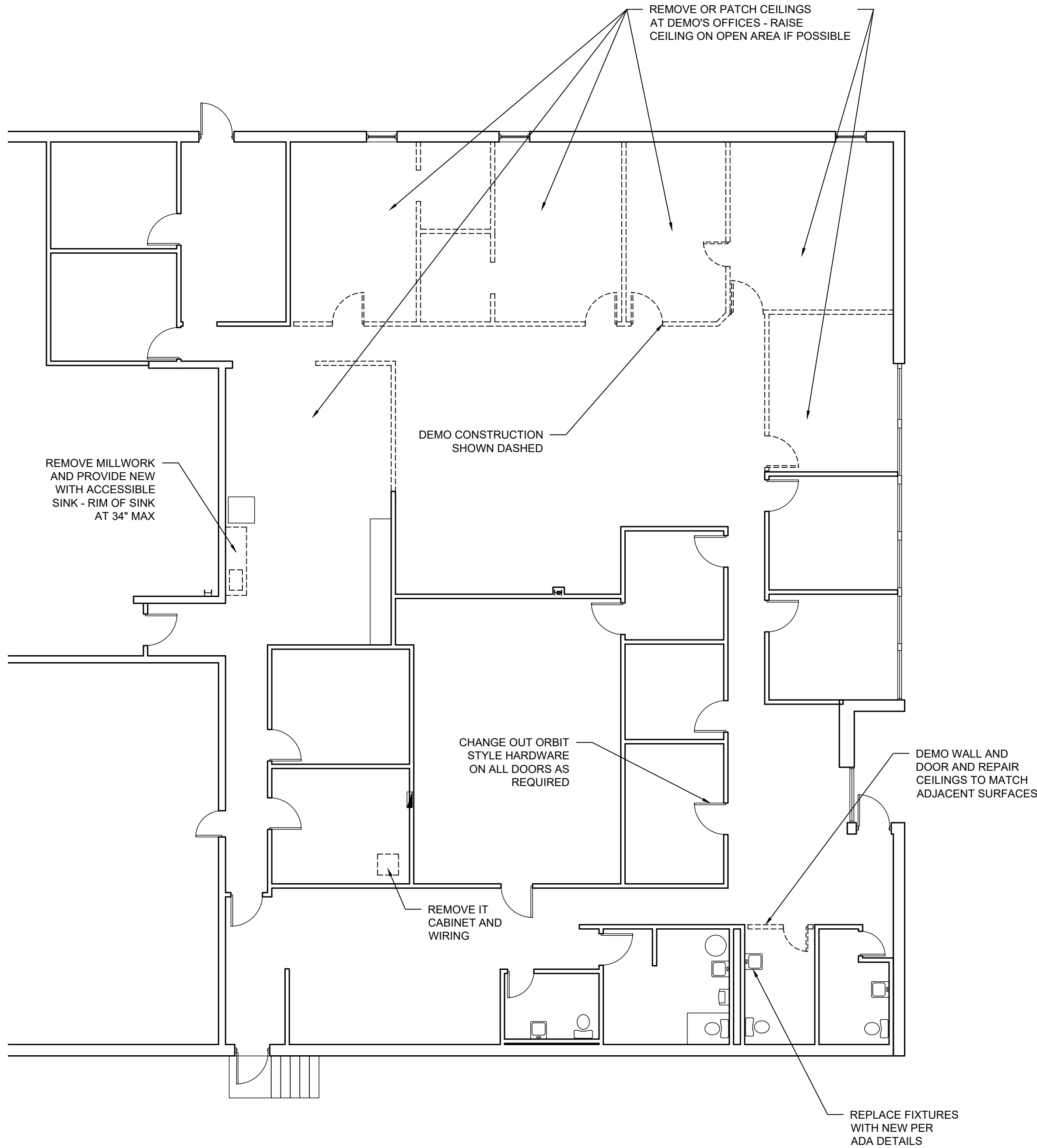
4-30-24 For Review
5-5-24 For Review
5-6-24 For Review
5-7-24 For Review

NOT FOR CONSTRUCTION

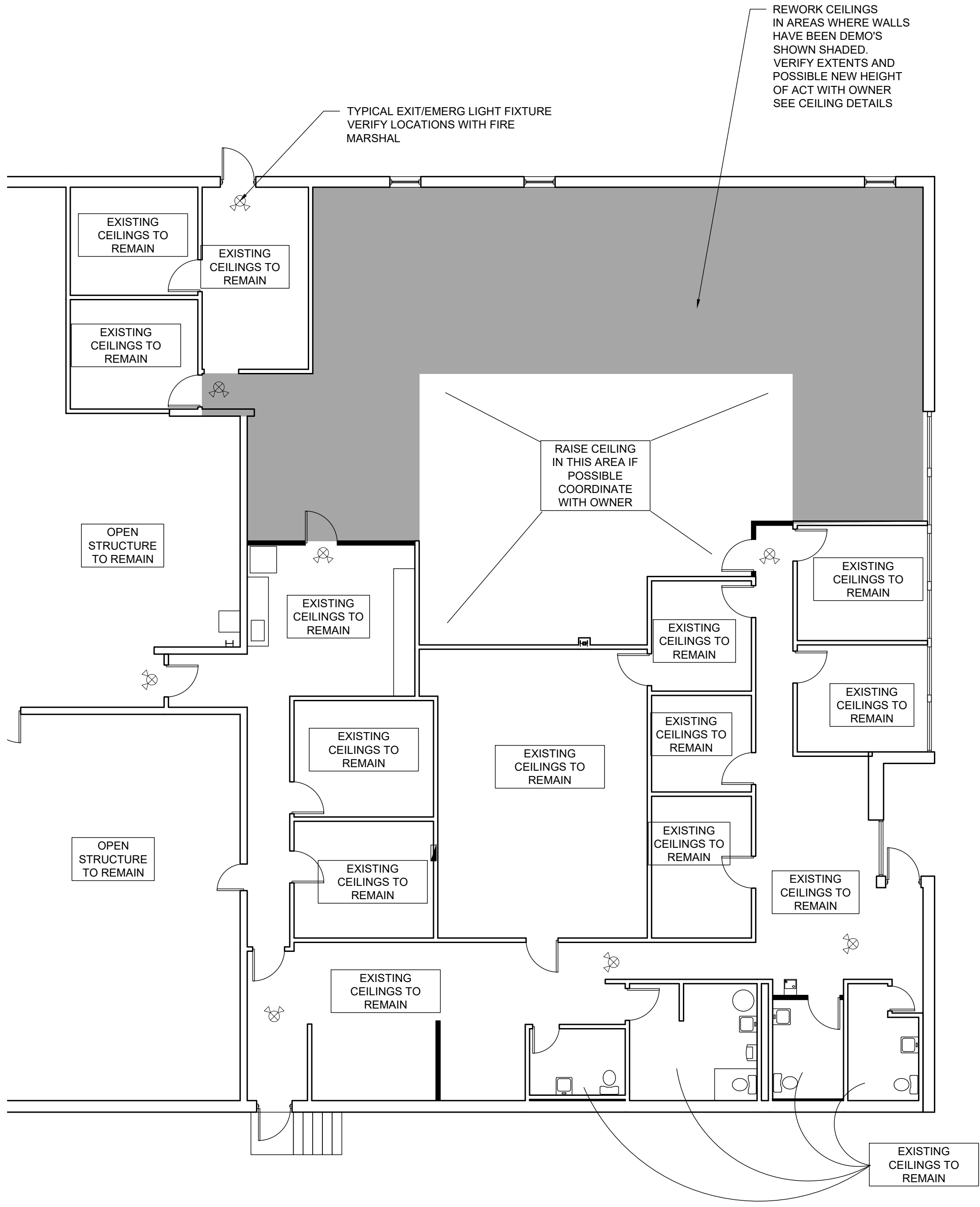
Floor Plan

A1

Winter Opera St Louis
1283 Research Blvd
2024.64



Partial Demo Plan
1/8" = 1'-0"



Partial Ceiling Plan
1/8" = 1'-0"

Building Improvements for
**Winter
Opera
St
Louis**

1283 Research Blvd
Creve Coeur, MO

5-7-24 For Review

NOT FOR CONSTRUCTION

Ceiling and Floor Plan
A2

Winter Opera St Louis
1283 Research Blvd
2024.64

SCOPE OF IMPROVEMENTS:

1. Work shall consist of modifications to interior of the existing building as shown.
2. Uhlig Architecture, LLC (UA) shall not assume any responsibility for services provided by others in implementing the improvements to this project. The construction means and methods are the sole responsibility of the General Contractor, contracted to perform the work by the Building Owner.
3. UA shall exercise usual and customary professional care in its efforts to comply with all laws, codes and regulations in effect as of the date of this Agreement. Design changes required complying with newly enacted laws; codes and regulations after this date shall entitle UA to a reasonable adjustment in schedule and compensation as Additional Services.
4. Inasmuch as the evaluating or remodeling of existing structures requires that certain assumptions be made by UA regarding existing conditions, and because some of these assumptions may not be verifiable without Client's expending substantial sums of money or destroying adequate or serviceable parts of the structure, Client agrees to the fullest extent permitted by law to indemnify and hold harmless UA, its officers, sub-consultants, contract personnel and employees (collectively, UA) against all damages, liabilities or costs, including reasonable attorney's fees, arising out of or in any way connected with the existing structure, or from any deficiencies or any inaccuracies in any information or documentation furnished to UA by Client, excepting only those damages, liabilities or costs attributable to the sole negligence and willful misconduct by UA.
5. It is understood and agreed that the UA's Basic Services do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided for by the Client. The Client assumes all responsibility for interpretation of the Contract Documents and for construction observation and the Client waives any claims against UA that may be in any way connected thereto. In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless UA, its officers, members, employees and sub-consultants (collectively, UA) against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, arising out of or in any way connected with the performance of such services by other persons or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to the Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct of UA. If the Client requests in writing that UA provide any specific construction phase services and if UA agrees in writing to provide such services, then they shall be compensated for as Additional Services.

Project general notes:

1. All work shall be performed within existing building. No structural changes.
2. Contractor responsible for obtaining all necessary building permits, approvals and inspections.
3. All work shall be performed according to codes and regulations which govern this site per federal, state and local authorities.
4. General Contractor shall verify that the work complies with the owners insurance requirements. The contractor shall provide and maintain full insurance as required by the owner.
5. Do not scale the drawings.
6. Changes in this work are only authorized if in writing from the Owner. Contractor shall issue change order with all costs associated with change.
7. Architectural drawings are for design intent only. Details shown are not all inclusive. The G.C. shall resolve field conditions not shown.
8. All dimensions given are finish to finish unless noted otherwise. Verify all dimensions in field.
9. General contractor shall be responsible for protection of all existing construction and for repair of any damages caused by new construction. All repairs shall match aesthetically, all contiguous surfaces as approved by Owner.
10. General Contractor shall be responsible for clean-up.
11. All design build work to be included in the General Contractors scope of work.
12. Remove from building site debris, rubbish, and other materials resulting from demolition and construction. Transport and legally dispose off site.
13. General Contractor shall be responsible for job site safety per OSHA requirements.
14. General Contractor is responsible for examining and confirming all substrate conditions where new materials are to be applied. Substrate shall be smooth, free of defects and shall conform to the requirements of the finish material manufacturer's recommendations.
15. General Contractor to coordinate new finishes with owner.
16. General Contractor shall be responsible for field verifying existing dimensions/conditions. Report any discrepancies to the Architect prior to proceeding with construction in writing.
17. The Architect shall not assume any responsibility for the proper design and installation of mechanical, electrical and plumbing systems. These items shall remain the full responsibility of the respective design/build contractors.

Demolition notes:

1. All existing construction remaining, and existing areas affected by new construction, shall be repaired and refinished to match contiguous conditions.
2. Existing suspended ceiling grid system to be reused or replaced in areas as shown.
3. General contractor shall be responsible for examining and confirming all existing utilities, piping, ducts, etc. for either abandonment or connection, for continued operation.
4. General contractor responsible to isolate construction to avoid disruption to employees and contain dust.

Door Notes

1. Labor, handling and installation of doors, frames and hardware shall be the responsibility of the General Contractor.
2. Replace all orbit type door hardware with new lever style hardware. Coordinate locking functions of these doors with owner.
3. Doors not labeled are existing doors to remain as is.
4. Door hardware shall be keyed to the building standard keying system and any building owner's requirements.
5. All hardware shall meet ADA / ANSI requirements
6. FRAMES - New Door frames shall match building standard HM frames
7. DOORS - New doors shall be solid core wood doors to existing.
8. HINGES - match existing
9. LOCKSET / LATCHSETS - Provide accessible lever type - with locksets as required by tenant.
10. DOOR CLOSERS - Verify locations with owner.
11. DOOR STOPS - Provide IVES 406CCV wall stop at all doors if possible. If unable to use wall stop, provide IVES FS13 floor stop
12. DOOR SILENCERS - provide door silencers at each door leaf.
13. KICK PLATE - None required
14. FINISH - Provide US 26D / 626-652 - Satin Chrome finish on all new hardware
15. Door Schedule:

EX - Existing door and frame to remain. Rekey as required.

N1 - New 3' x 7' x 1 3/4" solid core wood door in hollow metal frame to match existing doors. Provide new lever privacy lockset. Provide new hinges, floor or wall stop, and silencers.

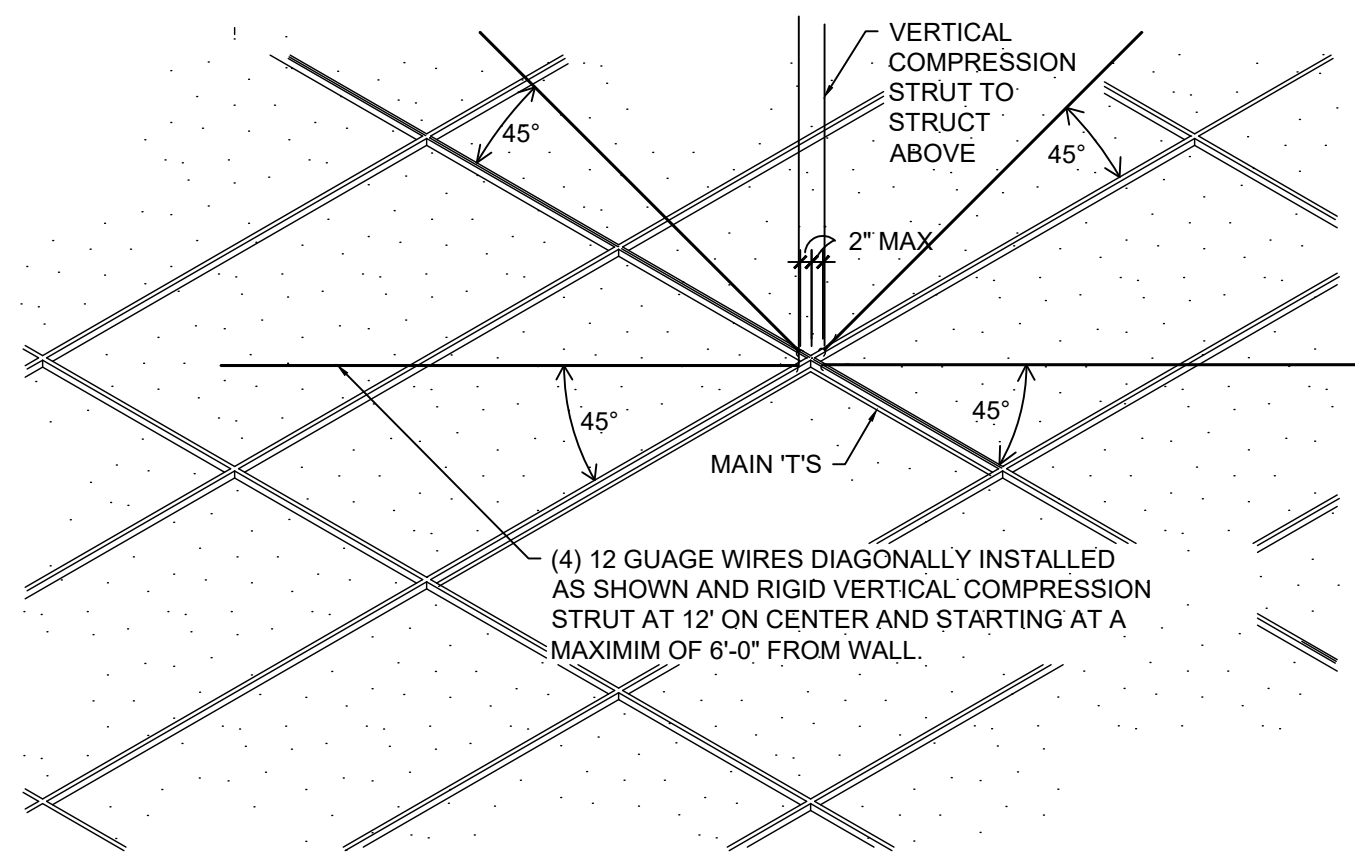
N2 and N3 - New 3' x 7' x 1 3/4" solid core wood door in hollow metal frame to match existing doors. Provide new lever passage latchset. Provide new hinges, floor or wall stop, and silencers.

Finish notes:

1. All finishes shall be coordinated with the Owner.
2. Workmanship shall be the best of its respective kinds for each of the various trades employed. Workmanship and materials that are defective or fail to conform to the requirements of the manufacturer's recommendations shall be removed and replaced with proper materials and workmanship.
3. Painted walls shall receive 1 coat primer and 2 coats finish paint. Prepare wall surface and apply paint in strict accordance with manufacturer's instructions.
4. General contractor shall be responsible for examining and confirming all substrate conditions where new materials are applied. Substrate shall be smooth, free of defects and shall conform to the requirements of the finished material manufacturers recommendations.
5. All finish materials shall meet the flame spread and smoke development ratings as allowed by the current code.

Mechanical, electrical and plumbing notes:

1. Mechanical, electrical and plumbing work is design-build by appropriate contractor. Each of these design build contractors shall be responsible for obtaining their individual permits necessary for construction.
2. Coordinate quantities and locations of all mep items with Owner.
3. Individual mechanical, electrical and plumbing components, which include, but are not limited to, light fixtures, electrical outlets, thermostats, and HVAC grills, not shown are to be used as architectural guidelines for general location of these items in the space. The specific sizing and engineering of these mechanical, electrical and plumbing components, to ensure acceptable operation of the individual systems and conformance with applicable codes and regulations, are the responsibility of the general contractor.
4. All duplex outlets in remaining existing walls shall remain functional. Reconnect as indicated if they are to be altered. Provide GFI outlets as required by codes.
5. Coordinate new power, data, and lighting with owner.
6. Electrical cover plate color shall be verified with owner.
7. All new switches and thermostats shall be 48" A.F.F. to the center of the box.
8. General Contractor shall verify any special electrical requirements with owner.



NOTE:

Structural bracing shall comply with Chapter 16 of the current adopted IBC code for a Class D Ceiling System. Verify with specific municipality if alternate installation methods shall be used. Ceiling shall be supported by building structural components only.

Provide the following for all ceilings greater than 144 s.f.:

- note: ceiling area is based on partitions which penetrate the grid and are braced per code. Partitions which only go to the grid (even if braced but not attached to the grid) do not have any effect on the area or bracing requirements for the suspended ceiling defined below.
- Heavy duty T-bar grid system
 - The width of the perimeter supporting closure angle shall be not less than 2" unless using an approved alternate system (BERC clips per ESR report 1308). In each orthogonal horizontal direction, one end of the ceiling grid shall be attached to the closure angle. The other end in each horizontal direction shall have a 3/4" clearance from the wall and shall rest upon, and be free to slide on the 2" closure angle. the main and cross runners shall be tied together to prevent twisting.
 - 12 gauge vertical support wires on the main and cross runners a maximum distance of 8" from wall plus 4' on center spacing along the main runners
 - All light fixtures must be positively attached to the ceiling grid with an attachment capable of carrying 100% of the weight of the light fixture acting in any direction. This attachment shall consist of four equally spaced attachment points using screws, rivets, bolts, or other approved attachment devices. All mechanical air terminals weighing less than 20 lbs shall be positively attached to the ceiling grid.
 - Light fixtures weighing less than 10 pounds shall have one No. 12 ga wire connected to the center of the fixture housing and structure above.
 - Mechanical air terminals weighing less than 20 lbs shall be positively attached to the ceiling grid capable of carrying 100% of the weight of the mechanical air terminal acting in any direction. This attachment shall consist of four equally spaced attachment points using screws, rivets, bolts, or other approved positive attachment devices.
 - Light fixtures weighing up to 10 lbs to 56 lbs and air terminals weighing 20 lbs to 56 lbs also require two vertical support wires (tied back to structure) which may be slack.
 - Light fixtures and air terminals weighing more than 56 lbs shall required independent support from the shell building structure.
 - Sprinkler heads and other penetrations of the suspended ceiling shall have a 2" oversize ring, sleeve or adapter to allow 1" horizontal movement in all directions.
- In addition to the above, provide the following if ceiling is greater than 1000 sf
- diagonal bracing and rigid vertical compression strut as shown above, in addition to typical suspension wires
- In addition to the above, provide the following if ceiling is greater than 2500 sf
- Separation joint or a full height partition separating the suspended ceiling into areas less than 2,500 sf.

All wall partitions greater than 6' in height shall be independently braced to the building shell structure. Wall partitions may not be supported by the braced suspended ceiling alone.

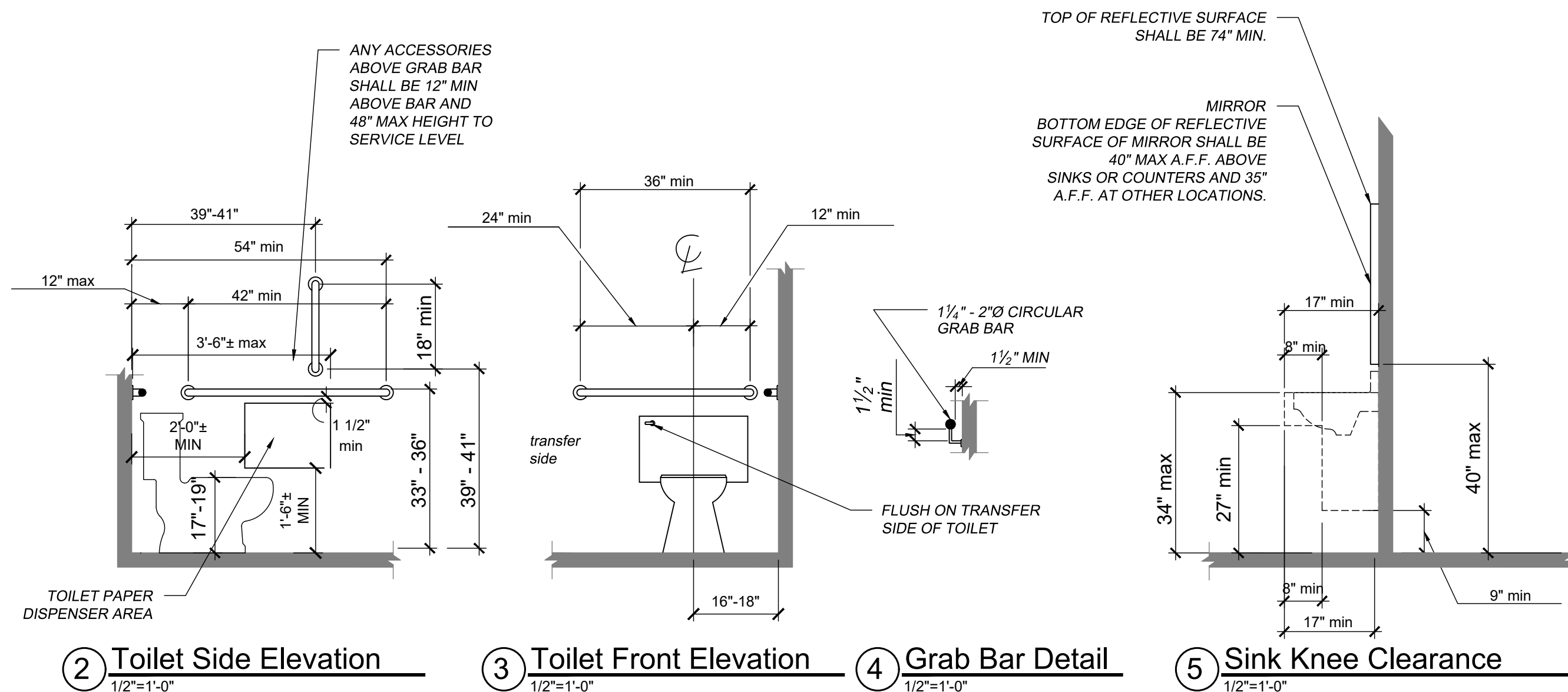
1 Typical Seismic Bracing at ACT

Not To Scale

Class D

ACCESSIBLE TOILET NOTES:

1. LIGHT SWITCH AND ACCESSORIES SHALL BE AT A MAXIMUM HEIGHT OF 48" AT THE WORKING OR DISPENSING HEIGHT.
2. ACCESSORIES AND FIXTURES SHALL BE INSTALLED TO MEET THE DETAILS NOTED AND SHOWN BELOW.
3. PLUMBING FAUCETS AND FIXTURES SHALL CONFORM TO ADA 2010 GUIDELINES.
4. ALL WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED.
5. DOOR TO RESTROOM IS 3'-0" WIDE WITH PRIVACY LEVER LOCK.



2 Toilet Side Elevation
1/2"=1'-0"

3 Toilet Front Elevation
1/2"=1'-0"

4 Grab Bar Detail
1/2"=1'-0"

5 Sink Knee Clearance
1/2"=1'-0"

Building Improvements for

Winter Opera St Louis

1283 Research Blvd
Creve Coeur, MO

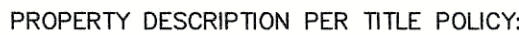
5-7-24 For Review

NOT FOR CONSTRUCTION

Notes and Details

A3

Winter Opera St Louis
1283 Research Blvd
2024.64



The South 143 feet of Lot 21 of RESUBDIVISION OF SECTIONS 2, 3 AND 4 OF LINDBERGH-WARSON INDUSTRIAL CENTER ADDITION NO. 1, according to the plat thereof recorded in Plat Book 100, Page 52 of the St. Louis County, Missouri Recorder's Office

St. Louis Title, a Division of Fidelity National Title Insurance Company
Order Number: STL2401912, Dated: March 12, 2024
ITEM 7: Building Lines and Easements in Plat Book 99, Page 59 and Plat Book 100,
Page 52, and Covenants and Restrictions, including a provision for Subdivision
Assessments, contained in the Subdivision Indenture in Book 3623, Page 424 and Book
4573, Page 625, together with the Amendment in Book 6467, Page 1100
ITEM 8: Easements to Union Electric Company in Book 4190, Page 42 (The West 10' as
shown hereon) and Book 4737, Page 327 (All Easement Strips and Private Streets)

Flood "Zone X" Areas determined to be outside the 0.2% Annual Chance Floodplain
City of Creve Coeur, Missouri – Community–Panel Number: 290344 0192 K
Map Revised: February 4, 2015 (NOT a "Special Flood Hazard Area")

There are 23 visible Striped Parking Spaces, including 1 Handicap Space.

To: Winter Opera St. Louis and St. Louis Title and Fidelity National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the **2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys**, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 9, 13 and 18 of Table A thereof. The fieldwork was completed on April 2, 2024.

Date of Plat or Map: APRIL 5, 2024

I also declare that under my supervision and to the best of my ability and professional judgment, that the results shown hereon are made in accordance with the Missouri Standards for Property Boundary Surveys as set forth by the Missouri Department of Agriculture, Division of Geology and Land Survey and rules promulgated by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects, for an Urban Class Survey. **This Survey is non-transferable.**

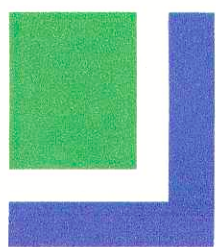


Leo J. Klutho
Professional Land Surveyor In Responsible Charge
Missouri Registration Number PLS-2005019212
EXPIRES: DECEMBER 31, 2025

James Surveying Company
Professional Land Surveying Corporation
Original Certificate/License No. 000129

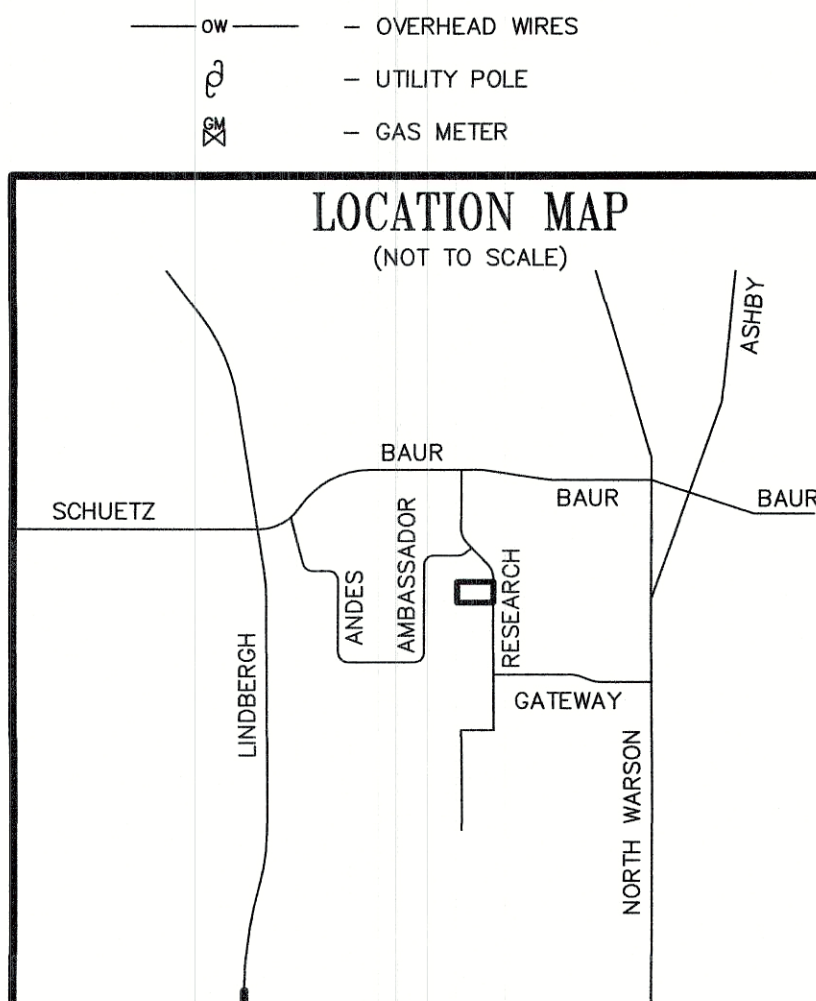
Project Address: 1283 Research Boulevard
St. Louis County, MO
63132

REV.	DATE	BY	DESCRIPTION			
SUR.	C.W.	DES.	SCALE: 1" = 20'		PROJECT NUMBER 216319	
DRW.	L.J.K.	CHK. L.J.K.				
DATE PREPARED:			APRIL 5, 2024		SHEET 1 OF 1	



JAMES SURVEYING
COMPANY
LAND SURVEYORS

10811 BIG BEND BOULEVARD KIRKWOOD, MO. 63122
PHONE: (314) 822-1006 FAX: (314) 822-0006



P.B. 119, PGS. 32 & 33

N/F
 AMBASSADOR PROPERTY, LLC
 DEED DOC. 202311300149

SECTION 3 (NORTH PART)

LINDBERGH - WARSON INDUSTRIAL CENTER ADDITION NO. 2 - P.B. 119, PGS. 32 & 33

SECTION 3 (SOUTH PART)

BOUNDARY ADJUSTMENT PLAT OF LOTS 19 AND 20
OF THE RESUBDIVISION OF SECTIONS 2, 3 AND 4 OF
LINDBERGH-WARSON INDUSTRIAL CENTER ADDITION NO. 1
P.B. 196: PG. 64

ADJUSTED LOT 20

N/F
BENO 1265 LLC
D.B. 23860, PG. 2634

RESEARCH (50'W.) BOULEVARD





**APPLICATION TO PLANNING AND ZONING COMMISSION
#24-018: AN AMENDMENT TO AN EXISTING CONDITIONAL USE
PERMIT FOR A NEW CAR DEALER USE FOR PLAZA BMW
LOCATED AT 777 DECKER LANE**

FOR THE MEETING OF: Monday, June 17, 2024

LOCATION: 777 Decker Lane, within the Plaza Motors Campus. Zoned CB-Core Business District

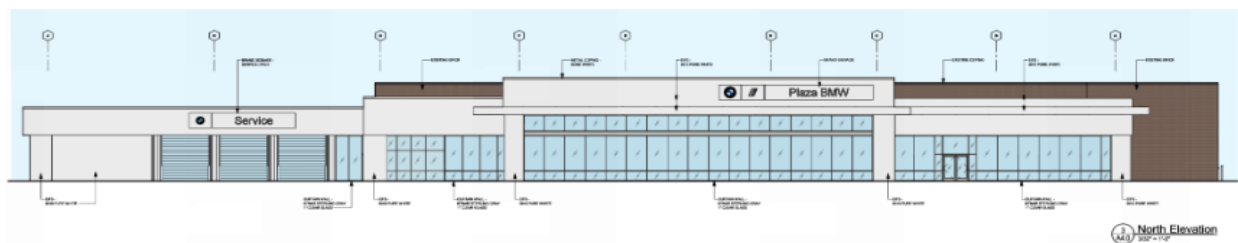
REQUEST: Jim Whisler, of Grimes Consulting on behalf of Asbury Automotive St. Louis, has submitted an application for an amendment to the existing Conditional Use Permit for Plaza Motors to allow for the exterior renovation of the existing Plaza Lexus dealership building in order to accommodate the new tenant, Plaza BMW. Located at 777 Decker Lane in the "CB" Core Business Zoning District. NAICS 441110 New Car Dealers are permitted as conditional uses with review and approval by the City Council upon recommendation by the Planning and Zoning Commission.

ADDITIONAL INFORMATION: Plaza Motors Company received a conditional use permit on February 13, 1989 for an automobile showroom sales and service facility at 11830 Olive Boulevard (Ordinance No. 1321). Amending Ordinances 1368, 1376, 1777, 2225 and 2240 (approved December 11, 1989, March 12 1990, and February 12, 1996, July 14, 2003, and November 10, 2003 that included the Plaza Lexus dealership in 2003 respectively) allowed for the expansion of the original use to the current campus setting. In 2004, the Planning and Zoning Commission authorized the development of the Lexus parking garage. In 2014, Ordinance 5411 amended Ordinance 2240 for the renovation of the Plaza Audi building. In 2021 a similar request for an amendment was approved to renovate the exterior façade with updated Lexus branding but the renovation did not take place. The building is now being updated to accommodate a BMW dealer.

APPLICANT: Jim Whisler
Grimes Consulting
12300 Old Tesson, Suite 300D
St. Louis, MO 63128

OWNER:

Jeff Lam
Asbury Automotive
6317 Red Stone Drive
Frisco, TX 75035



REPORT PREPARED BY: Bethany L. Moore, AICP, City Planner

DATE: 6/11/2024

ATTACHMENTS: Applicant's Site Development Plan submitted on May 16, 2021
Draft Ordinance

PROJECT DESCRIPTION

Key Issues:

- Does the request still meet the criteria for a conditional use permit?
- Does the request further the goals and/or implement the Comprehensive Plan?
- Does the request follow the Design Guidelines?

Creve Coeur 2030 Comprehensive Plan References

- Central Business District (CBD)
- Mixed-Use District (MU)
- Design Guidelines

Zoning Code References

- Section 405.210: Regulation of Uses
- Section 405.370: CB-Core Business District
- Section 405.470: Conditional Uses
- Section 405.1080: Site Development Plans

Asbury Automotive is seeking to update the façade for the Plaza Lexus dealership to accommodate moving Plaza BMW, currently located at 11858 Olive Boulevard, to occupy the existing building and site. Lexus is no longer part of Plaza Motors and the new Spirit Lexus building under construction at 10176 Corporate Square, received approval from the Planning and Zoning Commission and City Council in 2023. It is anticipated that the current BMW dealership property will be converted to another dealership in the future, which will require a separate review and conditional use permit application. The revised elevations include removing the existing grey EIFS elements and replacing them with a new EIFS material in the color “Pure White” with a more modern, clean lines aesthetic. The dark brick rear portion of the building will remain unchanged and is consistent with the rest of the Plaza Motors campus. Material samples will be provided at the meeting for viewing. No changes to the site are proposed.

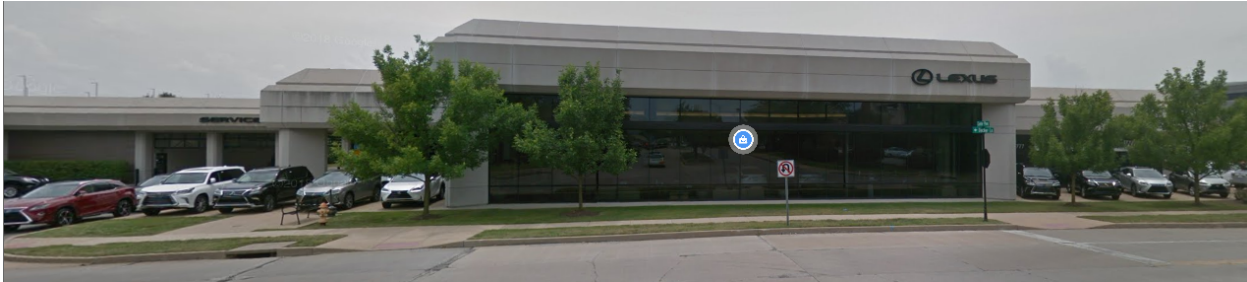


Figure 1: Google Image of the existing building facade.

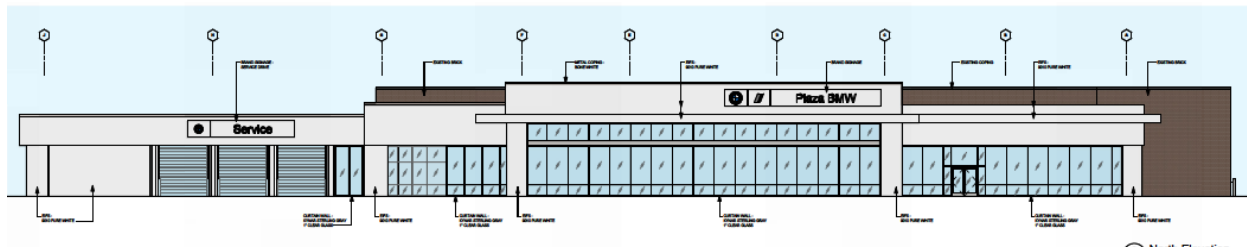


Figure 2: Applicants Proposed North Elevation

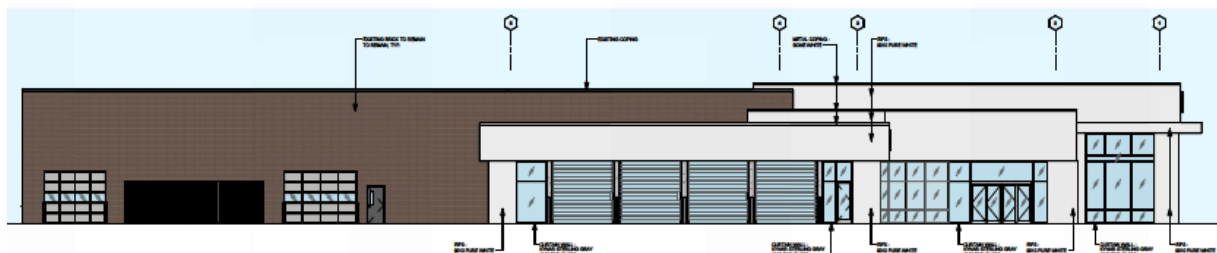


Figure 3: Applicants Proposed East Elevation

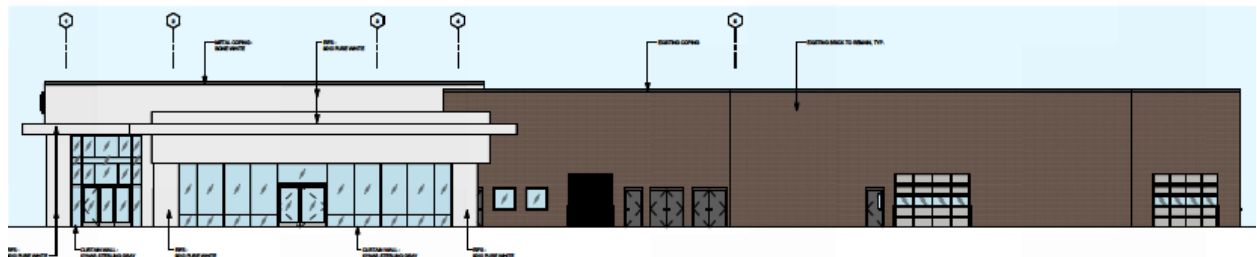


Figure 4: Applicants Proposed West Elevation

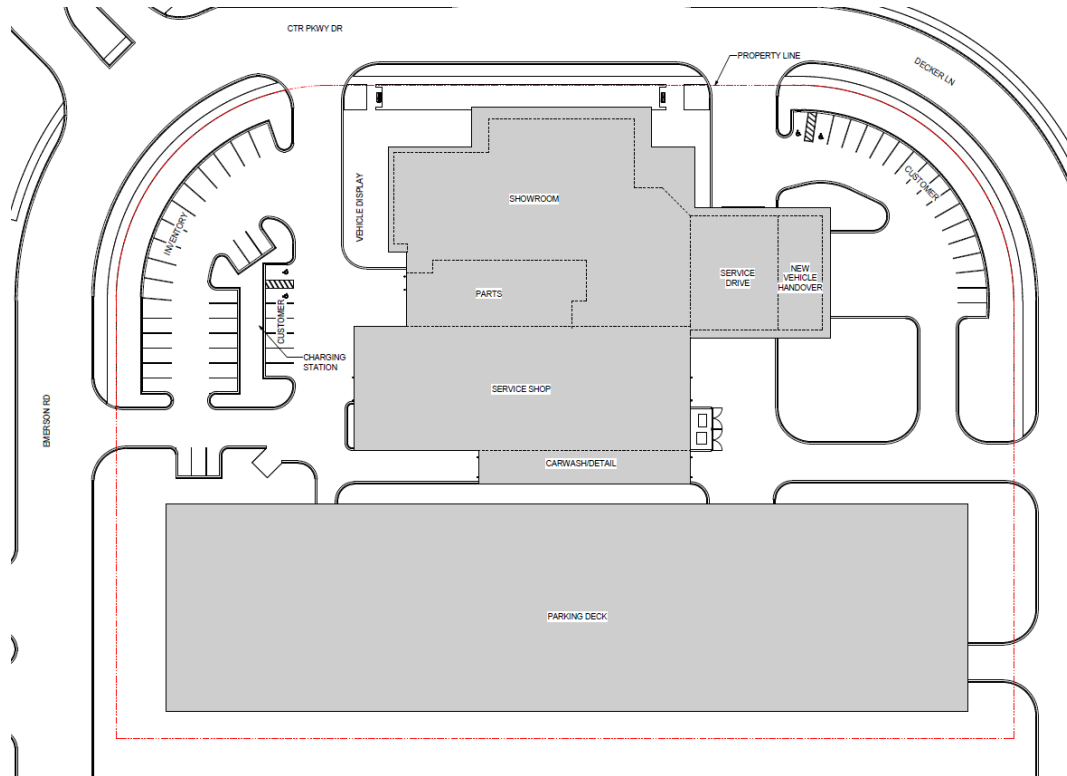


Figure 5: Site Plan with no changes

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Commercial/ Retail	CB-Core Business	Olive Boulevard
South	Commercial/ Retail/ Restaurants	CB-Core Business	NA
East	Commercial/ Restaurants/ Gas Station	CB-Core Business	N. New Ballas Road (partial)
West	Office/ Hotel/ Restaurant	CB-Core Business	Decker Lane and Center Parkway Drive

CREVE COEUR 2030 COMPREHENSIVE PLAN DISCUSSION

The subject property is located within the Central Business District (CBD) and Mixed-Use District (MU) that supports the development of a variety of medium-density commercial, retail, office, dining, community services, and multi-family residential uses on large development sites with centralized parking lots. These land uses are supported through primarily vehicular access with improved walkability; with pedestrian connections within developments and to neighboring commercial properties. The CBD district is designed to create an intense, urban thoroughfare setting along Olive Boulevard on large development parcels. This proposed application is limited to exterior elevation renovations that do not appear to be in conflict with the Comprehensive Plan, given the scope of work.

Design Guidelines

The Design Guidelines strongly encourage interesting, articulated, and high-quality structures with an overall sense of architectural continuity on all elevations for campus settings with multiple buildings in order to create a cohesive visual relationship between buildings. The architectural design should also be compatible with the surrounding area. EIFS/Stucco should not be the predominant building material and should be used as a way to accentuate an architectural element; and covering of natural brick is strongly discouraged. Further, buildings that are stylized in an attempt to use the building itself as advertising are

strongly discouraged, particularly where the proposed architecture is the result of a “corporate” or franchise style.

As is often the case with automotive dealerships, corporate façade treatments are required for brand continuity and recognition. The rear portions of the building utilize the same dark brick material featured throughout the campus creating a more cohesive look between all the Plaza Motors buildings. The revised elevations of the front of the building include removing the existing dated gray EIFS and replacing it with new EIFS in a white/cream color in a more modern, clean lines architectural style to reflect the design standards for BMW. The white color is not overly bright, will not be reflective and is compatible with the color scheme of other Plaza Motors buildings on the campus. Staff has concerns about the amount of EIFS used on the façade. The EIFS material is being used as the primary façade material for the renovated front elevations and not as an accent material, which is discouraged by the Design Guidelines. Staff suggested selecting a higher quality material in a similar color be used in place of the EIFS. The applicant has stated that the proposed EIFS material is a superior product to traditional EIFS systems and Staff has asked the applicant to discuss the material in their presentation. The use of the EIFS as a primary material should be discussed by the Planning and Zoning Commission.

ZONING CODE

The existing site is in good condition and the parameters of the project are limited to the elevation renovations to accommodate a new car dealership which is the same use as existing. The current landscaping is in good condition and governed by a landscaping plan that was approved in 2004. Section 405.540(F)(10) of the Landscaping regulations require that all landscaping shall be permanently maintained in good condition with at least the same quality and quantity of landscaping as initially approved and this is a standard condition of approval. The Plaza Motors Campus signs are regulated by a master sign plan and will be reviewed under a sperate permit.

SUMMARY AND ACTION

If after discussion of the proposed EIFS primary façade material the members of the Commission are satisfied that the project meets the intent of the Comprehensive Plan and Design Guidelines, then a recommendation to the City Council should be made. Below are the recommended conditions of approval as discussed above:

- Section 2 of Ordinance Number 2240 shall be amended to include the renovation of the building located at 777 Decker Lane for Plaza BMW in accordance with the “Architecural Site Plan” and “Exterior Elevations” as prepared by Praxis3 Architecture + Multidisciplinary Design submitted on May 16, 2024 except as modified below.
- All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code, and the approved Master Sign Plan for the Plaza Motors Campus.
- All landscaping shall be maintained and vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed, as required under Section 405.540 Landscaping.

MOTION

If the Commission wishes to vote on a recommendation to the City Council based on the current proposal, the following would be an appropriate motion:

“I move to recommend approval of an amendment to the conditional use permit for Plaza Motors to allow for the exterior renovations for Plaza BMW as presented and according to the draft ordinance attached to the staff report on application #24-018, for the meeting of June 17, 2024.”
(Conditions in the draft ordinance may be added, eliminated, or modified by preceding motion)

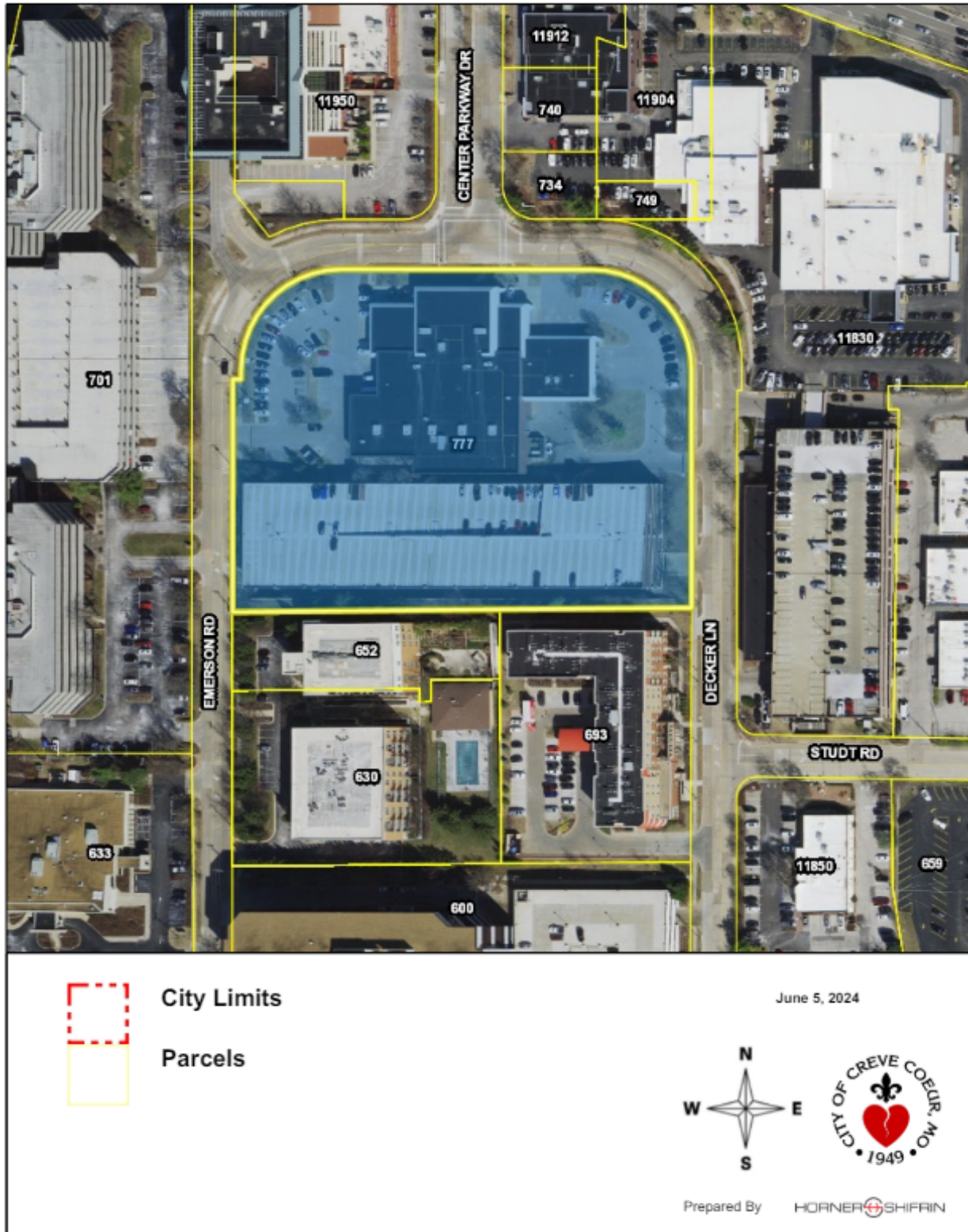
APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTOGRAPH



APPENDIX 4: SITE PHOTOGRAPHS



Description:
Google
Streetview
Existing
Conditions.



Description:
Google
Streetview
Existing
Condition.

BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE CONDITIONAL USE PERMIT APPROVED BY
ORDINANCE NUMBER 2240 TO AUTHORIZE RENOVATION TO THE BUILDING
LOCATED AT 777 DECKER LANE WITHIN THE PLAZA MOTORS CAMPUS FOR
THE PLAZA BMW DEALERSHIP**

WHEREAS, under Section 405.370(C), new and used automotive dealers in the “CB”, Commercial zoning district require the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, conditional use permit ordinance #2240 was approved by the City Council on November 10, 2003, for the operation of a new and used automotive dealership for Plaza Motors pursuant to its current campus layout; and

WHEREAS, an application was submitted by Jim Whisler, Grimes Consulting, on behalf of Asbury Automotive St. Louis, LLC, to amend the conditional use permit and site development plan for Plaza Motors to allow for the exterior renovation of the former Plaza Lexus Dealership building to accommodate Plaza BMW located at 777 Decker Lane; and

WHEREAS, Section 405.1070 provides, in part, that any future enlargement or alteration in the use of the structure or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the conditional use permit before a building permit for the enlargement or alteration may be issued; and

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, June 17, 2024, beginning at 6:00 p.m. or immediately following the close of the previous public hearing, on said application for the amendment to the conditional use permit as provided by Section 405.1070(D)(2); and

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and

WHEREAS, the Planning and Zoning Commission reviewed and, by a ____ vote, recommended approval of the request, subject to the conditions contained herein, at its meeting on June 17, 2024; and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed amended conditional use, when subject to certain conditions set forth herein:

1. Complies with all applicable provisions of this Zoning Ordinance Chapter 405 including but not limited to environmental performance standards presented in Section 405.550, the criteria in Section 405.470 and the standards of this chapter in regard to yard and setback, parking and loading areas, screening and buffering, refuse, storage and service areas and signs.
2. Will contribute to and promote the welfare and convenience of the community at the specific location.

BILL NO. _____

ORDINANCE NO. _____

3. Will not cause substantial injury to the value of neighboring property.
4. Is consistent with the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans, unless good cause is demonstrated for deviation there from.
5. Will provide, if applicable, erosion control and on-site stormwater detention in accordance with the standards contained in this Chapter.
6. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on pedestrian or vehicular traffic or on community facilities or services, including but not limited to emergency services.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, Missouri, as follows:

Section 1: Section 2 of Ordinance Number 2240 shall be amended to include the renovation of the building located at 777 Decker Lane for the Plaza BMW Dealership subject to the conditions set forth herein. Except as expressly amended by this Ordinance, all provisions of Ordinance 2240 shall remain in full force and effect.

1. Section 2 of Ordinance Number 2240 shall be amended to include the renovation of the building located at 777 Decker Lane for Plaza BMW in accordance with the "Architectural Site Plan" and "Exterior Elevations" as prepared by Praxis3 Architecture + Multidisciplinary Design submitted on May 16, 2024 except as modified below.
2. Pedestrian pathways shall remain unobstructed and not impair pedestrian movement.
3. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code, and the approved Master Sign Plan for the Plaza Motors Campus.
4. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
5. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
6. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
7. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

BILL NO. _____

ORDINANCE NO. _____

Section 2: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue an amended Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 1 of this ordinance as well as previously imposed conditions. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

SECTION 3: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2024.

TIM CARNEY
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2024.

ROBERT HOFFMAN
MAYOR

ATTEST:

KELLIE HENKE
CITY CLERK



city
of

CREVE COEUR

PLANNING DIVISION

File # _____

300 North New Ballas Road, Creve Coeur, Missouri 63141

Tel. (314) 872-2501 • Fax (314) 872-2505

PLANNING AND ZONING COMMISSION AGENDA APPLICATION **CONDITIONAL USE PERMIT**

PLEASE COMPLETE FRONT AND BACK PAGES

<i>Applicant:</i>	<i>Applicant's Representative (if applicable):</i>
Jim Whisler _____ <i>Name</i>	_____ <i>Name</i>
Grimes Consulting _____ <i>Company (If Applicable)</i>	_____ <i>Company (If Applicable)</i>
12300 Old Tesson, Suite 300D _____ <i>Address</i>	_____ <i>Address</i>
St. Louis, MO 63128 _____ <i>Address</i>	_____ <i>Address</i>
Telephone # 314-849-6100 _____ <i>Telephone #</i>	_____ <i>Telephone #</i>
Fax # 314-849-6010 _____ <i>Fax #</i>	_____ <i>Fax #</i>
Email: jimw@grimesconsulting.com _____ <i>Email:</i>	_____ <i>Email:</i>
_____ <i>Applicant's Signature</i>	_____ <i>Applicant's Representative's Signature</i>

<i>Property Information:</i>	<i>Owner's Acknowledgement (if different from applicant):</i>
777 Decker Ln _____ <i>Address</i>	Jeff Lam _____ <i>Name</i>
St. Louis, MO 63141 _____ <i>Address</i>	Asbury Automotive _____ <i>Company (If Applicable)</i>
Plaza BMW _____ <i>Address</i>	6317 Red Stone Dr _____ <i>Address</i>
 _____ <i>Current Zoning</i>	Frisco, TX 75035 _____ <i>Address</i>
_____ <i>Prior CUP Approvals (if known)</i>	Telephone # 972-877-9750 _____ <i>Telephone #</i>
_____ <i></i>	Fax # _____ <i>Fax #</i>
_____ <i></i>	Email: jlam@asburyauto.com _____ <i>Email:</i>
_____ <i></i>	Jeff Lam _____ <i>Owner's Signature</i>

Digitally signed by Jeff Lam
DN: CN=Jeff Lam
Date: 2024.05.29 12:37:12-0500

Description of Requested Use (attach additional sheets as needed)

General Description of Business: BMW Automobile Dealership

Gross Floor Area – Existing and Proposed: 42,304 (existing = proposed)

Number of Seats (for restaurant only): _____

Number of Employees at the busiest shift: 50

Hours of Operation: Mon/Wed/Fri - 9:00AM-7:00PM ; Tue/Thur/Sat - 9:00AM-6:00PM, and Closed Sunday

Current or Most Recent Use of the Property: Automobile Dealership

Will the applicant apply for a liquor license: Yes ☐ No ☒

Rationale

Please describe in detail, on an attached sheet, the reasons why you believe the request for a conditional use permit should be approved and what steps are being taken to lessen any impacts on surrounding residences and businesses. An explanation of the building and landscape designs (if changes are proposed) should also be included.

Submittal Checklist

☒ Rationale	☒ Building elevations for new construction
☒ Site plan	☒ Photographs of existing structures
☒ Access and parking plan; (may be shown on site plan)	☐ Materials samples
☐ Landscape plan	☒ Legal Description in Word format
☒ Floor plan	☒ Fees: \$250 (non-refundable)
☒ Electronic copies of all materials	☐ \$2000 (refundable deposit)
	☐ Other items as requested by staff

Preferred Public Hearing Date: Monday, June 17, 2024.

****See Planning & Zoning Commission schedule and confirm available meeting dates with Planning Division staff****

Office Use Only

____ All Sections Complete

____ All Documents, incl. e-Copies

____ Fees Paid

Received By:

Date:

Revised: 7/22

May 17, 2024

Department of Planning

Reference: Plaza BMW – Creve Coeur, MO

Dear Creve Coeur Department of Planning,

Please see the following narratives for Plaza BMW:

What is unique about this project to Creve Coeur?

This project has several unique elements which make it an established automotive facility that fits into the urban fabric of Creve Coeur, Missouri. The proposed location is retaining the original use of the existing building – a high-volume automotive sales showroom and service shop. The previous Lexus building was tailored specifically to be an automotive dealership. Parking on-site is strategically split between surface customer parking and an employee and inventory parking deck behind the building. The location of this site is unique to Creve Coeur due to its close proximity to I-270 and Olive Boulevard, both of which are high-volume thoroughfares. The proposed Plaza BMW relocation and renovation will take into consideration all exterior facades of the building during the design process, as Emerson Road / Decker Lane wraps around the project site, making the project highly visible from most facades. One unique existing design feature that will be retained during this renovation is the mild iron spot brick masonry which clads the service shop and parking deck. This brick is present in many other structures in the area, including other automotive dealerships. During construction, great care will be taken to protect and maintain this brick façade.

Logic for moving store locations / rationale for change:

The site at 777 Decker Lane hosts an existing automotive dealership – Plaza Lexus. This brand has been sold by the automotive group (Asbury Automotive). Across the street located at 11858 Olive Boulevard is Plaza BMW, also owned by Asbury Automotive. This dealership has outgrown its capacity for sales and service, and this project proposes to move Plaza BMW from its current location to the former Plaza Lexus dealership. The Lexus dealership will be renovated – this scope includes interior and exterior renovations. Architecturally, the dealership will be brought up to current BMW design standards based on the brand's Design Intent Document which outlines the building program, circulation, finishes, lighting, and signage. This document has been tailored to this specific location and the plans are at a schematic level. Logistically, this move will be seamless for BMW customers and employees in Creve Coeur due to the proximity to the existing Plaza BMW dealership.

Very Sincerely,

Noel Tyler
Project Manager
NTyler@PRAXIS3.com
470-508-1824

SITE DEVELOPMENT PLAN
PLAZA BMW

PART OF LOTS 8 & 9 OF "THE LAKE OF HOUSE FARM SUBDIVISION" AND ALSO PART OF "HENRY GERHARDT SUBD.", SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI

N/F
GELBER FAMILY LIMITED PARTNERSHIP, THE
A MO. LTD. PARTNERSHIP
DB. 10835, PG. 1944
ZONED CB: CORE BUSINESS

N/F
GELBER FAMILY LIMITED PARTNERSHIP, THE
DB. 10835, PG. 1944
ZONED CB: CORE BUSINESS

N/F
ASBURY AUTOMOTIVE ST. LOUIS, L.L.C.
DB. 14562, PG. 2780
ZONED CB: CORE BUSINESS

PERTINENT DATA

LOCATOR NUMBER: 11830 OLIVE BLVD.
SITE ADDRESS: 777 DECKER LN.
EXISTING ZONING: CORE BUSINESS DISTRICT
DISTURBED AREA: 0.25 ACRES
WATER SHED: DEER CREEK
FIRE DISTRICT: MISSOURI-AMERICAN WATER
SCHOOL DISTRICT: CREVE COEUR
SEWER DISTRICT: M.S.D.
GAS SERVICE: LACLEDE GAS
ELECTRIC SERVICE: AMEREN UE
PHONE SERVICE: AT&T
FEMA MAP NUMBER: 29189C0162H
DATE: AUGUST 2, 1995

PARKING:

REQUIRED: 14,770 S.F. @ 4 P.S. / 1,000 S.F. 59
SERVICE: 28 BAYS @ 3 P.S. / 1 STALL 84
AGGREGATE BUILDING: 40,000 S.F. @ 1 P.S. / 1,250 S.F. 32
TOTAL PARKING REQUIRED: 175
TOTAL PARKING PROVIDED: (ON STD) 889 P.S.
WEST SURFACE LOT 45 P.S.
EAST SURFACE LOT 18 P.S.
PARKING STRUCTURE: 179 P.S.
LEVEL 1 207 P.S.
LEVEL 2 220 P.S.
LEVEL 3 220 P.S.
SUB-TOTAL: 826 P.S.

LOT COVERAGE

EXISTING LOT = 4.98 ACRES
PROPOSED LOT TOTAL = 216,711 SF (4.98 ACRES)
TOTAL BUILDING/PARKING = 161,042 SF
TOTAL GRASS/SIDEWALK = 55,669 SF
PERCENT BUILDING/PARKING = 74.3%
BUILDING AREA = 42,304 SF
RATIO OF FLOOR AREA TO SITE AREA (FAR) = 19.5%

N/F
ASBURY AUTOMOTIVE ST. LOUIS, L.L.C.
DB. 14562, PG. 2780
ZONED CB: CORE BUSINESS

SITE DEVELOPMENT PLAN FOR

PLAZA BMW

11830 OLIVE BLVD

SITE DEVELOPMENT PLAN

SDP1

JOB NUMBER: 1134G
DRAWN BY: JRB
DATE: 05/15/24
CHECKED BY: JLW
DATE: 05/15/24
SHEET:

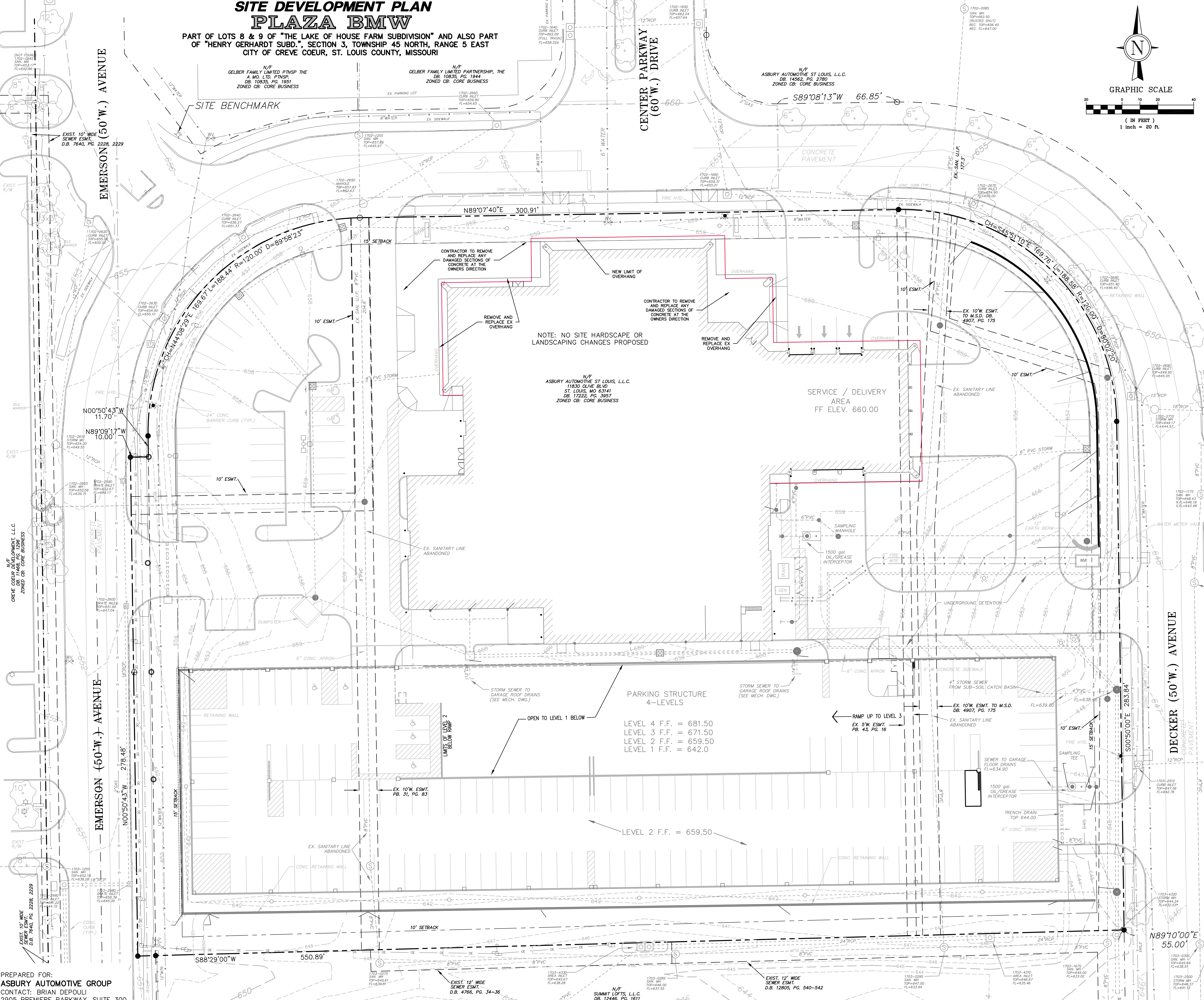
BENCHMARK:

WSD #13-59: 676.58 - "I" ON SOUTHEAST CORNER OF CONCRETE STEP, 1' EAST AND 0.4' SOUTH OF THE SOUTH SIDE OF DORR ENTRANCE TO OFFICE OF SERVICE STATION SOUTHEAST CORNER OF OLIVE STREET ROAD AND BALLAS ROAD.

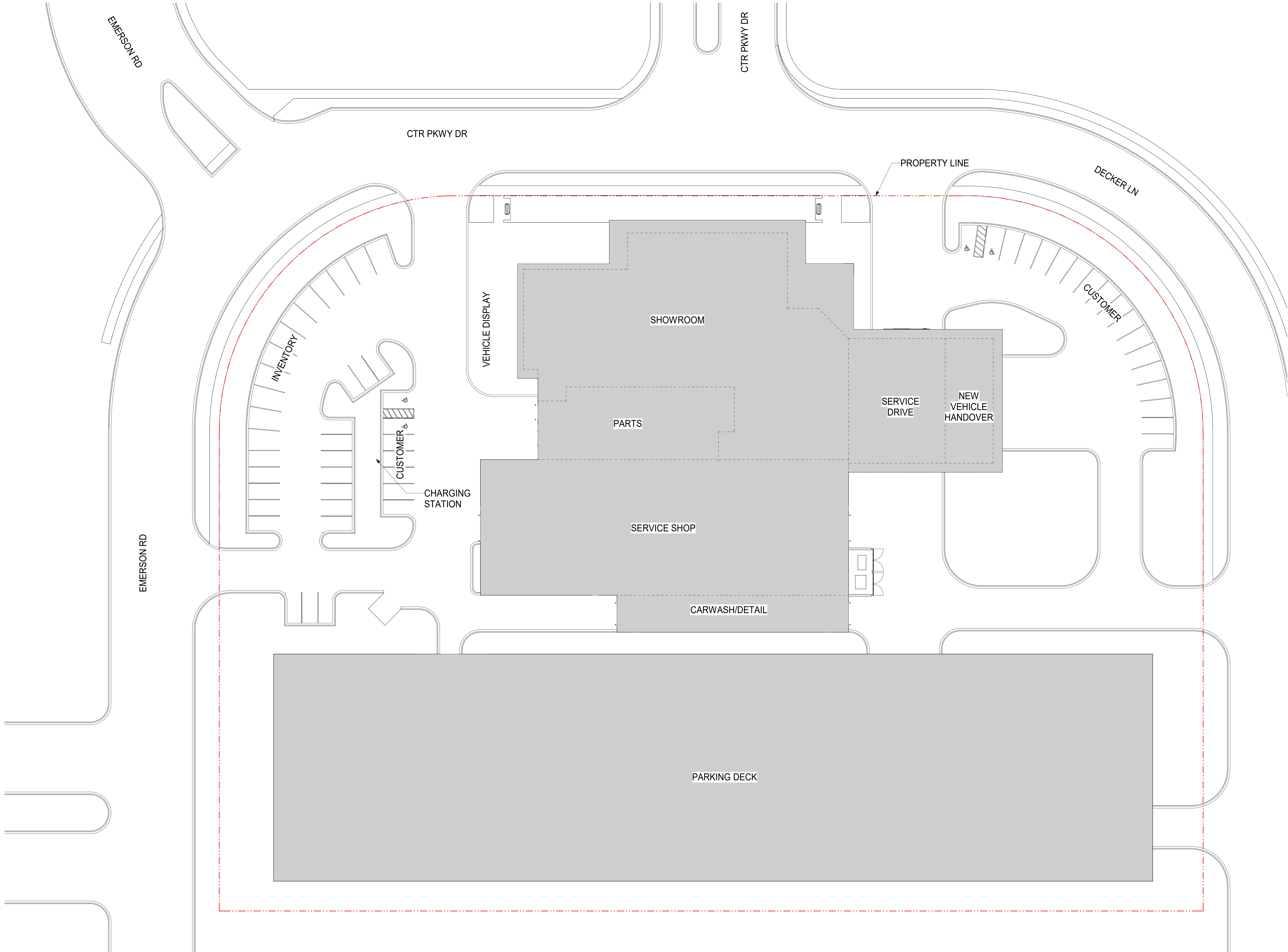
SITE BENCHMARK:

660.12 - "I" IN OPEN OF FIRE HYDRANT, 35.5' NORTHEAST OF CENTERLINE OF EMERSON AVENUE & 47.5' NORTHWEST OF CENTERLINE OF CENTER PARKWAY DRIVE

M.S.D. BASE MAP 170
LOC. NO. 170612393
ZIP CODE 63141



PREPARED FOR:
ASBURY AUTOMOTIVE GROUP
CONTACT: BRIAN DEPOULI
2905 PREMIERE PARKWAY, SUITE 300
DULUTH, GA 30097
PH: (770) 418-8343



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PERMIT

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Rev	Date	Comments
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Client:
Asbury Automotive Group
2905 Premiere Parkway
Suite 300
Duluth, GA 30097
Project Number: 18119
Project Name:
PLAZA BMW

777 Decker Ln
Creve Coeur, MO 63141
Key Plan:

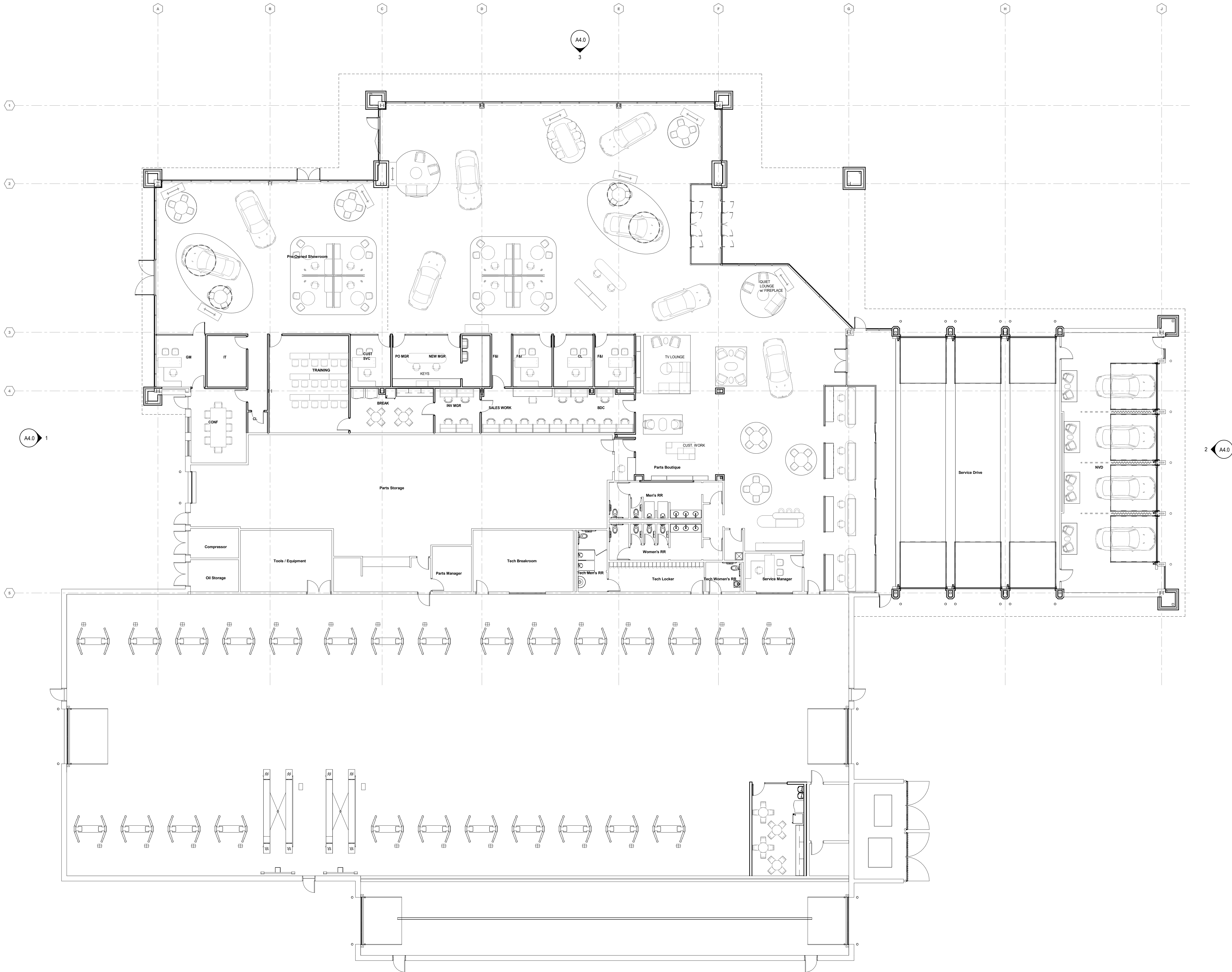
Sheet Title:
**Architectural
Site Plan**

Sheet Number:
A1.0

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Rev	Date	Comments
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Client:
Asbury Automotive Group
2905 Premiere Parkway
Suite 300
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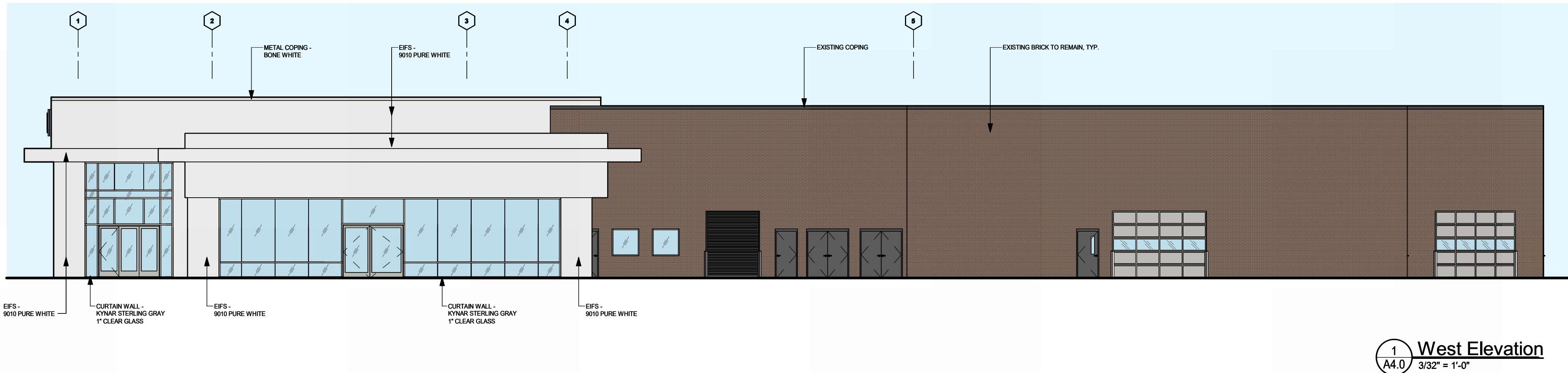
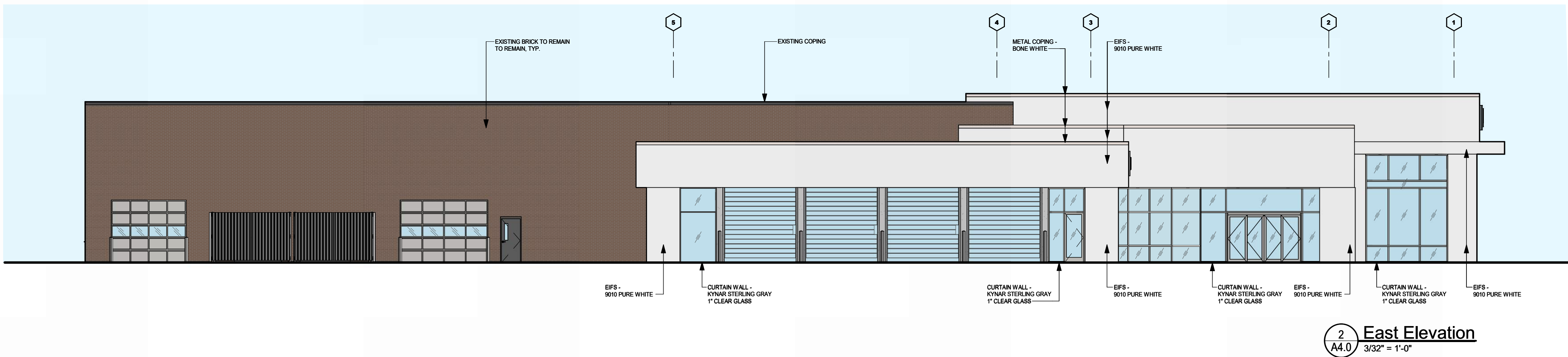
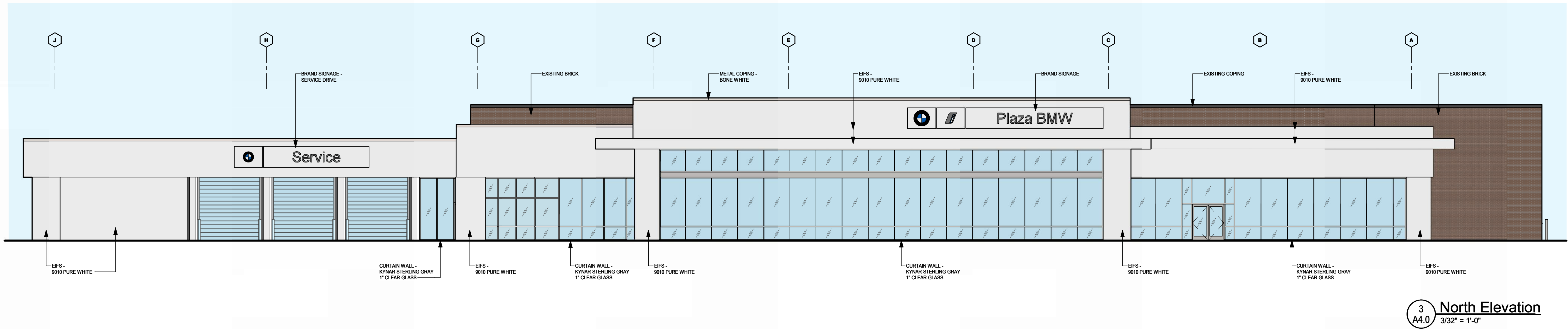
Sheet Title:
Overall Floor Plan

Sheet Number:
A2.0

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Rev	Date	Comments
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Client:
Asbury Automotive Group

2905 Premiere Parkway
Suite 300
Duluth, GA 30097

Project Number: 18119

Project Name:

PLAZA BMW

777 Decker Ln
Creve Coeur, MO 63141

Key Plan:

Sheet Title:
Exterior Elevations

Sheet Number:

A4.0



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PERMIT

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drawing.

Rev	Date	Comments
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Client:
Asbury Automotive Group

2905 Premiere Parkway
Suite 300
Duluth, GA 30097

Project Number: 18119
Project Name:

PLAZA BMW

777 Decker Ln
Creve Coeur, MO 63141

Key Plan:

Sheet Title:
**Exterior
Renderings**

Sheet Number:
A5.0



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drawing.

Rev	Date	Comments
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Client:
Asbury Automotive Group

2905 Premiere Parkway
Suite 300
Duluth, GA 30097

Project Number: 18119
Project Name:

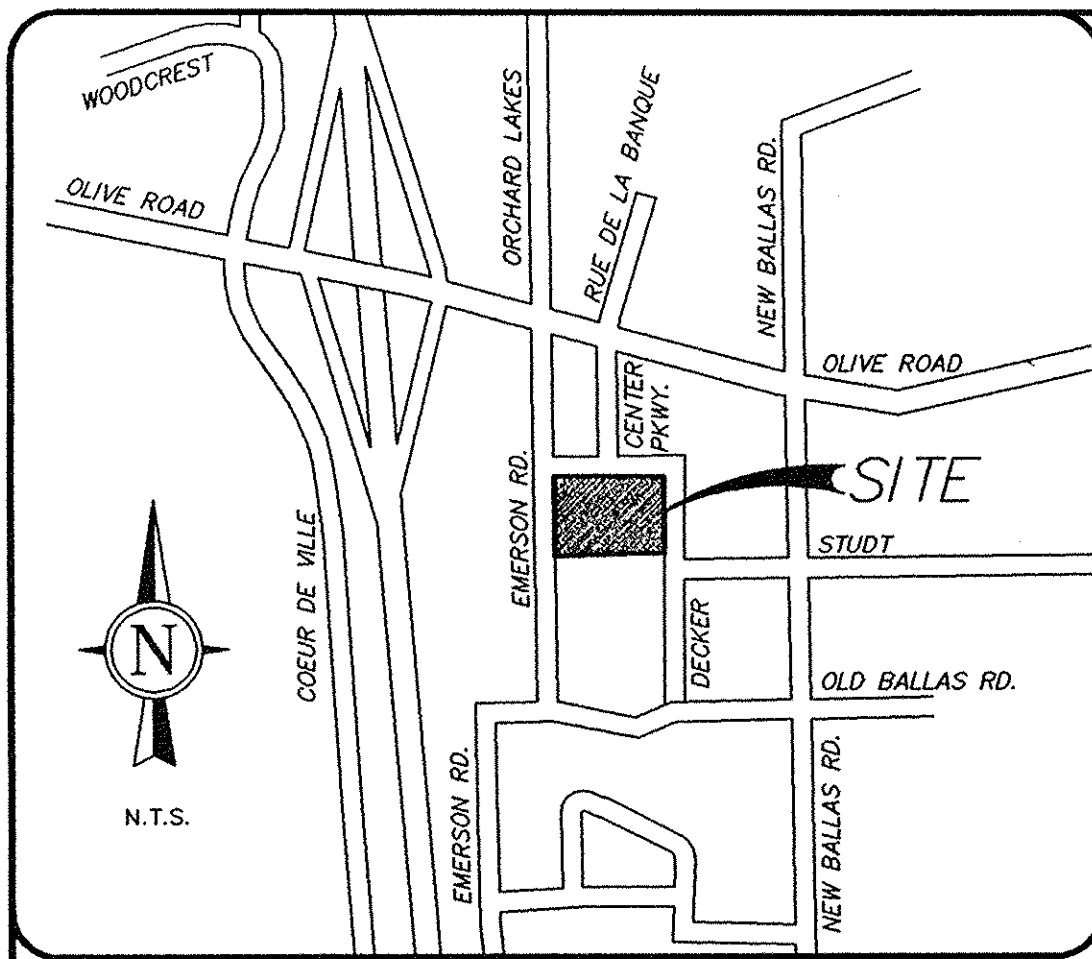
PLAZA BMW

777 Decker Ln
Creve Coeur, MO 63141

Key Plan:

Sheet Title:
**Interior
Renderings**

Sheet Number:
A5.1

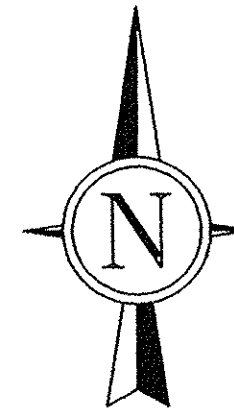


LOCATION MAP

BOOK 335 PAGE 38
FILED FOR RECORD

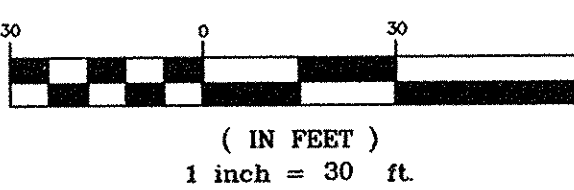
JAN 19 2005
AT 12:30 O'CLOCK P.M.
RECORDER OF DEEDS
ST. LOUIS COUNTY, MO

809



BASIS OF BEARING

BOUNDARY ADJUSTMENT PLAT
PLAT BOOK 345, PAGE 557



PREPARED FOR:
THE PLAZA MOTORS CO.
11830 OLIVE BOULEVARD
SAINT LOUIS, MO 63141
PH. (314) 301-1700
FAX (314) 301-1717

CENTER PARKWAY (60'W.) DRIVE

ADJUSTED LOT A

N/F
777 Decker Lane
(St. Louis) L.L.C., a
Delaware limited
liability company
DB. 16089 PG. 0661
LOC. # 170611677,
LOC. # 170611688,
LOC. # 170612106,
LOC. # 170612382

TROJAN (50'W.) PLACE
(VACATED BY ORD. #1390)

LOC. NO. 17061-2382

SUMMIT LOFTS, A CONDOMINIUM
PLAT BOOK 350, PAGES 649-652

I, THE UNDERSIGNED RECORDER OF DEEDS FOR SAID COUNTY AND STATE,
DO HEREBY CERTIFY THAT THE FOREGOING & ANNEXED INSTRUMENT OF
WRITING WAS FILED FOR RECORD IN MY OFFICE THE 19 DAY OF
JANUARY 2005, AT 12:30 O'CLOCK P.M., AND IS TRULY
RECORDED WITNESS MY HAND AND OFFICIAL SEAL ON THE DAY AND
YEAR AFORESAID. IN PLAT BOOK 335 PAGE 38

Janice M. Hammonds
JANICE HAMMONDS, RECORDER OF DEEDS

Shalonda Laurel
DEPUTY RECORDER



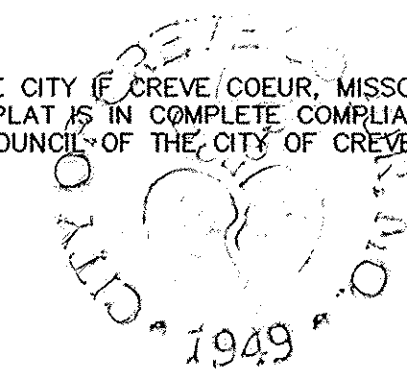
IT IS HEREBY CERTIFIED THAT THIS BOUNDARY ADJUSTMENT PLAT WAS APPROVED ON THE
6th DAY OF DECEMBER, 2004, PURSUANT TO THE SUBDIVISION
REGULATIONS OF THE CITY OF CREVE COEUR, MISSOURI, AS OUTLINED IN SAID REGULATIONS
IN SECTION 22A-3.4 OF ORDINANCE NUMBER 1045.

PLANNING AND ZONING COMMISSION
CITY OF CREVE COEUR, MISSOURI

Richard C. Meyer
Richard C. Meyer, CHAIRMAN

I, LAVERNE COLLINS, CITY CLERK FOR AND WITHIN THE CITY OF CREVE COEUR, MISSOURI, DO
HEREBY CERTIFY THAT THIS BOUNDARY ADJUSTMENT PLAT IS IN COMPLETE COMPLIANCE
WITH ORDINANCE NO. 1045 APPROVED BY THE CITY COUNCIL OF THE CITY OF CREVE COEUR.

Laverne Collins
LAVERNE COLLINS, CITY CLERK



A BOUNDARY ADJUSTMENT PLAT PLAZA LEXUS

PART OF LOTS 8 & 9 OF "THE LAKE OF HOUSE FARM SUBDIVISION" AND ALSO PART
OF "HENRY GERHARDT SUBD.", SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI

I THE UNDERSIGNED OWNER OF LAND HEREUPON PLATTED AND FURTHER DESCRIBED IN THE
FOREGOING DESCRIPTION, HAVE CAUSED THESE LOTS TO BE ADJUSTED IN LAND AREA IN THE
MANNER SHOWN ON THIS PLAT, WHICH BOUNDARY ADJUSTMENT SHALL HEREAFTER BE KNOWN
AS THE "PLAZA LEXUS."

IN WITNESS WHEREOF, I HAVE HEREWITH SET MY HAND THIS 20th DAY OF
DECEMBER, 2004

777 Decker Lane (St. Louis) L.L.C., a Delaware limited liability company
BY *Gary S. Schulz* 37 Louis LLC, AGENT

Gary S. Schulz
Signature

GARY S. SCHULZ CEO & SECRETARY
Print Name and Title

STATE OF Missouri)
COUNTY OF St. Louis) SS.

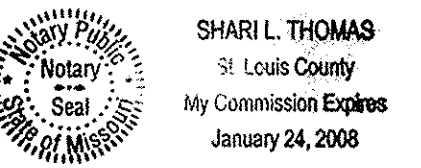
ON THIS 20th DAY OF DECEMBER, 2004 BEFORE ME DID APPEAR
Gary S. Schulz WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE
CEO & SECRETARY OF

Asbury Automotive St. Louis LLC, AGENT
AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY
COMPANY AND THAT SAID *GARY S. SCHULZ* ACKNOWLEDGED
SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN TESTIMONY WHEREOF, I HAVE HEREWITH SET MY HAND AND AFFIXED MY OFFICIAL SEAL IN
THE COUNTY AND STATE AFORESAID THE DAY AND YEAR LAST ABOVE WRITTEN.

Shari L. Thomas (SEAL)
NOTARY PUBLIC

SHARI L. THOMAS
PRINT NAME



Boundary Description

A tract of land situated in the City of Creve Coeur, the County of St. Louis, and the State of Missouri, lying in part of Section 3, Township 45 North, Range 5 East, being part of Lots 8 & 9 of "The Lake Of House Farm Subdivision", a subdivision as recorded in Plat Book 9 page 74 of the Land Records of St. Louis City (former County) and also part "Henry Gerhardt Subd.", a subdivision as recorded in Plat Book 31 page 83 of the Land Records of said St. Louis County, Missouri, and being more particularly described as follows:

COMMENCING at a set 1/2 inch iron rod marking the Northwest corner of Summit Lofts, a Condominium as recorded in Plat Book 350 pages 649-652 of said Land Records of St. Louis County, said corner being on the East right-of-way line of Emerson Avenue and the TRUE POINT OF BEGINNING for the tract herein described; thence along said East right-of-way line as follows: North 00 degrees 50 minutes 43 seconds West, a distance of 278.48 feet to a set 1/2 inch iron rod; thence North 89 degrees 09 minutes 17 seconds East, a distance of 10.00 feet to a set 1/2 inch iron rod; thence North 00 degrees 50 minutes 43 seconds West, a distance of 11.70 feet to a set 1/2 inch iron rod; thence North 88.44 degrees along the arc of a curve to the right, having a radius of 120.00 feet, through a central angle of 89 degrees 58 minutes 23 seconds, with a chord which bears North 44 degrees 08 minutes 29 seconds East, a chord distance of 189.67 feet to a set 1/2 inch iron rod marking a point of tangency, also being on the South right-of-way line of Center Parkway Drive, 60 feet wide; thence along said South right-of-way line, North 89 degrees 07 minutes 40 seconds East, a distance of 300.91 feet to a set 1/2 inch iron rod marking a point of curvature; thence 188.58 feet along the arc of a curve to the right, having a radius of 120.00 feet, through a central angle of 90 degrees 02 minutes 20 seconds, with a chord which bears South 45 degrees 51 minutes 10 seconds East, a chord distance of 189.76 feet to a set 1/2 inch iron rod marking a point of tangency, also being on the West right-of-way line of Decker Avenue, 50 feet wide; thence along said West right-of-way line, South 00 degrees 50 minutes 00 seconds East, a distance of 283.84 feet to a set 1/2 inch iron rod marking the Northeast corner of said Summit Lofts; thence leaving said West right-of-way line and along the North line of said Summit Lofts, South 88 degrees 29 minutes 00 seconds West, a distance of 550.89 feet to the POINT OF BEGINNING.

Containing 4.98 acres (216,730 square feet), according to a survey by J. R. Grimes Consulting Engineers, Inc.

THIS IS TO CERTIFY TO THE BEST OF MY BELIEF, KNOWLEDGE, AND ABILITY THAT J. R. GRIMES CONSULTING ENGINEERS, INC., AT THE REQUEST OF JOHN CAPPES OF THE PLAZA MOTORS COMPANY, DURING THE MONTH OF SEPTEMBER, 2003, PREPARED A BOUNDARY ADJUSTMENT PLAT, BASED ON FIELD INFORMATION OBTAINED FROM FIELD PERSONNEL UNDER MY DIRECTION OF A TRACT OF LAND BEING SITUATED IN THE CITY OF CREVE COEUR, THE COUNTY OF ST. LOUIS, AND THE STATE OF MISSOURI, LYING IN PART OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, BEING PART OF LOTS 8 & 9 OF "THE LAKE OF HOUSE FARM SUBDIVISION" AND PART "HENRY GERHARDT SUBD."

I ALSO DECLARE THAT UNDER MY SUPERVISION AND TO THE BEST OF MY ABILITY AND PROFESSIONAL JUDGMENT THAT THE RESULTS SHOWN HEREON ARE MADE IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY AS SET FORTH BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEY AND RULES PROMULGATED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS EFFECTIVE OCTOBER 31, 2003.

IN WITNESS WHEREOF, WE HEREWITH SET OUR FIRM NAME AT OUR OFFICE IN ST. LOUIS COUNTY, MISSOURI THIS 17th DAY OF December, 2004.



J. R. GRIMES CONSULTING ENGINEERS, INC. LS-343-D
Earl E. Graham
Earl E. GRAHAM, PLS-2262
MISSOURI PROFESSIONAL LAND SURVEYOR

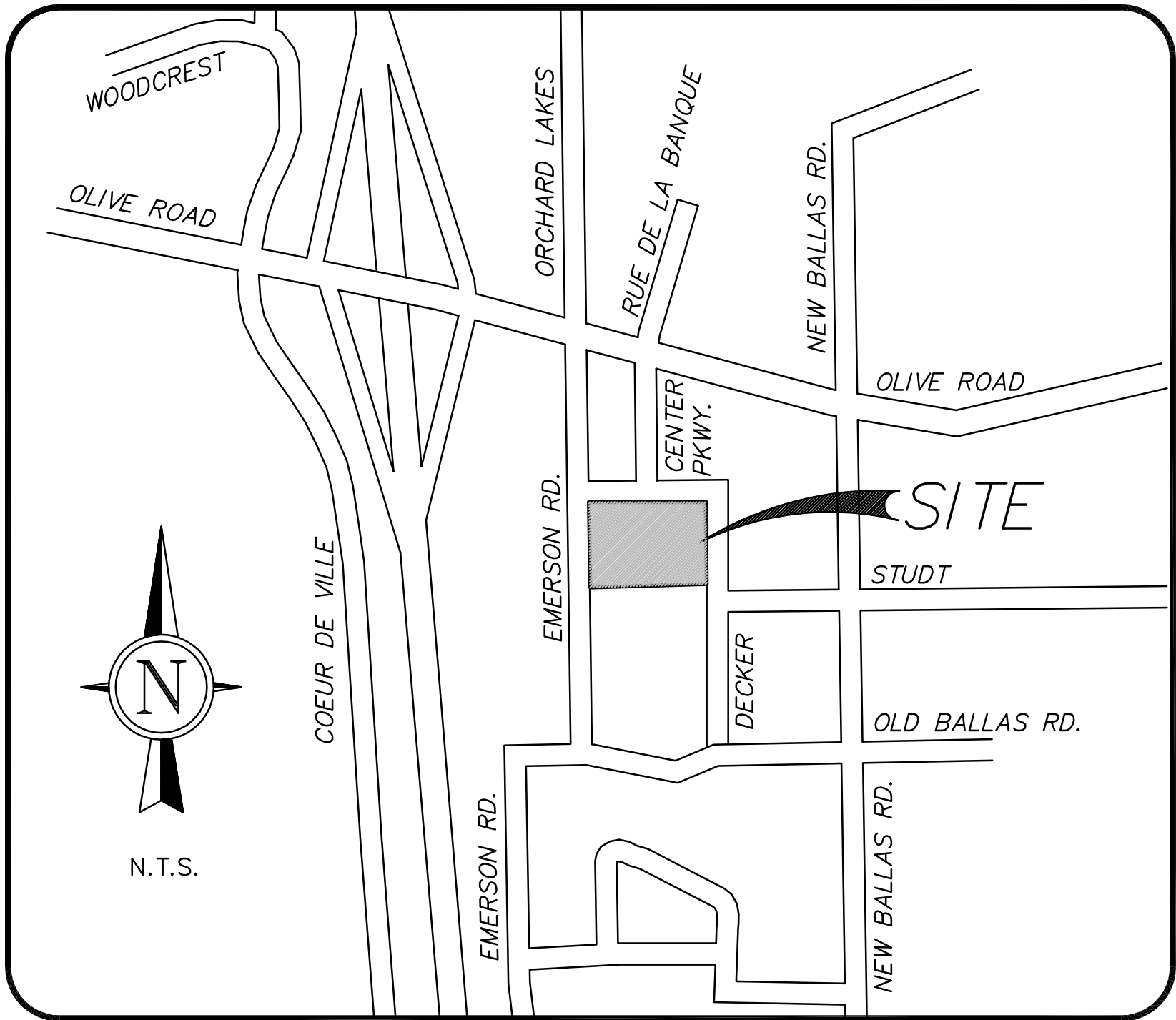
PLAZA LEXUS

A BOUNDARY ADJUSTMENT PLAT

J. R. GRIMES
CONSULTING ENGINEERS, INC.

12300 OLD TESSON ROAD
SUITE 300-D
ST. LOUIS, MO. 63128
PH. (314) 849-6100
FAX (314) 849-6010
E-MAIL: jrgeng@mlnk.com

DRAWN BY: R.S. DATE: 12/1/04 CHECKED BY: E.E.G. DATE: 12/1/04 JOB NUMBER: 1134 SHEET: 1 of 1



LOCATION MAP

BILL NUMBER 3220

ORDINANCE NUMBER 2240

**AN ORDINANCE TO REPEAL ORDINANCES 1862, 1777, 1376, 1368
AND 1321 AND TO AUTHORIZE A NEW ORDINANCE FOR THE
ISSUANCE OF A CONDITIONAL USE PERMIT FOR THE OPERATION
OF AN AUTOMOBILE SALES AND SERVICE FACILITIES AND ALSO
TO AUTHORIZE AUTOMOBILE LEASING FACILITIES BY THE
PLAZA MOTORS COMPANY AT 11830 OLIVE BOULEVARD, IN THE
'CB' CORE BUSINESS DISTRICT, SUBJECT TO THE CONDITIONS
HEREIN SETFORTH**

WHEREAS, application was made by Mr. Dan Tate, on behalf of the Plaza Motors Company, for a Conditional Use Permit and Site Development Plan for a proposed Lexus Dealership on the properties comprising five (5) acres between Emerson Road and Decker Lane, zoned CB, Core Business District, and

WHEREAS, Community Development staff recommended the repeal of all prior ordinances for Plaza Motors Company and the passage of a single ordinance for the entire Plaza Motors campus including the proposed Lexus Dealership, and

WHEREAS, under Section 26-43.3(f), automotive dealerships and 26-43.3(i) auto rental and leasing require the issuance of a Conditional Use Permit as defined under Section 26-114, and

WHEREAS, on October 7, 2003, the Planning and Zoning Commission of the City of Creve Coeur, by unanimous vote recommended approval of said application as per Section 26-114.4(b), and

WHEREAS, a Public Hearing was held by the Creve Coeur City Council on October 27, 2003 beginning at 7:00 p.m. or immediately following the close of the previous Public Hearing, on said application for the Conditional Use Permit as provided by Article 9, Section 26-114 of Ordinance Number 1903 of the City of Creve Coeur, and

WHEREAS, notice of publication for said Public Hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian on October 10, 2003 and in the West County Journal on October 12, 2003 newspapers of general circulation in the City of Creve Coeur, and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting three times before final passage by the City Council, and

WHEREAS, the City Council being fully informed finds that the granting of the application would be in harmony with and bear a substantial relation to the public welfare, health, safety, comfort and convenience of the citizens of the City of Creve Coeur and in the public interest and in conformance with good zoning practice.

Now, therefore, be it Ordained by the City Council of the City of Creve Coeur as follows:

Section 1: The Conditional Use Permit authorized shall be subject to all ordinances, rules and regulations of the City of Creve Coeur and is issued pursuant to Section 3 hereof for the inclusion of the property commonly known as the Plaza Motors campus, zoned CB, Core Business District, subject to the hereinafter stated conditions, for the campus with boundaries established by the amended Site Concept prepared by TRI Architekts, Inc. and received by the Department of Community Development on September 25, 2003.

Section 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. This conditional use permit is for the operation of automobile sales and service facilities, SIC Code 5511, and automobile leasing facilities, SIC 7515.
2. The campus shall be developed in accordance with the approved Site Concept Plan prepared by TRI Architekts, Inc. and received by the Department of Community Development on October 16, 2003. Any future enlargement, extension, expansion or alteration in the use of the structures or campus, above and beyond the approved Site Concept Plan shall require approval by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement or alteration may be issued. Planned site development as shown on the approved Site Concept Plan shall be reviewed by City Council upon receipt of a recommendation by the Planning and Zoning Commission as required by Section 26-43.7(a) of the Zoning Ordinance.
3. The hours of operation shall not exceed 6:00 A.M. to 10:00 P.M.
4. All trash collection or dumpsters shall be properly screened from view as approved by the City of Creve Coeur.
5. Parking on the Plaza Motors Campus shall be restricted to the following:
 - a) Parking shall be prohibited within 35 feet of the right-of-way along Center Parkway. The short-term staging of demonstration vehicles shall be allowed, providing that pavement markings and signage to delineate staging areas are installed, as directed by the Department of Community Development.
 - b) Public parking shall be prohibited on internal driveways which are located between a line connecting the northeast corner of Building A (BMW/Cadillac showroom) and the northeast corner of Building B (Mercedes Benz showroom) and the Olive Boulevard right-of-way. The short-term staging of vehicles shall be allowed providing that pavement markings and signage to delineate staging areas are installed, as directed by the Department of Community Development.
 - c) Parking for the short-term staging of vehicles shall be permitted on the internal drive between the service garage and the rear parking lot for Building "A" providing that pavement markings and signage to delineate staging areas are installed, as directed by the Department of Community Development.
 - d) Low-level landscaping shall be installed in front of the customer parking area for Building "C" in order to screen parking spaces from Olive Boulevard.
 - e) The loading and unloading of vehicles shall be permitted within the center lane of Decker Lane, a public street, between Studt Avenue and the private drive adjacent to the northern extent of the service garage provided that precautions are taken including, but not limited to, the placement of temporary traffic control markers and pavement markings near the work area. The city reserves the right to revoke permission to use the street for loading

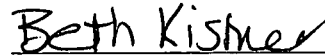
- purposes should an apparent and immediate threat to the general welfare and safety of the city's residents and visitors be determined. Revocation shall be directed by City Council upon the issuance of a temporary suspension order by the Creve Coeur Police Department. Should revocation occur, Plaza Motors shall be required to cease loading activity on Decker Lane immediately.
- f) Public parking shall be prohibited in the parking structure. Only the storage of inventory vehicles shall occur on the top level parking structure.
 - g) The storage of damaged or wrecked vehicles shall not occur in the parking lot located at the northeast corner of Decker Lane and Old Ballas Road.
 - h) The parking lot on the northeast corner of the intersection of Old Ballas Road and Decker Lane shall be developed and maintained in accordance with the Site Development Plan prepared by Clayton Engineering Co. with an issue date of January 7, 1997 and a latest revision date of May 21, 1997.
 - i) Off-site accessory parking allowing Plaza Motors to park vehicles at Creve Coeur Corporate Center is approved by the Planning and Zoning Commission per Section 26-91.5 of the Zoning Ordinance. A copy of the agreement shall be reviewed by the City Attorney and thereafter recorded with the St. Louis County Recorder of Deeds. The applicant shall submit two (2) recorded copies of the agreement with the Department of Community Development.
- 6. Discarded automobiles parts are to be kept entirely within an enclosed trash collection area or inside the buildings.
 - 7. No building is to be erected on the properties addressed 630-648 Decker Lane, which is currently a Plaza Motors parking area at the northeast corner of Decker Lane and Old Ballas Road, until the property addressed as 652 Decker Lane is added to the property assemblage.
 - 8. Plaza Motors shall participate in the cost of the traffic signalization of that portion of the N. New Ballas and Studt Avenue intersection outside the boundaries of the former T.I.F. district by contributing \$20,000.00.
 - 9. All signage shall conform to the Plaza Motors Master Signage Plan (current or future). No pennants, fringes, lights, pin wheels, or other similar devices for attracting attention may be displayed at any time in connection with the operation of the business.
 - 10. Parking lot lighting shall consist of full cut-off (73° cut-off angle), downcast fixtures with the illuminant source shielded from view, except architecturally significant lighting and lighting directed onto the building facades, as approved by the Planning and Zoning Commission.
 - 11. All landscaping shall meet the Landscaping Guidelines, Section 26-62 of the Zoning Ordinance.
 - 12. The use of existing outdoor speakers or a paging system shall be permitted. Outdoor speakers are not permitted on new facilities.
 - 13. A copy of all herein attached conditions shall be furnished by the owner or petitioner to the operator(s) or manager(s) including successive operator(s), owner(s) or manager(s) who shall forward to the Zoning Enforcement Officer an acknowledgement that he or she has read and understood each of these conditions and agrees to comply therewith.
 - 14. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease.

15. All conditions contained within this permit shall be posted upon the properties in such a manner that it is visible to the public and the operator of said facilities.
16. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.

Section 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance.

Section 4: This ordinance shall become effective 15 days after adoption by the City Council and the signing thereof by the Mayor.

Adopted by City Council this 10th day of November, 2003.


BETH KISTNER
PRESIDENT OF CITY COUNCIL

Approved this 10th day of November, 2003.


HAROLD DIELMANN
MAYOR

ATTEST:


LAVERNE COLLINS, CMC
CITY CLERK