



**AGENDA
CITY OF CREVE COEUR
PLANNING AND ZONING
300 NORTH NEW BALLAS RD
OCTOBER 20, 2025
6:00 PM**

CALL TO ORDER

ROLL CALL

Ms. Julie LaBonte (Chair)
Mr. Thomas Buelter
Ms. Rhonda O'Brien
Mr. Larry Potashnick
Ms. Marjorie Richter
Mr. Stephan Tomlinson
Mr. AJ Wang

Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, AICP, Director of Community Development
Ms. Bethany L. Moore, AICP, City Planner
Ms. Claralyn Bollinger, Recording Secretary, Administrative Services Supervisor

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

- 1. October 6, 2025 Planning and Zoning Commission Draft Meeting Minutes**

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS

NEW BUSINESS

- 1. Application #25-029 and #25-030: Application for A Site Concept Plan and Site Development Plan with Associated Boundary Adjustment for Ballas Dental Located at 11647 Studt Avenue**

Elliott Reed, on behalf of Ballas Dental, has submitted an application for a Site Development and Site Concept Plan and associated Boundary Adjustment for the construction of a new dental office building and parking lot at 11647 Studt Avenue and portions of the adjacent vacant parcels within the "CB" Core Business Zoning



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District. The project consists of a 1-story, 8,761 square foot dental office building with a 64-space parking lot. A Boundary Adjustment to adjust the boundaries of the subject properties to facilitate this development has also been submitted. Pursuant to Section 405.370.G. review by the Planning and Zoning Commission with final approval by the City Council is required for all new developments within this area of the "CB" Core Business District.

WORK AGENDA

1. Bayer East Comprehensive Plan Update

Staff will review the revised draft plan recommendations for the Commission's review prior to seeking public input at the Open House.

2. Discussion of the review process for the proposed Olive-Graeser development rezoning application (Graeser Station)

Staff will discuss the review process for the pending rezoning application.

PENDING APPLICATIONS

DEPARTMENT REPORTS

ADJOURNMENT

Pursuant to Section 610.022 RSMo., the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. And/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Posted by: _____

Date/Time posted: _____



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If you need special accommodations to attend a meeting, services may be arranged by contacting the Office of the City Administrator in advance.



**DRAFT MINUTES
CITY OF CREVE COEUR
PLANNING AND ZONING
COMMISSION
300 NORTH NEW BALLAS RD
OCTOBER 6, 2025**

CALL TO ORDER

A regular meeting of the Planning and Zoning Commission of the City of Creve Coeur was called to order by Chair Julie LaBonte at the City Council Chamber, 300 North New Ballas Rd, City of Creve Coeur Government Center, Creve Coeur, MO 63141 on Monday, October 6, 2025, at 6:00 PM.

ROLL CALL

Ms. Julie LaBonte (Chair)
Mr. Thomas Buelter
Ms. Rhonda O'Brien
Mr. Larry Potashnick – absent
Ms. Marjorie Richter
Mr. Stephan Tomlinson
Mr. AJ Wang - absent

Ms. Mary Schnellmann, Acting City Attorney
Mr. Jason Jaggi, AICP, Director of Community Development
Ms. Bethany L. Moore, AICP, City Planner
Ms. Claralyn Bollinger, Recording Secretary, Administrative Services Supervisor

ACCEPTANCE OF THE AGENDA

RESULT: APPROVED (UNANIMOUS) MOVER: Ms. O'Brien SECONDER: Ms. Richter AYES: Mr. Buelter, Ms. LaBonte, Ms. O'Brien, Ms. Richter, Mr. Tomlinson NAYS: None

The vote on the motion being 5 ayes and 0 nays, motion carried.

APPROVAL OF MINUTES

- 1. September 15, 2025 Planning and Zoning Commission Draft Meeting Minutes**



**DRAFT MINUTES
CITY OF CREVE COEUR
PLANNING AND ZONING
COMMISSION
300 NORTH NEW BALLAS RD
OCTOBER 6, 2025**

**2. September 29, 2025 Planning and Zoning Commission Special Meeting
Draft Minutes**

RESULT: APPROVED (UNANIMOUS)

MOVER: Ms. O'Brien

SECONDER: Mr. Tomlinson

AYES: Mr. Buelter, Ms. LaBonte, Ms. O'Brien, Ms. Richter, Mr. Tomlinson

NAYS: None

The vote on the motion being 5 ayes and 0 nays, motion carried.

PUBLIC COMMENT

There were no public comments.

UNFINISHED BUSINESS

There was no unfinished business.

NEW BUSINESS

**1. Public Hearing. #25-031: A Conditional Use Permit with Associated Site
Development Plan for Firebird's Wood Fired Grill Located at 10590 Old
Olive Street Road**

Mike Williams, General Manager of Firebirds in St. Charles, gave a presentation. Firebirds is a national leader in the polished-casual restaurant segment and it was established in 2000 in North Carolina. Now there are 65 locations in 22 states. They have a made-scratch kitchen and use a wood-fired grill. The restaurant offers a three-course meal option as well as a regular menu with steaks, seafood, chicken, ribs, burgers, sandwiches and salad entrees. Craig Bellew with Altus Properties also spoke as property manager of the plaza.

Mr. Tomlinson: What about the patio?

Ms. Richter: There will be 44 outside seats according to the material we were given.

Mr. Williams: The covered patio will not be enclosed, but will have heating elements on it.

Ms. O'Brien: Will you reconfigure the parking lot?

Mr. Bellew: Parking will remain the same.

Mr. Buelter: Will there be music on the patio?

Mr. Williams: Yes.



**DRAFT MINUTES
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OCTOBER 6, 2025**

Ms. Moore gave the City's presentation. This is located in the Creve Coeur Pavilion complex, which is in the GC General Commercial zoning district and requires a Conditional Use Permit. There will be two additions to the existing building, including a patio. There will be 183 indoor seats, 44 outdoor patio seats with 25 employees at the busiest time. Hours of operation shall be Sunday 10:00 AM - 10:00 PM, Monday - Thursday 11:00 AM - 10:00 PM, Friday 11:00 AM - 11:00 PM and Saturday 10:00 AM - 11:00 PM. Rooftop screening will be painted to match the building. 949 existing parking spaces throughout the development. This use requires 87 parking spaces. 24 new trees will be installed on site with new landscaping around the building. There is existing underground irrigation.

Mr. Buelter: What is the condition of the trash enclosure?

Ms. Moore: It is in good condition.

Mr. Buelter: Lighting condition?

Ms. Moore: The lighting is compliant and no new lighting is required.

Carolina Martinez, Project Manager with Starr Design, presented the design elements. She discussed the interior design features. Lighting is strategically placed to highlight the wooden elements of the restaurant. Exterior elevations were discussed. An art piece with enclosed fire will be one of the main features and the bar will be double sided with part facing the patio.

Mr. Buelter: Timeline of construction?

Ms. Martinez: Construction will start in January.

Ms. Schnellmann presented the exhibits into the record.

RESULT: APPROVED (UNANIMOUS)

MOVER: Ms. O'Brien

SECONDER: Mr. Tomlinson

AYES: Mr. Buelter, Ms. LaBonte, Ms. O'Brien, Ms. Richter, Mr. Tomlinson

NAYS: None

The vote on the motion being 5 ayes and 0 nays, motion carried.

WORK AGENDA

1. Bayer East Comprehensive Plan Update--Progress Report

Mr. Jaggi thanked the Commission for attending the work session last week. A Final draft for review prior to presenting the recommendations at the Open House for public review and comment will be presented at the October 20 P & Z meeting. October 29 will be the second Open House. Postcards will be sent to adjacent neighbors of Bayer



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East and trustees. Email invitation will be sent to previous attendees and those who submitted comments via the website. There will be a presentation, and we will say at the beginning that there will be time for questions after the presentation. The process will be touched on, but the bulk of the presentation will be the draft recommendations. The website has a public comment feature and has been updated with the open house postcard graphic, revised timeline and the two prior P&Z work session presentations by PGAV Planners.

2. 2026 Planning and Zoning Commission Meeting Schedule

2026 meeting schedule was discussed.

RESULT: APPROVED (UNANIMOUS)

MOVER: Mr. Tomlinson

SECONDER: Mr. Buelter

AYES: Mr. Buelter, Ms. LaBonte, Ms. O'Brien, Ms. Richter, Mr. Tomlinson

NAYS: None

The vote on the motion being 5 ayes and 0 nays, motion carried.

PENDING APPLICATIONS

1.

- **Ballas Dental Boundary Adjustment and Site Concept/Development Plan for 11647 Studt Avenue**
- **Olia Village Lot 16 Townhomes**

Ms. Moore mentioned that the Ballas Dental boundary adjustment and site concept/development plan is scheduled for the October 20 Commission meeting. The Olia Village Lot 16 townhomes do not have a meeting date assigned.

Mr. Buelter: Have we heard back on the parking lot dispute?

Mr. Jaggi: It's been a few weeks. They have engaged a civil engineer to examine splitting the parking lot. They also have an attorney.

Mr. Buelter: Any word back from the garden fence person?

Ms. Moore: He did apply for a fence permit. We are still working out details with him. I am waiting for the drawing of what the fence will look like from his contractor.

DEPARTMENT REPORTS

Mr. Jaggi spoke about data centers. He will bring a text amendment soon to make them Conditional Uses instead of Permitted Uses within the currently listed zoning districts.



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OCTOBER 6, 2025**

We have been using the system-generated agenda link for the Commission packet. The Commission agreed the email link is easier to access the meeting packet.

ADJOURNMENT

Meeting adjourned at 6:45 PM.

Submitted by:

Recording Secretary

Chair



city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141

(314) 432-6000 • Fax (314) 872-2539

**APPLICATION TO PLANNING AND ZONING COMMISSION
#25-029 AND #25-030: APPLICATION FOR A SITE CONCEPT PLAN AND
SITE DEVELOPMENT PLAN WITH ASSOCIATED BOUNDARY
ADJUSTMENT FOR BALLAS DENTAL LOCATED AT 11647 STUDD
AVENUE**

FOR THE MEETING OF: Monday, October 20th, 2025

LOCATION: 720 and 724 Will Avenue and 11647 and 11653 Studd Avenue,
Zoned CB-Core Business District.

REQUEST: Elliott Reed, on behalf of Ballas Dental, has submitted an application for a Site Development and Site Concept Plan and associated Boundary Adjustment for the construction of a new dental office building and parking lot at 11647 Studd Avenue and portions of the adjacent vacant parcels within the "CB" Core Business Zoning District. The project consists of a 1-story, 8,761 square foot dental office building with a 64-space parking lot. A Boundary Adjustment to adjust the boundaries of the subject properties to facilitate this development has also been submitted.

ADDITIONAL INFORMATION: Pursuant to Section 405.370.G, review by the Planning and Zoning Commission with final approval by the City Council is required for all new developments within this area of the "CB" Core Business District.

Key Issues:

- Does the request further the goals and/or implement the Comprehensive Plan?
- Does the request follow the Design Guidelines?

**Creve Coeur 2030 Plan
References**

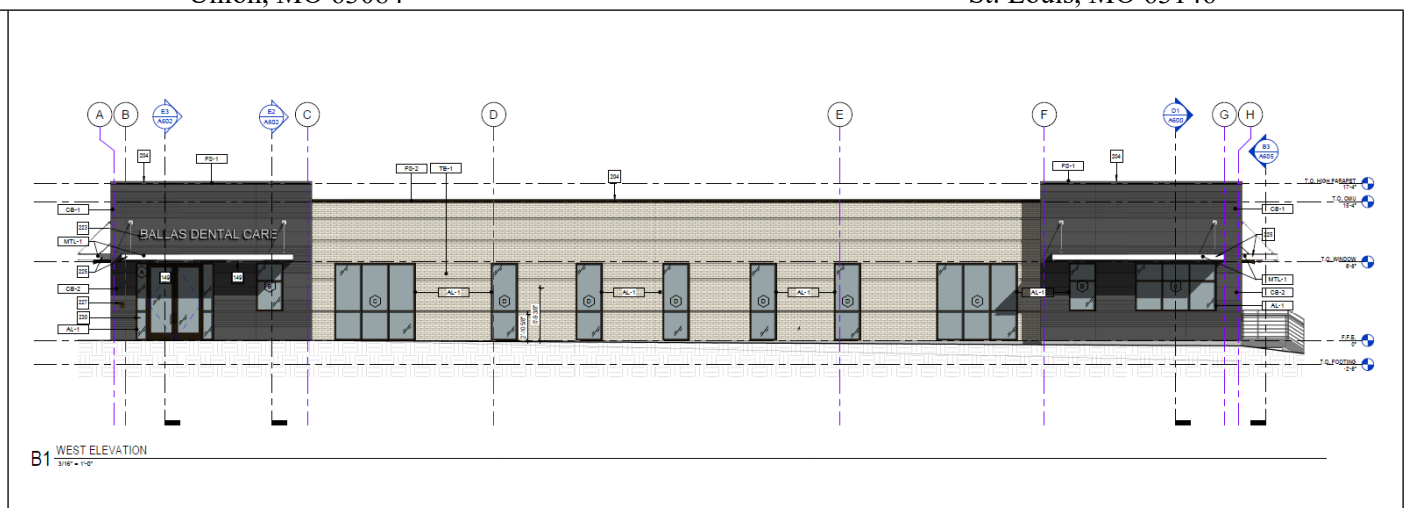
- Community Center District (CC)
- Central Business District (CBD)

Zoning Code References

- Section 405.370: CB-Core Business Zoning District
- Section 405.1080: Site Concept, Site Development and Minor Site Plan Approval

APPLICANT: Elliot R. Reed, P.E.
Cochran
530A East Independence Drive
Union, MO 63084

PROPERTY OWNER: Dan Dokovic
Bamboo Equity Partners
11701 Borman Drive Suite 100
St. Louis, MO 63146



REPORT PREPARED BY: Bethany L. Moore, City Planner

DATE: 10/15/25

ATTACHMENTS: Applicant's revised materials submitted 10/10/25, 10/13/25 and 10/15/25.

PROPOSAL

Elliot Reed, P.E. of Cochran Engineering, on behalf of Ballas Dental, has submitted an application for a site concept plan, a site development plan, and an associated boundary adjustment. Per Section 405.370 all developments within the "CB"-Core Business Zoning District require site concept and site development plan review and approval by the Planning and Zoning Commission and City Council. The boundary adjustment proposes to consolidate 5 existing lots into 2 new lots, one of which will be developed for the new building and parking lot for Ballas Dental. The subject lots were previously part of the Creve Coeur Plaza redevelopment project that was reviewed by the Planning and Zoning Commission in preliminary form in 2023 and did not move forward. The site development plan includes the construction of a new one-story, 8,761-square foot building with surrounding surface parking lot to be used for the dental office. This use is a permitted use in the CB zoning district.

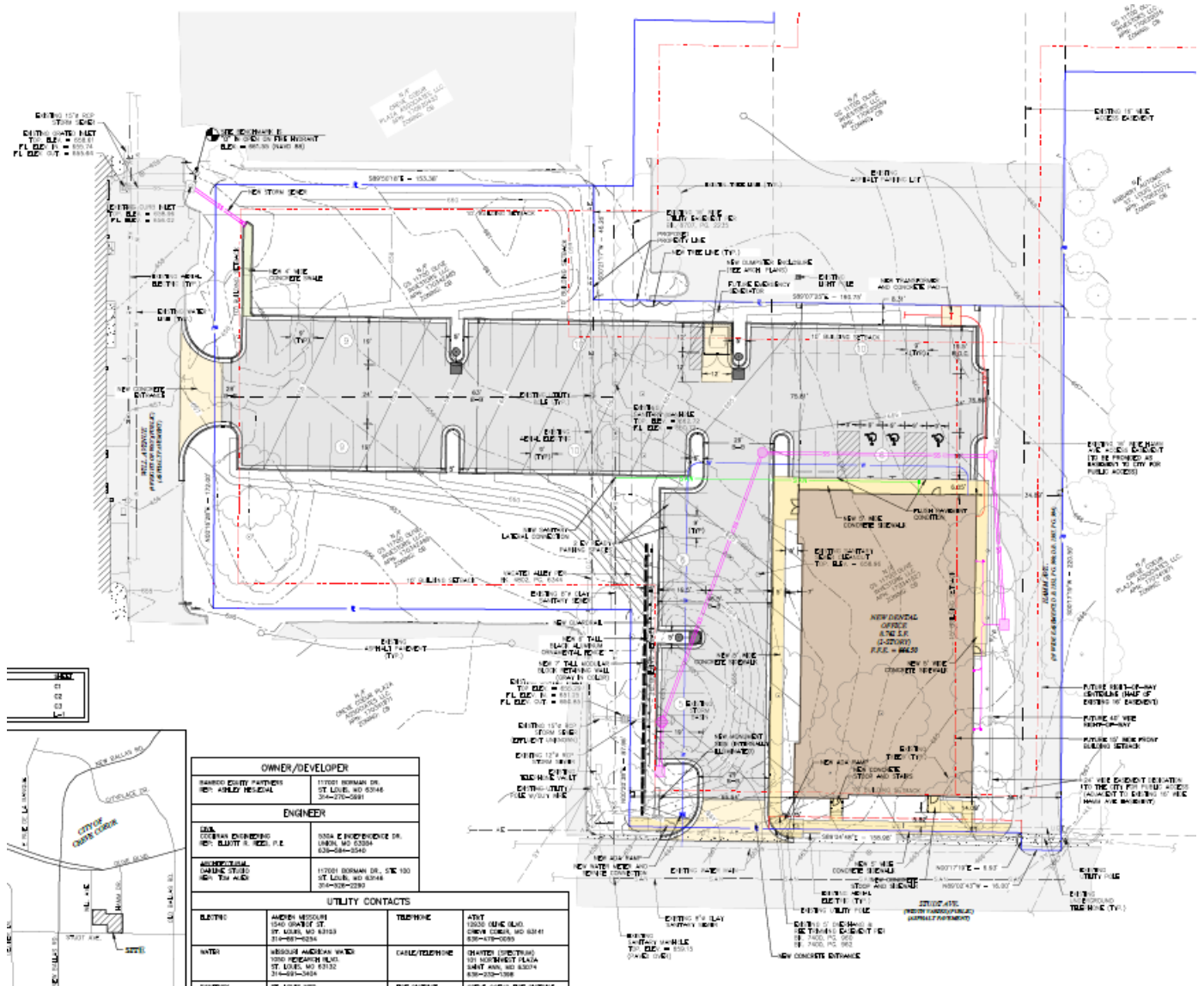


Figure 1: Site Concept and Site Development Plan for Ballas Dental

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Commercial	CB-Core Business District	N/A
South	Commercial	CB-Core Business District	Studt Avenue
East	Commercial	CB-Core Business District	Ham Avenue
West	Commercial	CB-Core Business District	Will Avenue

COMPREHENSIVE PLAN REVIEW

The subject property is located within the Central Business District and the Community Center District of the *Creve Coeur 2030 Comprehensive Plan*. The Community Center District is a smaller, more concentrated portion of the larger Central Business District bounded by Olive Boulevard to the north; Old Ballas Road to the south; Old Ballas Road to the east, and N. New Ballas Road to the west. The Community Center District is identified as the potential location for a town center, which followed along the lines of the previous 2002 comprehensive plan recommendations, and the PO-Planned Office zoning district to the east is identified as an alternative town center location. The Vision for Creve Coeur's Central Business District is to create a vibrant, walkable, amenity-rich mixed-use commercial center for the community surrounding a high-intensity Downtown core that will provide a central gathering place for community events and serve as the identifiable heart of Creve Coeur (p.72.) The recommendations for properties along secondary streets, such as Studt Avenue, in the Community Center District include a variety of active, office, and residential ground floor uses, side and rear lot parking for structures as opposed to in front of the building, and outdoor dining and retail site amenities (p.76.)

The applicant is proposing the construction of a 1-story dental office building and a surface parking lot with frontage on a secondary street, Studt Avenue, and a service street, Ham Avenue which aligns with the goals of the Comprehensive Plan. This property includes several smaller parcels that will be consolidated into one larger parcel for this project. The building is placed close to the street on both frontages with the parking lot to the side and rear of the building. As part of this project several easements related to Ham Avenue will be dedicated to the City for public use of this private roadway to match the conditions adjacent to the Plaza Jaguar location at the Olive Boulevard and Ham Avenue intersection. These easements align with the Comprehensive Plans' goal of using Ham Avenue as a secondary street to access the future downtown core and facilitate future improvements. Staff believes that this project meets with the applicable components of the Comprehensive Plan.

Design Guidelines Review

The Design Guidelines for new buildings recommend that all elevations receive equal design consideration as the primary elevation (p.8) and that the design be compatible with the character of the area including complementary building style, form, size, color and materials (p.9). Materials should have good architectural character, be durable, and be selected for their compatibility with adjoining buildings and properties. Preferred building materials include stone, brick, architectural precast concrete, aluminum and glass (p.9.) Services, trash or utility areas should be screened and positioned to minimize view and visual impact to public streets. (p.10.) Parking areas should be located to the side or rear commercial buildings with landscaped parking islands incorporated to break up large rows of stalls and retaining walls should utilize materials that match the primary building material (p.19-20.)

The primary building material is a light-colored brick with differentiated corner elements of dark gray Nichiha cement board. The predominate material of the surrounding commercial buildings in this area are brick. The trash enclosure matches the building materials and is placed at the rear of the building. The parking lot is to the rear and side of the building with landscaping islands placed to break up large expanses of parking stalls. The proposal also includes a new sidewalk along the Studt Avenue frontage and easement dedications to the City to allow public access in the future along Ham Avenue. Staff believes that this project meets with the applicable components of the Design Guidelines.

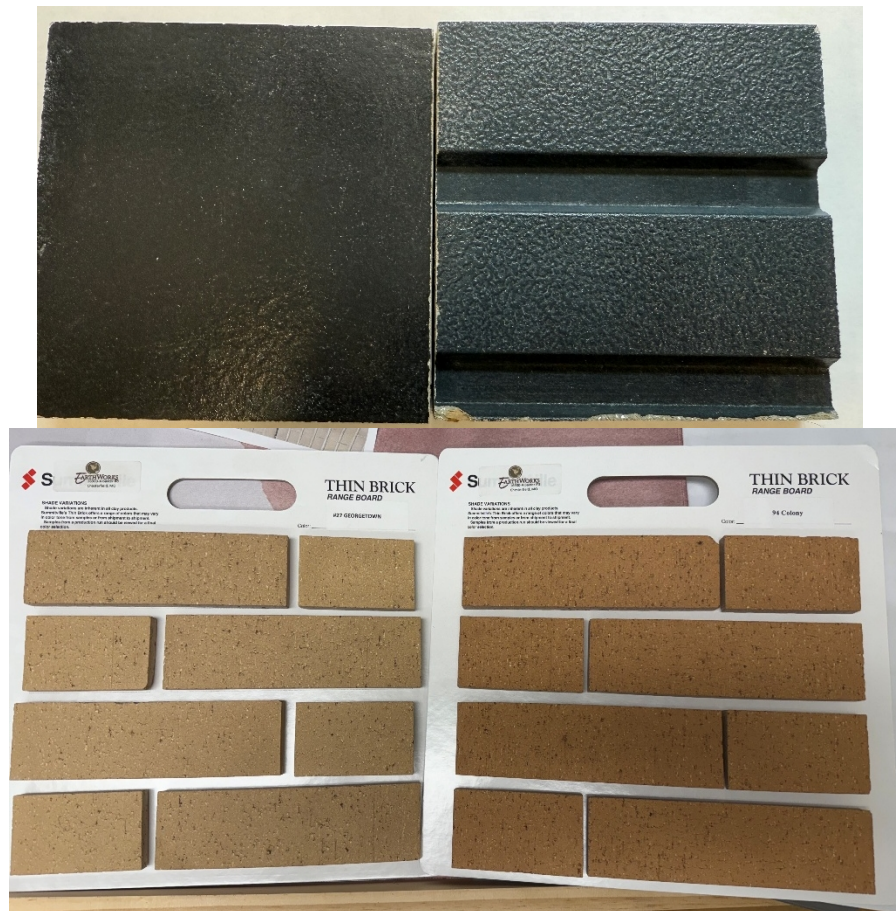


Figure 2: Material samples provided.

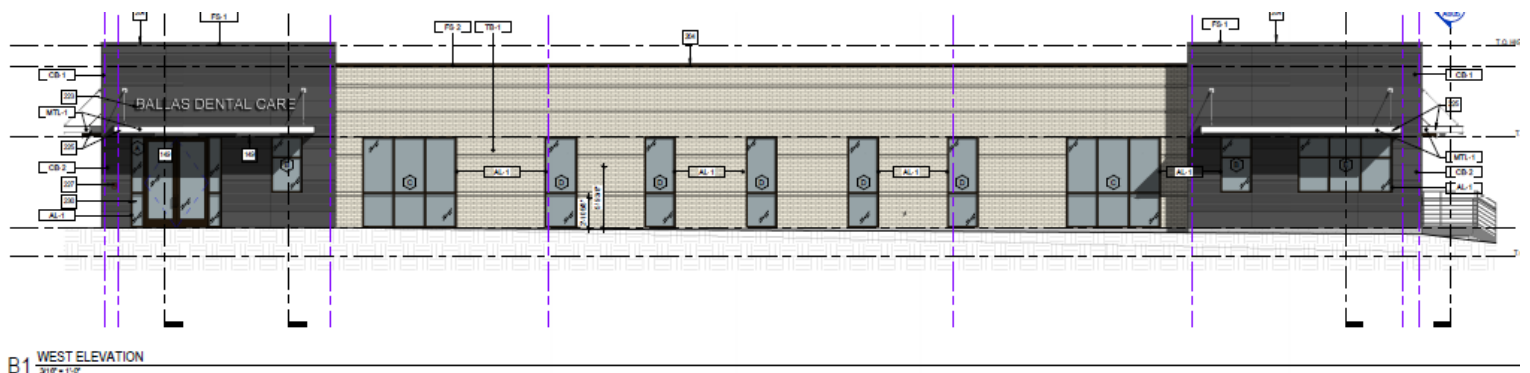


Figure 3: West elevation.

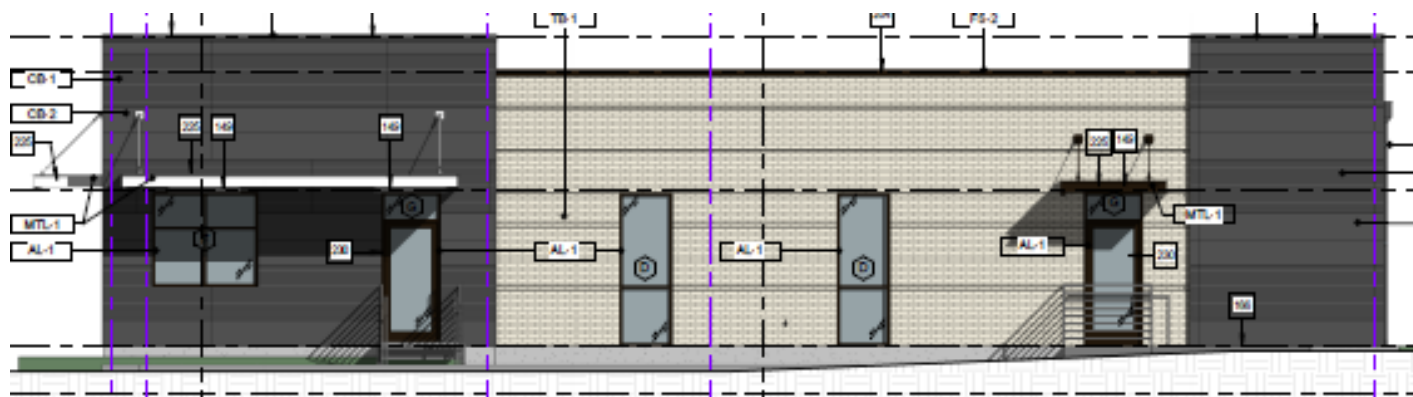


Figure 4: South Elevation.

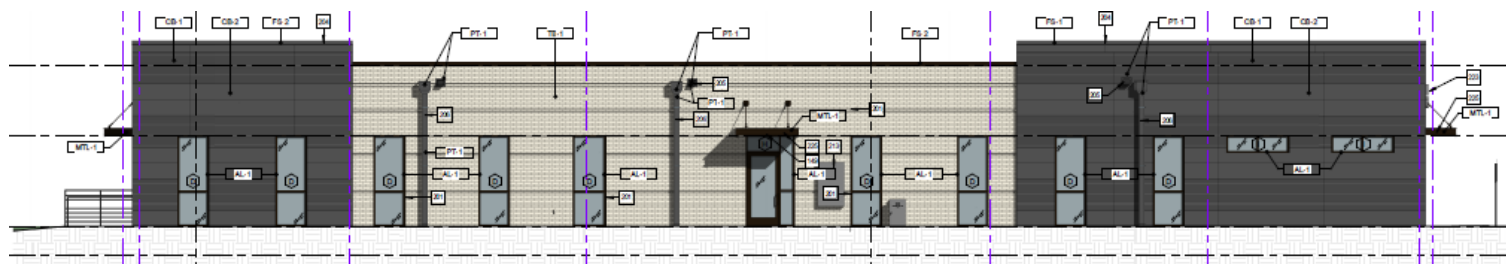


Figure 5: East Elevation.

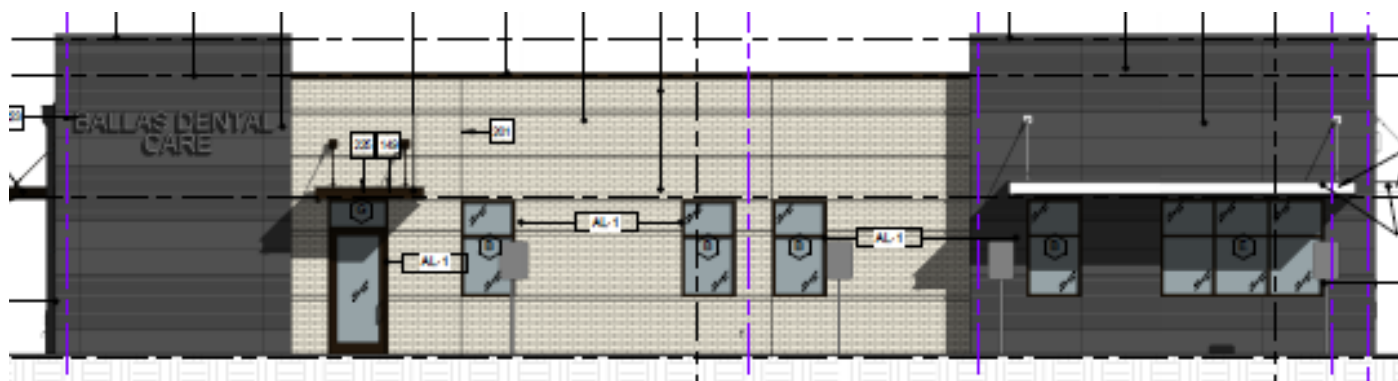


Figure 6: North Elevation.

Building Elevations

The new building will be 8,761 square feet and will include space for 22 dental chairs. The primary material is a light, neutral colored brick and the secondary material is a dark grey Nichiha cement panel on the corner elements. The design and materials appear to fit in with the existing surrounding commercial buildings which are majority brick. The material change and plane breaks provided by the architectural elements at the corners help to break up the longer building facades. All four elevations receive the same architectural design and attention as the primary façade. The building sits on Studt Avenue and Ham Avenue but the main entrance will be the west elevation facing the parking lot with entry access on all sides. The building is one story and just over 17 feet tall. The parapet wall is proposed to be tall enough to screen all rooftop utility units and a condition of approval that the units be screened is included. The trash enclosure is behind the building and made of materials to match the building.

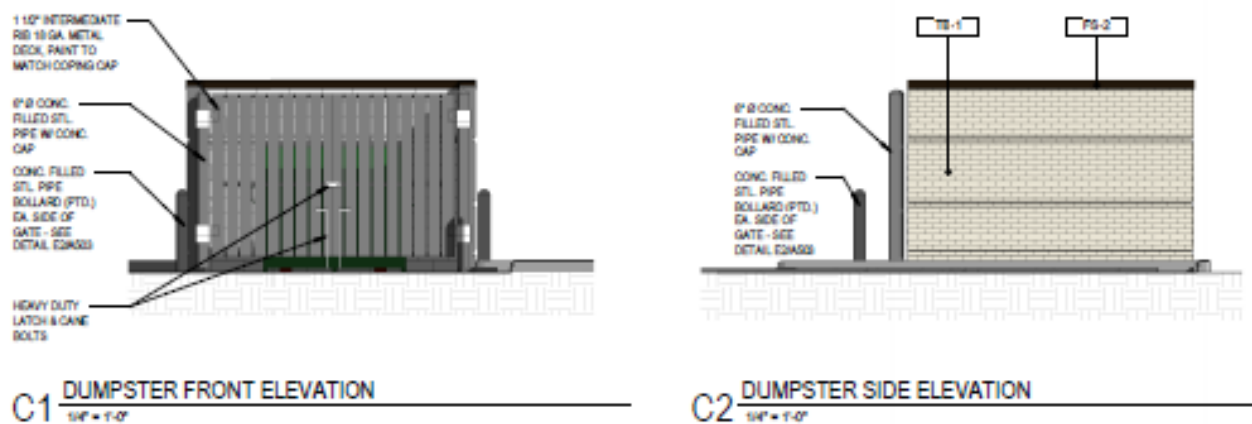


Figure 7: Trash Enclosure.

ZONING REVIEW

Site Concept and Site Development Plan

In the “CB” Core Business District, per Section 405.370.D. of the zoning code, the submittal of a site concept plan and site development plan is required for all proposed developments. The proposed development will take place in one phase and the site concept plan matches the site development plan.

A Site Development Plan is intended to provide a basis for review which include items such as landscaping, tree preservation, site grading, stormwater management, and shall include architectural elevations, landscape plans, and specific information on the building’s use, bulk, and placement. Section 405.370(A) of the Zoning Code states that site development plan approval by the Planning and Zoning Commission and the City Council shall be required to guide and control private development and redevelopment of the major business districts of the City of Creve Coeur in coordination with related public improvements and services. Since the lots are not subject to a subdivision of land, a tree preservation plan was not required.

Section 405.370(E) requires that the front yard for parcels that are south of Olive Boulevard, must include a minimum of 50% of the building elevation parallel to the street right-of-way be locate a maximum of 15 feet from the right-of-way. This is the case for the Studt Avenue frontage. In the event that the planned right-of-way is greater than the present right-of-way, the required setback shall be measured from a line

located a distance equal to half the width of the planned right-of-way from the centerline of the present right-of-way. This is the case for the Ham Avenue frontage as Ham Avenue is currently a private street located in part on the subject property. The site development plan shows that 100% of the building frontage will be located within the 15-foot setback on both street frontages.

To facilitate the future widening of Ham Avenue in accordance with prior developments in the area, the City has requested public roadway and sidewalk easements along the street frontage of this site. The applicant is agreeable to this request and the site development plan shows these future easements that will be submitted for review by the City Attorney prior to recording. The site development plan also notes the existing 16-foot-wide Ham Avenue easement, the future 40-foot-wide right-of-way and the 24-foot-wide easement dedicated to the city for public access adjacent to the 16-foot-wide Ham Avenue easement.

Section 405.370 (E)(3)(a) of the “CB” Core Business District allows a maximum site coverage of 63% with the possibility of an increase up to 70% as a bonus in consideration of special or outstanding landscape and site planning features when approved by the Planning and Zoning Commission. The site has a proposed site coverage of 58 % where 63% is allowed. Per the definition of site coverage for non-residential developments found in Section 405.120, buildings, driveways, parking lots, and loading areas count towards site coverage while landscaped and green spaces, plaza, pedestrian circulation and unpaved buffer areas do not. The total site area is 1.51 acres.

The site development plan shows the surface parking lot wrapping around the building and extending the entire length of the northern portion of the lot. The entrances to the site will be along Studt Avenue and Will Avenue. There are 65 parking spaces provided. The proposal includes a new 7-foot-tall retaining wall be installed adjacent to the parking lot, due to the significant change in grade and the existing storm sewer, in order to bring the parking lot to street level. A 6-foot-tall black aluminum fence and guardrail will also be installed for safety. The color of the retaining wall is proposed to be gray but staff is adding a condition of approval that the material be a neutral color to match the color of the brick on the building per the Design Guidelines for retaining walls.

Stormwater Mitigation

The storm water mitigation for this site includes new sanitary and storm water connections that will be piped to the existing infrastructure. A new sanitary lateral connection will be installed to connect to the existing sanitary line running north to south through the property. Two new storm water connections will be installed for the building and parking lot. The stormwater for the building will be piped to connect to the existing storm sewer connection at the south-western portion of the site and the storm water runoff for the parking lot will be directed to a new 4-foot-wide concrete swale at the north western portion of the parking lot that will be piped to the existing offsite storm sewer inlet.

Landscaping

Section 405.540 *Landscaping* requires that every site development plan for an undeveloped parcel provide a concept landscaping plan in compliance with the requirements outlined within. Street trees are required to be provided at 1 per 30 feet of street frontage. In addition to any landscaped front, back or side yard areas required by this or any other Section, a minimum of ten square feet of interior landscaped area shall be provided within the parking lot for each 350 square feet of paved area within the parking lot including parking spaces and driving aisles. The landscaping shall be in one (1) or more areas so as to minimize and reduce the apparent size of parking areas. Additionally, a deciduous shade tree for each separated interior landscaped area, with a minimum of two trees for every 100 lineal feet for each parking row shall be provided. Trees are to be a minimum of 3 caliper inches at time of planting. A perimeter landscaped buffer strip shall be provided and maintained at a width of not less than 5 feet between a parking lot and the property line of abutting property.

Lighting

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Figure 9: Applicant's Photometric Plan

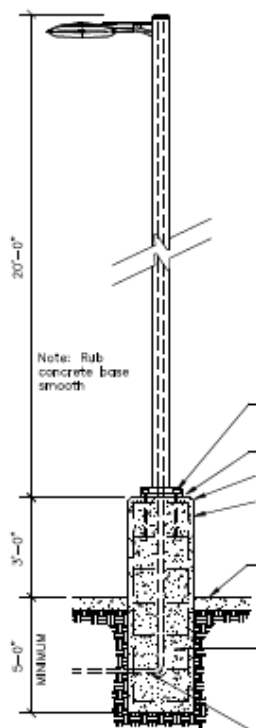
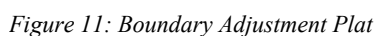


Figure 10: Pole Mounted Light Fixture Height

The site development plan shows that the surface parking lot includes 65 provided parking stalls where 36 parking spaces required for this use per Section 405.820 *Required Off-Street Parking Spaces*. Two EV Ready parking spaces are provided per the requirements of Section 405.860 *Electric Vehicle Charging Requirements* which requires that EV Ready or EVSE Installed parking spaces be provided on a basis of 3% of the actual spaces provided on site.

All signs are reviewed under a separate permit at Staff level in conformance with the Sign Regulations. No approval of the project constitutes approval of any signs shown.



Boundary Adjustment Plat

The applicant is proposing to consolidate 5 existing lots into two lots. A boundary adjustment, which is not a subdivision plat, is possible when the following regulation from the Subdivision Code is satisfied:

410.030(D) Sale or transfer of small parcels of land to or between adjoining property owners, where such sale does not create additional lots, is exempt from the requirement of recording by plat; provided, however, that certification by the Planning and Zoning Commission shall be required prior to such sale or transfer. This certification shall be recorded with the title of the property by the St. Louis County Recorder of Deeds.

This appears to be the case with the current application. The drawings are technically accurate, and the adjustment does not create any additional non-conformities. The minimum lot size and dimensions for properties in the CB District, under Section 405.250 of the zoning regulations are a minimum of 1/2 acre (21,780 square feet) lot area, with a lot width of 100 feet and lot depth of 100 feet. Staff concludes that the adjustment should be approved by the Planning Commission, subject to the conditions in the example motion.

CONCLUSION AND RECOMMENDED CONDITIONS OF APPROVAL

Staff finds that the proposal meets with the Comprehensive Plan, Design Guidelines, as well as with the Zoning Regulations, subject to any further discussion by the Planning and Zoning Commission and the recommended conditions below. After discussion with the applicant, if the Planning and Zoning Commission finds that the Application is in conformance with the purposes and regulations of the Comprehensive Plan and Zoning Code, it may vote on a recommendation to the City Council with any changes discussed and made by separate actions.

The following are the recommended conditions of approval for this proposal.

1. The Applicant shall submit Site Improvement Plans, showing all exterior grading and site improvements, to the Department of Public Works for review, as required by Section 410.380 of the Subdivision and Land Development Regulations (Subdivision Code). The Site Improvement Plans shall be in substantial conformance with the "Site Development Plans," and the Landscape Plan received October 15, 2025, as bound together and submitted in conjunction with Application #25-030 by Cochran Engineers, except as modified below.
2. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the Elevations received October 10, 2025, as bound together and submitted in conjunction with Application #25-030 by Oakline Studio, except as modified below.
3. The proposed future roadway and sidewalk easements as shown on the Site Concept/Development Plans are to be submitted to the City Attorney for review and approval prior to recording at the St. Louis County Recorder of Deeds office. The first easement shall be granted to the City of Creve Coeur to provide for future roadway and sidewalk purposes and public access along the entire length of Ham Avenue from Olive Boulevard to Studt Avenue. The second public roadway and sidewalk easement shall be 24-feet wide covering the full street frontage for the property at 750 Ham Avenue. The third public roadway and sidewalk easement shall be 24-feet wide covering the full Ham Avenue street frontage for the property at 11647 Studt Avenue. These easements shall be recorded prior to issuance of any site improvement or building permits.

4. A Final Landscaping Plan shall be submitted with the Building Permit to include parking lot interior landscaping calculations, additional landscaping in the form of evergreen shrubs in front of the retaining wall, and plantings with the 5-foot-wide landscaped area along the north portion of the parking lot between the parking lot and the adjacent property.
5. All landscaping shall be maintained per the approved Landscape Plan and any vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed and in a prompt and workmanlike manner as dictated by accepted horticultural standards.
6. Any landscaping alterations deviating from the approved Landscaping Plan shall be reviewed by Planning staff and if substantially different shall require Planning and Zoning approval in form of an amendment to the Landscaping Plan.
7. All lighting shall be downcast and shielded to comply with Section 405.680 Lighting.
8. Any ground or roof mounted mechanical equipment installed for the site shall be properly screened with materials approved by Staff.
9. The color of the retaining wall material shall be a neutral color to match the color of the brick on the building per the Design Guidelines for retaining walls.
10. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code.
11. No site development plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of the application if the application as resubmitted is substantially the same as the initially approved application.

MOTIONS

Boundary Adjustment

If the members of the Planning Commission are satisfied that the requested boundary adjustment meets the applicable requirements of the Subdivision Code, the Planning Department staff request that a final decision be voted upon; no action by the City Council is required.

The following are examples of a motion for this application:

“I move to approve the boundary adjustment attached to the staff report for application #25-029 as presented at the October 20, 2025 Planning and Zoning Commission meeting, subject to the condition that a final drawing be prepared for signature and recording.” (Conditions may be added, eliminated, or modified by preceding motion)

Site Concept Plan and Site Development Plan

The following is an example of an appropriate motion for this application:

“I move to recommend approval of the Site Concept Plan and Site Development Plan for Ballas Dental at 11647 Studt Avenue, subject to the conditions discussed in the Staff Report and the draft resolution for application #25-030 for the meeting of October 20, 2025” (conditions may be added, eliminated, or modified by preceding motion).

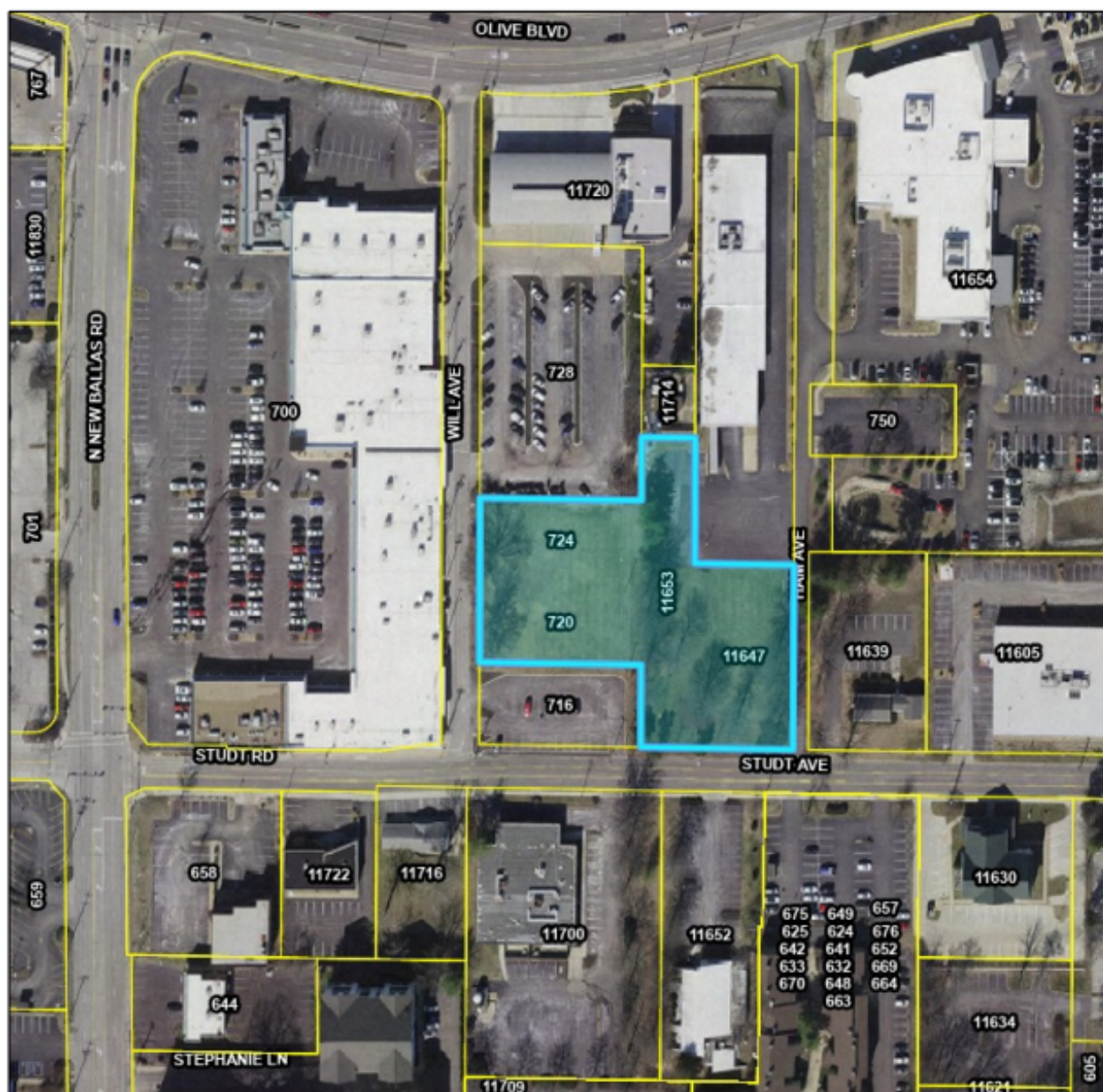
APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

Aerial Photo

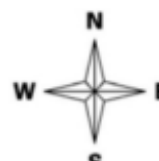


City Limits

Parcels

World_Street_

October 9, 2025





city

of

CREVE COEUR

PLANNING DIVISION

300 North New Ballas Road, Creve Coeur, Missouri 63141

Tel. (314) 872-2501 • Fax (314) 872-2505

PLANNING AND ZONING COMMISSION AGENDA APPLICATION SITE DEVELOPMENT PLAN

Select Project Type: Site Development Plan ☐ Site Concept Plan ☐ Minor Site Plan ☐

Title of Project: _____

Location of Project: _____ Locator # _____

Subject for Agenda: _____

Applicant:

Architect _____ Engineer _____ Contractor _____ Agent _____ Owner _____

Applicant:	Applicant's Representative (if applicable):
<i>Name</i>	<i>Name</i>
<i>Company (If Applicable)</i>	<i>Company (If Applicable)</i>
<i>Address</i>	<i>Address</i>
<i>Address</i>	<i>Address</i>
<i>Telephone #</i> _____	<i>Telephone #</i> _____
<i>Fax #</i> _____	<i>Fax #</i> _____
<i>Email:</i> _____	<i>Email:</i> _____
 <i>Elliott R. Reed</i> <i>Applicant's Signature</i>	 <i>Applicant's Representative's Signature</i>

Owner's Acknowledgement (if different from applicant):

<i>Name</i>		
<i>Company (If Applicable)</i>		
<i>Address</i>		
<i>Phone</i>	<i>Fax</i>	<i>Email</i>
 <i>Applicant's Signature</i>		

Description of Request (attach additional sheets as needed)

General Description: 8,761 s.f. dentist office with 65 parking spaces.

Rationale

Please describe in detail, on an attached sheet, the reasons why you believe the request should be approved and what steps are being taken to lessen any impacts on surrounding residences and businesses. An explanation of the building and landscape designs (if changes are proposed) should also be included. The site is zoned CB. A dental office is a permitted use and fits well with the surrounding uses.

A photometric plan and a landscaping plan is included in the submittal package.

Submittal Checklist

- | | |
|---|---|
| ☐ Rationale | ☐ Building elevations for new construction |
| ☐ Site plan 4 hard copies | ☐ Photographs of existing structures |
| ☐ Access and parking plan-4 hard copies; (may be shown on site plan) | ☐ Materials samples for Commission review |
| ☐ Landscape plan 4 hard copies | ☐ Legal Description in Word format |
| ☐ Floor plan 4 hard copies | ☐ Fees: \$250 (non-refundable) |
| ☐ Electronic copies of all materials | ☐ \$2000 (refundable deposit) |
| | ☐ Other items as requested by staff |

Preferred Public Hearing Date: *Monday,* October 6, 2025.

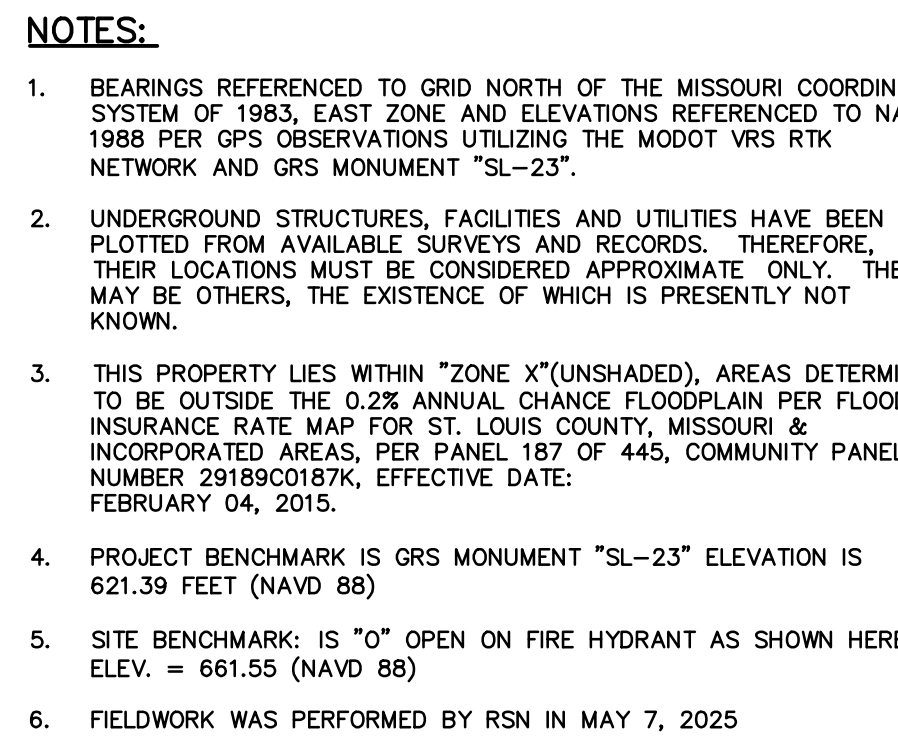
****Confirm schedule and available meeting dates with Planning Division staff****

Office Use Only

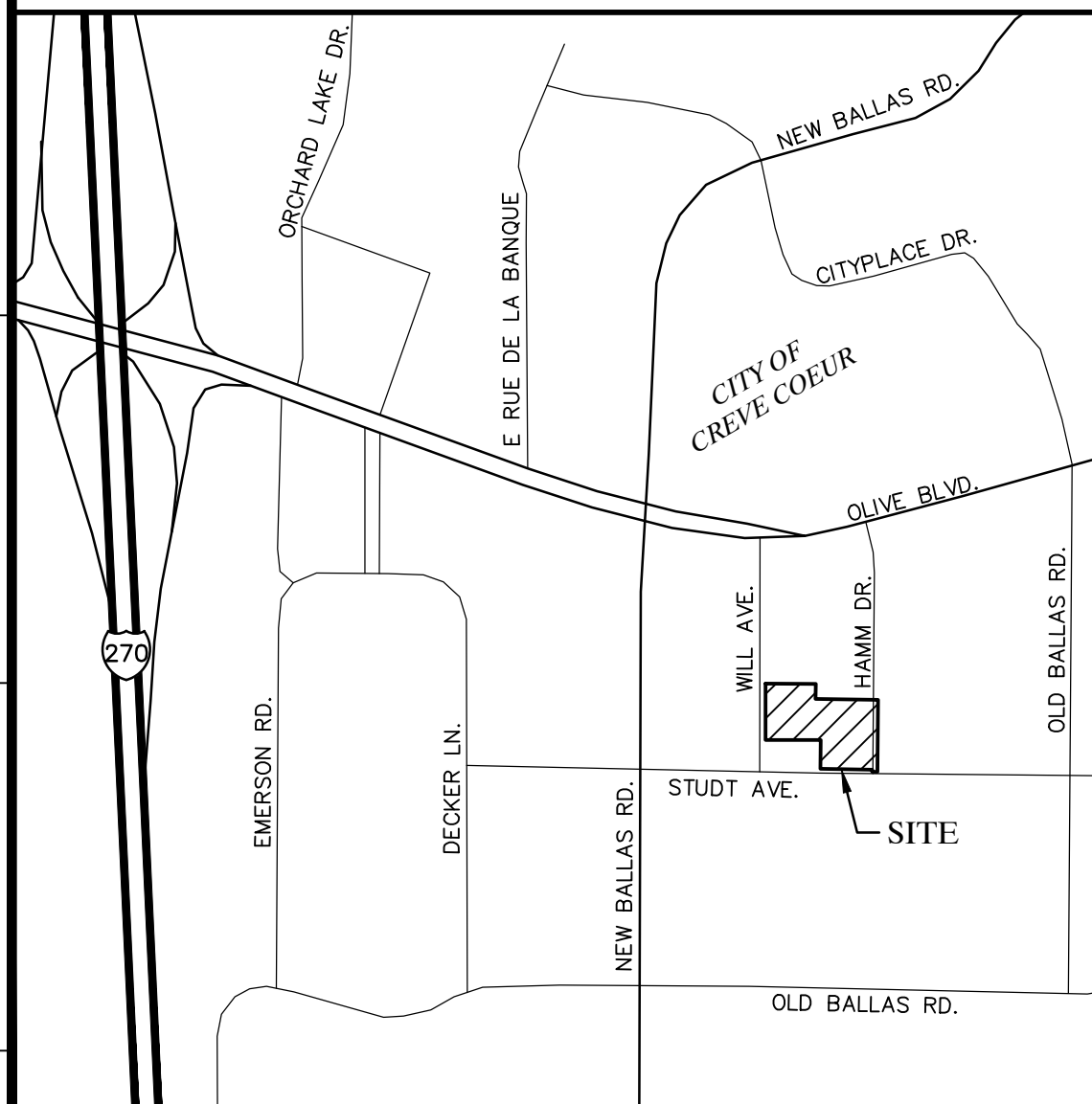
<u> </u> All Sections Complete	Received By: _____
<u> </u> All Documents, incl. e-Copies	_____
<u> </u> Fees Paid	Date: _____

Revised: 7/22

A TRACT OF LAND BEING LOCATED IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, OF THE 5TH PRINCIPAL MERIDIAN
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI

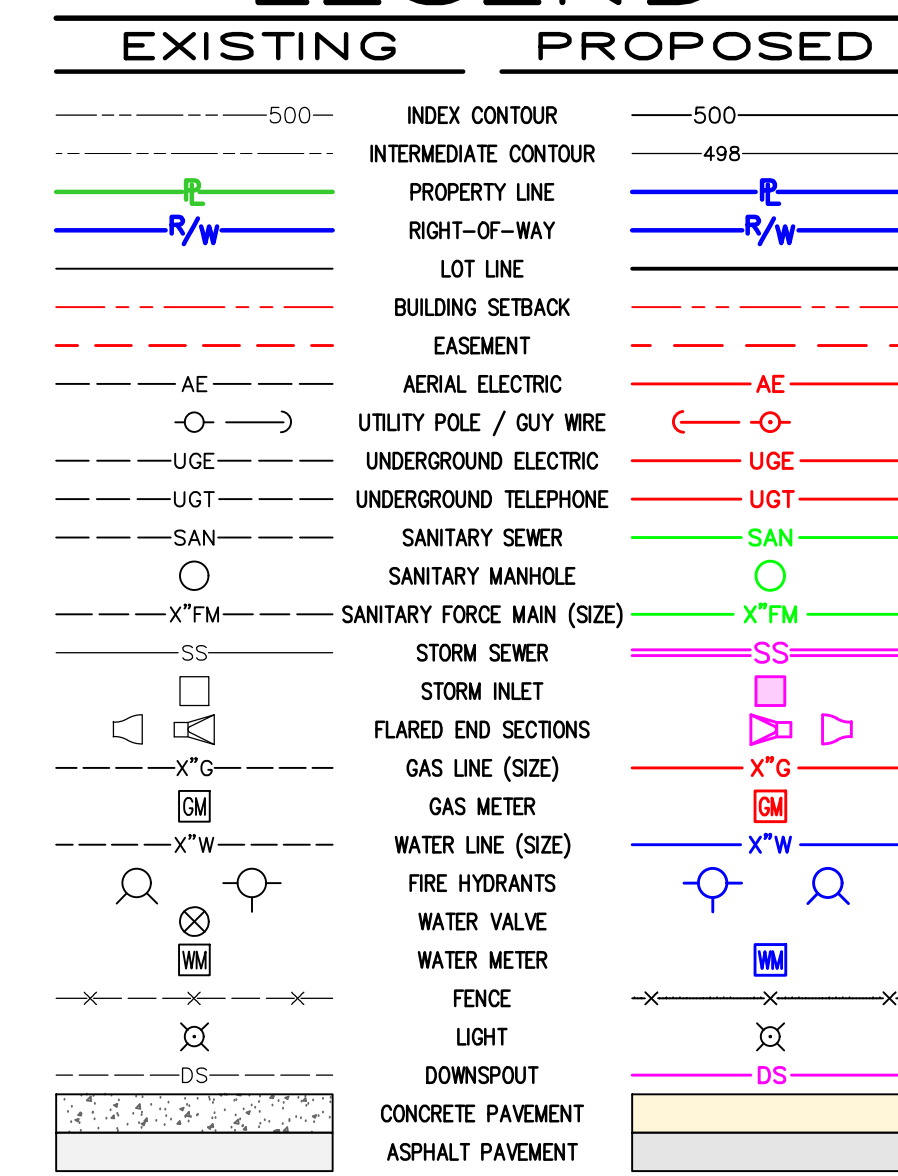


OWNER/DEVELOPER			
BAMBOO EQUITY PARTNERS REP: ASHLEY HESJEDAL	117001 BORMAN DR. ST. LOUIS, MO 63084 314-270-5991		
ENGINEER			
CIVIL COCHRAN ENGINEERING REP: ELLIOTT R. REED, P.E.	530A E INDEPENDENCE DR. UNION, MO 63084 636-584-0540		
ARCHITECTURAL OAKLINE STUDIO REP: TOM AUER	117001 BORMAN DR., STE 100 ST. LOUIS, MO 63146 314-528-2290		
UTILITY CONTACTS			
ELECTRIC	AMEREN MISSOURI 1540 GRATIOT ST. ST. LOUIS, MO 63103 314-861-6254	TELEPHONE	AT&T 12930 OLIVE BLVD. CREVE COEUR, MO 63141 636-479-0055
WATER	MISSOURI AMERICAN WATER 1050 RESEARCH BLVD. ST. LOUIS, MO 63132 314-991-3404	CABLE/TELEPHONE	CHARTER (SPECTRUM) 101 NORTHWEST PLAZA SAINT ANN, MO 63074 636-232-1398
SANITARY	ST. LOUIS MSD 2350 MARKET ST. ST. LOUIS, MO 63103 314-768-6200	FIRE DISTRICT	CREVE COEUR FIRE DISTRICT 11221 OLIVE BLVD. CREVE COEUR, MO 63141 314-432-5570
GAS	SPIRE 4118 SHREWSBERRY AVE. ST. LOUIS, MO 63119 314-230-5990	SCHOOL DISTRICT	PARKWAY SCHOOL DISTRICT 455 NORTH WOODS MILL RD. CHESTERFIELD, MO 63017 314-415-8100



SITE CONCEPT PLAN	OWN. ID:		APPD. ID:	
	JMM		ERR	
	DATE:		REVISION:	
	OCT. 15, 2025			
	SCALE:			
	1" = 20'			
	PROJ. NO.:			
	25-10276			
	DWG. NO.:			

A TRACT OF LAND BEING LOCATED IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, OF THE 5TH PRINCIPAL MERIDIAN
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI



SITE DATA:

MUNICIPALITY: CITY OF CREVE COEUR, MO
ZONING: CB - CORE BUSINESS DISTRICT

- * LOT SIZE: 65,823± SQ. FT. (1.51± AC.)
- * BUILDING SETBACKS:
 - FRONT: 15 FT. MAX.
 - SIDE: 10 FT.
 - REAR: 10 FT.
- * SITE COVERAGE: (EXCLUDING HAMM AREA (16'))

BUILDING:	8,761 S.F.	13% (FAR)
PAVEMENT:	27,798 S.F.	45%
<u>GREEN SPACE:</u>	<u>25,784 S.F.</u>	<u>42%</u>
TOTAL:	62,253 S.F.	100%
- * CITY REQUIRES 37% OPEN SPACE

BUILDING AREA:

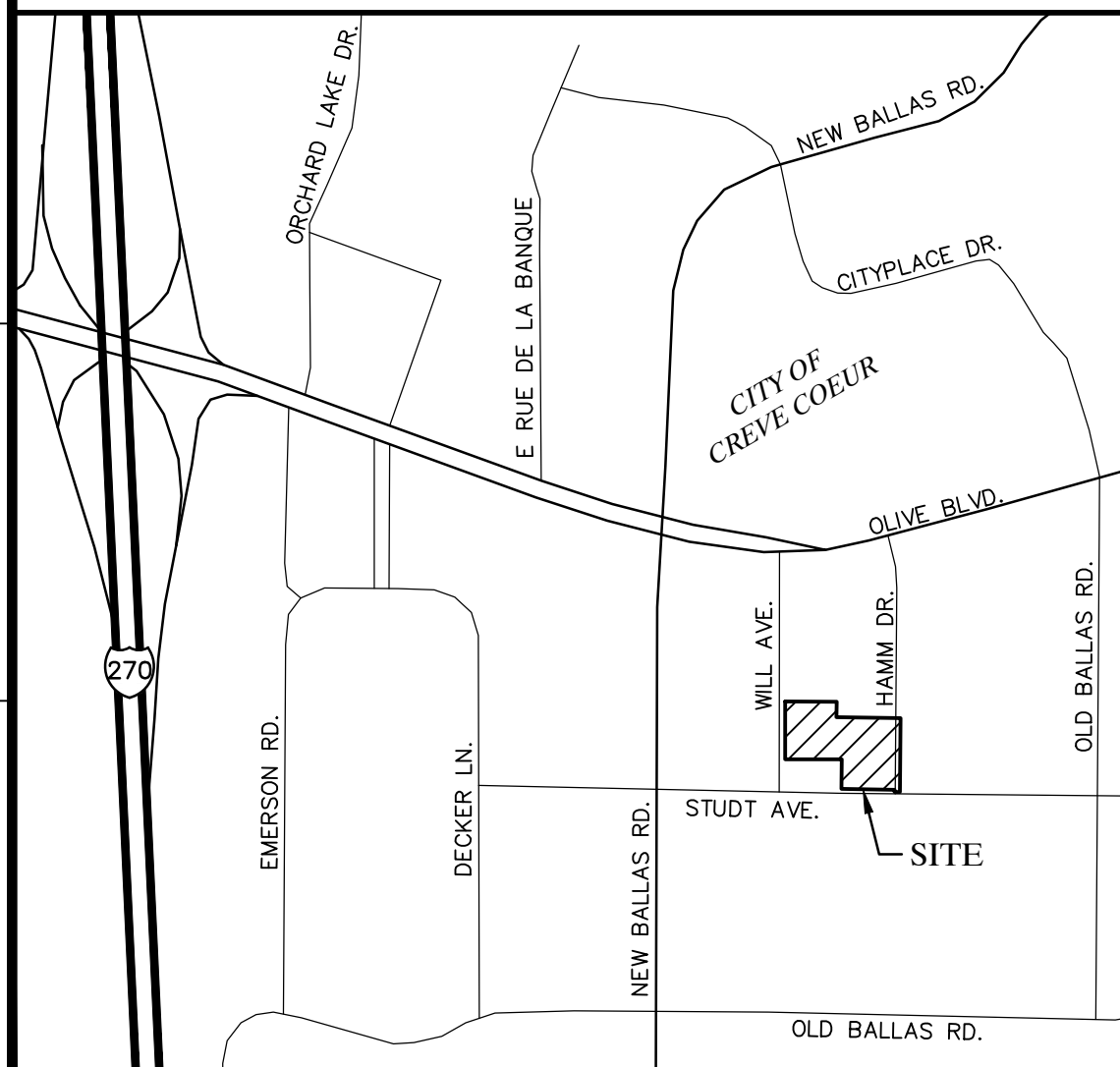
- * DENTAL OFFICE FOOT PRINT: 8,761± SQ. FT.

PARKING DATA:

- * TYPICAL PARKING WIDTH: 9.0'
- * TYPICAL PARKING LENGTH: 19.0'
- * TYPICAL AISLE WIDTH: 24.0'
- * STANDARD PARKING SPACES PROVIDED: 62
- * ACCESSIBLE PARKING SPACES PROVIDED: 3
- * TOTAL PARKING SPACES PROVIDED: 65
- * TOTAL PARKING SPACES REQUIRED: 36
- * PARKING FORMULA:
OTHER HEALTH SERVICES - FOUR (4) PARKING SPACES PER 1,000 THOUSAND (1,000) SQUARE FEET OF GROSS FLOOR AREA
(4/(1,000=.004))(8,761) = 35.04 STALLS

- NOTES:**
1. BEARINGS REFERENCED TO GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE AND ELEVATIONS REFERENCED TO NAD 1989 PER GRS OBSERVATIONS UTILIZING THE MODOT VRS RTK NETWORK AND GRS MONUMENT "SL-23".
 2. UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.
 3. THIS PROPERTY USES WITHIN "ZONE X"(UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI & INCORPORATED AREAS, PER PANEL 187 OF 445, COMMUNITY PANEL NUMBER 2918000187K, EFFECTIVE DATE: FEBRUARY 04, 2015.
 4. PROJECT BENCHMARK IS GRS MONUMENT "SL-23" ELEVATION IS 621.39 FEET (NAVD 88)
 5. SITE BENCHMARK: IS "0" OPEN ON FIRE HYDRANT AS SHOWN HEREIN. ELEV. = 661.55 (NAVD 88)
 6. FIELDWORK WAS PERFORMED BY RSN IN MAY 7, 2025

OWNER/DEVELOPER			
BAMBOO EQUITY PARTNERS REP: ASHLEY HESJEDAL	117001 BORMAN DR. ST. LOUIS, MO 63084 314-270-5991		
ENGINEER			
CIVIL COCHRAN ENGINEERING REP: ELLIOTT R. REED, P.E.	530A E INDEPENDENCE DR. UNION, MO 63084 636-584-0540		
ARCHITECTURAL OAKLINE STUDIO REP: TOM AUER	117001 BORMAN DR., STE 100 ST. LOUIS, MO 63146 314-528-2290		
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SANITARY	ST. LOUIS MSD 2350 MARKET ST. ST. LOUIS, MO 63103 314-768-6200	FIRE DISTRICT	CREVE COEUR FIRE DISTRICT 11221 OLIVE BLVD. CREVE COEUR, MO 63141 314-432-5570
GAS	SPIRE 4118 SHREWSBERRY AVE. ST. LOUIS, MO 63119 314-230-5990	SCHOOL DISTRICT	PARKWAY SCHOOL DISTRICT 455 NORTH WOODS MILL RD. CHESTERFIELD, MO 63017 314-415-8100



VICINITY MAP
NO SCALE

534-584-0540 (fax)
534-584-0512 (vo)
info@ochran.com
mos@ochran.com

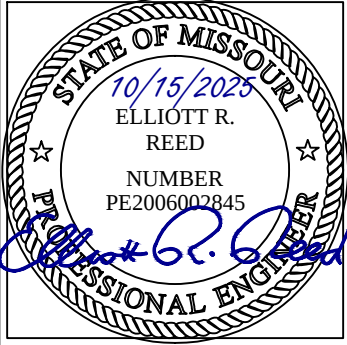
530A E. Independence Dr.
Union, Missouri 63084

UCHRAN

Missouri State Certificate of
Authority Numbers:
Survey: 000380
Engineering: 15555
Architecture: 2002014240

Three working days prior to
the start of any excavation
work, the contractor shall
call 1-800-GO-DIRT for utility
location information.

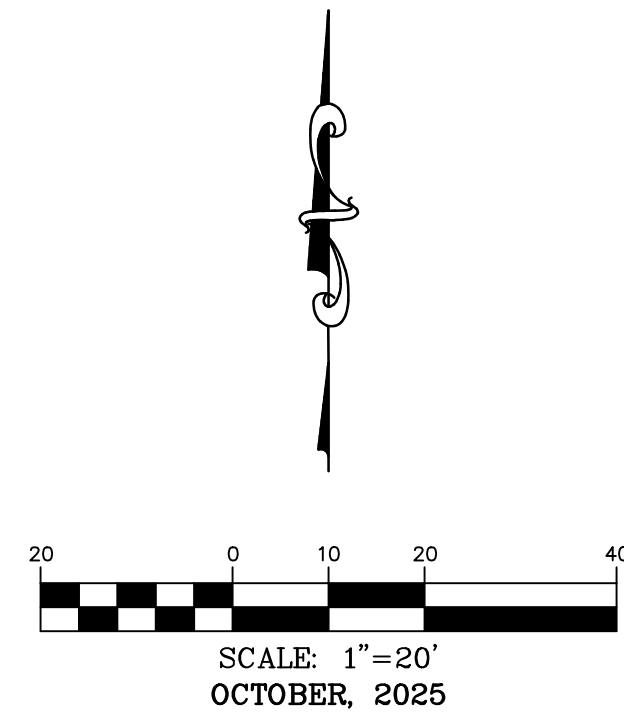
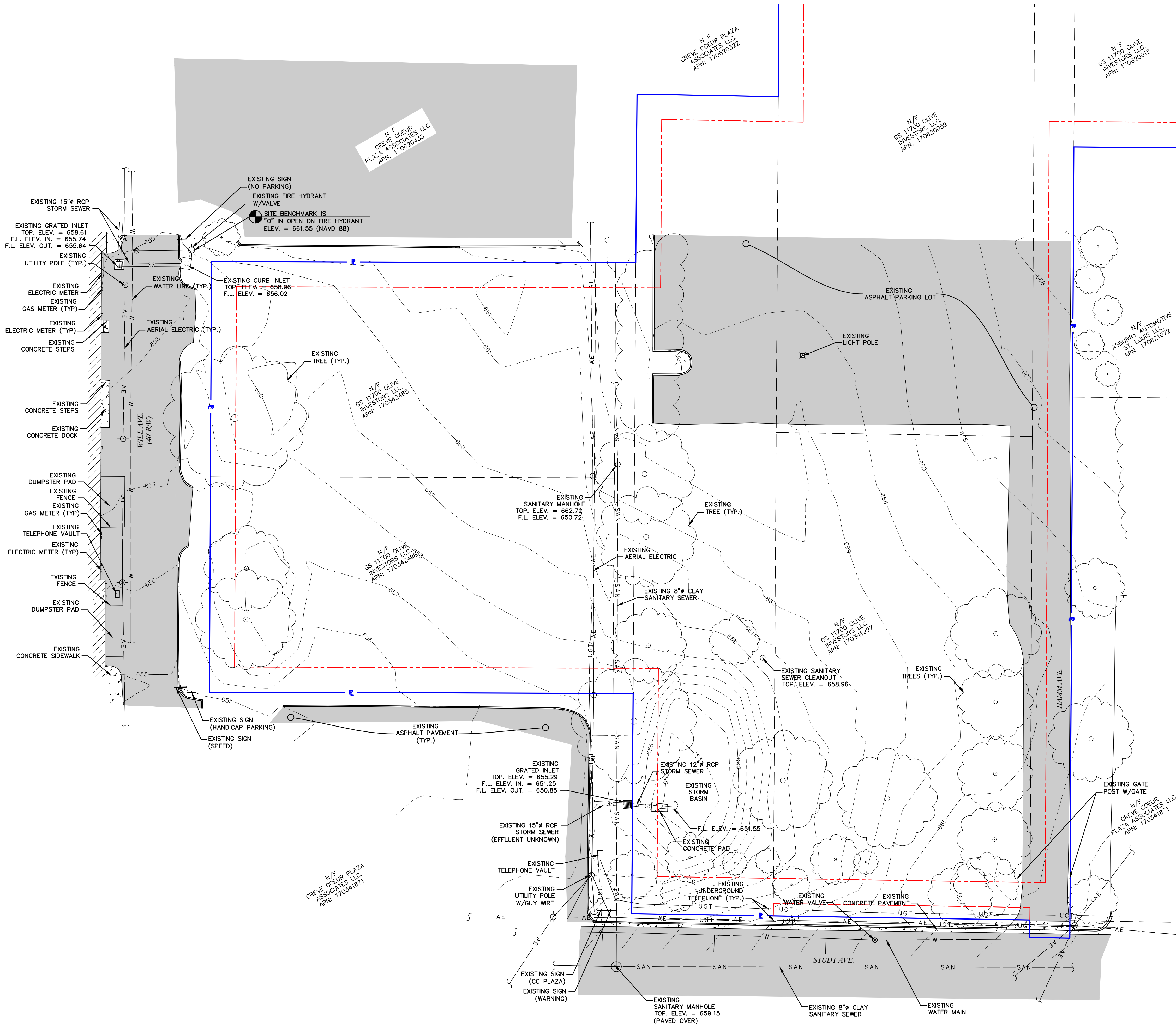
All OSHA rules & regulations
are enforced for the types of
work performed. All safety
plans shall be strictly followed
(e. trenching, blasting, etc.)



*NEW DENTAL OFFICE
11647 STUDDT AVE.
CREVE COEUR, MISSOURI*

SITE DEVELOPMENT PLAN	DATE:		REVISIONS:	
	DOWN BY:	APPRO BY:		
	JMM	ERR		
	DATE:			
	OCT. 15, 2025			
	SCALE:			
	1" = 20'			
	PROJ. NO:			
	25-10276			
	DRG. NO:			

EXISTING CONDITIONS



LEGEND

INDEX CONTOUR	----- 500 -----
INTERMEDIATE CONTOUR	-----
PROPERTY LINE	
RIGHT-OF-WAY	
BUILDING SETBACK EASEMENT	-----
AERIAL ELECTRIC	AE -----
UTILITY POLE / GUY WIRE	
UNDERGROUND ELECTRIC	UGE -----
UNDERGROUND TELEPHONE	UGT -----
SANITARY SEWER	SAN -----
SANITARY MANHOLE	
STORM SEWER	SS -----
INLET	
GRATED INLET	
FLARED END SECTIONS	
GAS LINE	G -----
GAS VALVE	
GAS METER	
WATER LINE (SIZE)	"x" W -----
FIRE HYDRANTS	
WATER VALVE	
WATER METER	
TREE	-----
FENCE	-----
LIGHT	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	

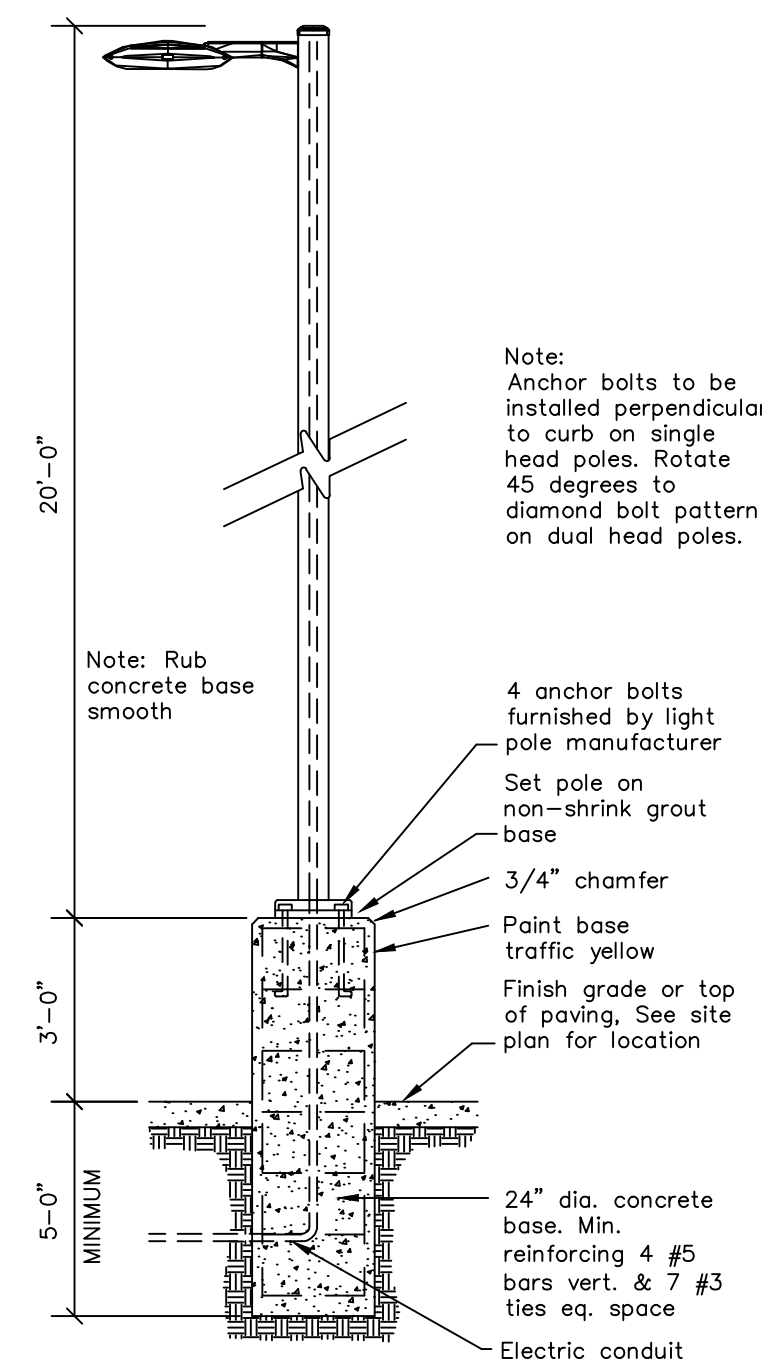
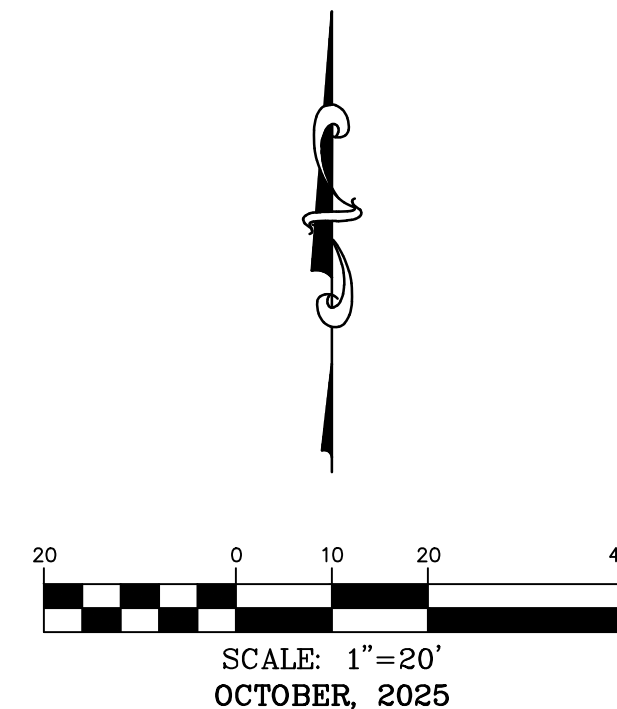
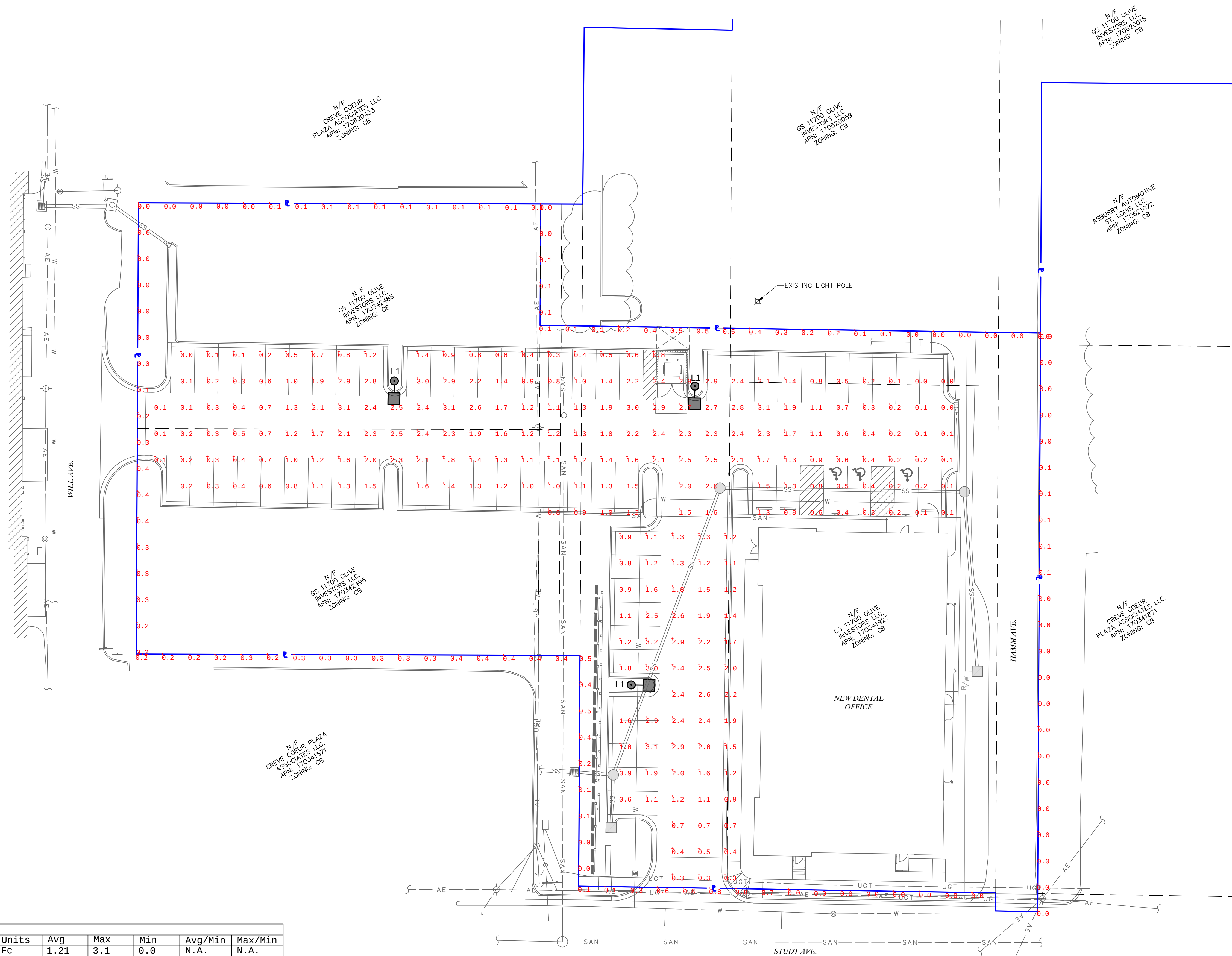
NOTES:

1. BEARINGS REFERENCED TO GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE AND ELEVATIONS REFERENCED TO NAVD 1988 PER GPS OBSERVATIONS UTILIZING THE MODOT VRS RTK NETWORK AND GRS MONUMENT "SL-23".
2. UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.
3. THIS PROPERTY LIES WITHIN "ZONE X"(UNSHADED), AREAS OF FLOODING TO BE EXCLUDED THE 0.2% ANNUAL FLOODPLAIN PER FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI & INCORPORATED AREAS, PER PARCEL 187 OF 445, COMMUNITY PLAN NUMBER 29189C0187K, EFFECTIVE DATE: FEBRUARY 04, 2015.
4. PROJECT BENCHMARK IS GRS MONUMENT "SL-23" ELEVATION IS 621.39 FEET (NAVD 88)
5. SITE BENCHMARK: IS "O" OPEN ON FIRE HYDRANT AS SHOWN HEREON ELEV. = 661.55 (NAVD 88)
6. FIELDWORK WAS PERFORMED BY RSN IN MAY 7, 2025

EXISTING CONDITIONS

C2

PHOTOMETRICS PLAN



POLE BASE DETAIL
NO SCALE

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
parking lot - north	Illuminance	Fc	1.21	3.1	0.0	N.A.	N.A.
PL - East	Illuminance	Fc	0.06	0.1	0.0	N.A.	N.A.
PL - East_1	Illuminance	Fc	0.02	0.1	0.0	N.A.	N.A.
PL - North	Illuminance	Fc	0.07	0.1	0.0	N.A.	N.A.
PL - North_1	Illuminance	Fc	0.19	0.5	0.0	N.A.	N.A.
PL - South	Illuminance	Fc	0.30	0.4	0.2	1.50	2.00
PL - South_1	Illuminance	Fc	0.26	0.8	0.0	N.A.	N.A.
PL - West	Illuminance	Fc	0.17	0.4	0.0	N.A.	N.A.
PL - West_1	Illuminance	Fc	0.24	0.5	0.0	N.A.	N.A.
W parking lot	Illuminance	Fc	1.56	3.2	0.3	5.20	10.67

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	BUG Rating
○□	3	L1	Single	ONE PRV-C40-D-UNV-T4-BZ ON 20' POLE ON 3' CONCRETE BASE	0.900	17087	131	B2-U0-G4

These working days prior to the start of any excavation work on this site are required for all jobs—regardless of job location—located in the City of St. Louis.

MISSOURI STATE CERTIFICATE OF AUTHORITY NUMBERS:

Survey	000390
Engineering	001655
Architecture	2002014240

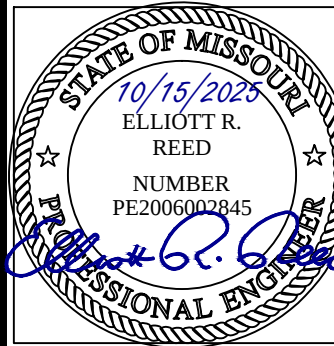
ALL DESIGN, PLANS & SPECIFICATIONS established for this project are the minimum construction required by these agencies: (i.e., Engineering, Surveying, etc., Tranchesi, Bleasig, etc.)

636-584-0542 (fax)
636-584-0512 (toll-free)
mail@ochran.com

**5302 E. Independence Dr.
St. Louis, Missouri 63084**

ochran

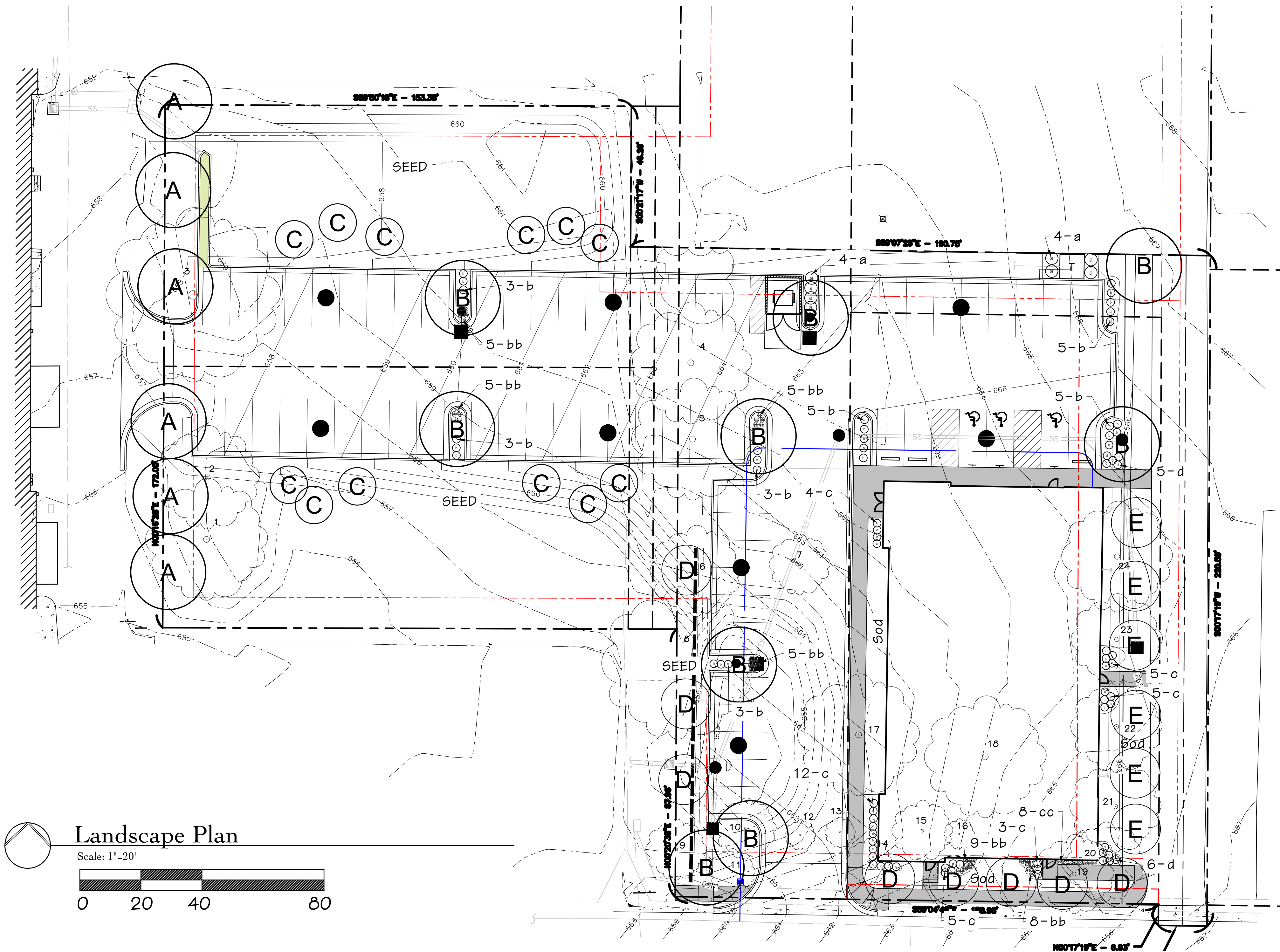
- Civil Engineering
- Land Surveying
- Architecture
- Site Planning
- Grading/Culverts
- Master Planning



***NEW DENTAL OFFICE
11647 STUDDT AVE.
CREVE COEUR, MISSOURI***

COMETRICS PLAN					
DATE:		REVISION:		DWG. BY:	APP'D. BY:
DWG. BY:		APP'D. BY:			
JMM		ERR			
DATE: OCT. 15, 2025					
SCALE: 1"=20'					
PROJ. NO.:		25-10276			
DWG. NO.:					

C3

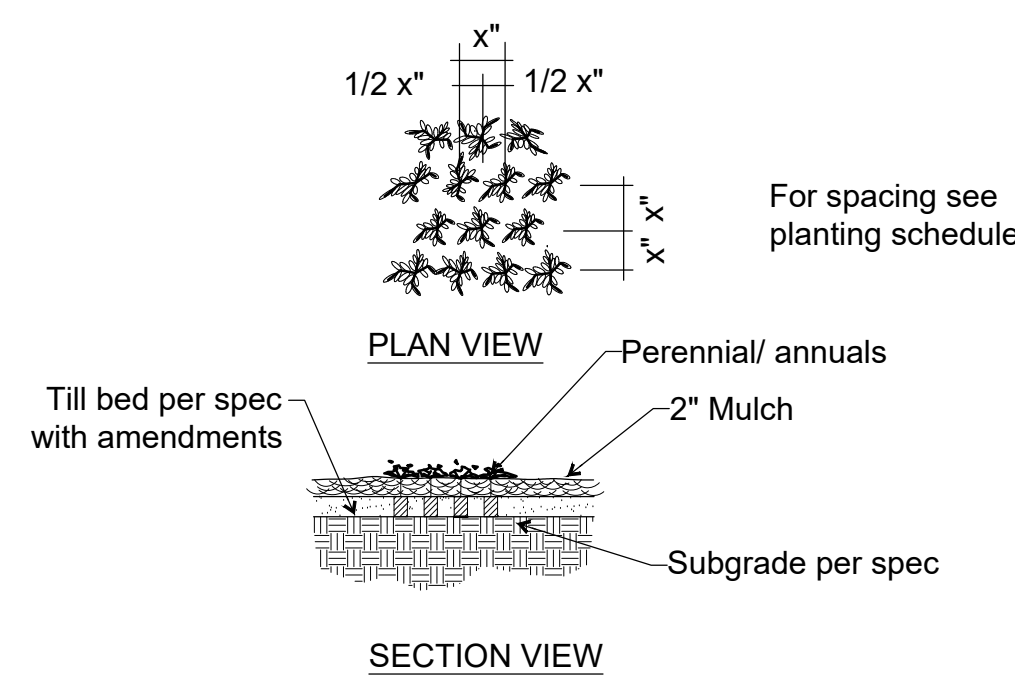


PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
A	6	Acer saccharum 'Baileta' Fall Fleeta	Fall Fleeta Sugar Maple	3"	B&B
B	8	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	3"	B&B
C	12	Abies nigra	Norway Spruce	6'-8'	B&B
D	8	Cercle canadense	Redbud	3"	B&B
E	6	Acer Tataricum	Tatarium Maple	3"	B&B
a	4	Hydrangea paniculata 'Limelight' pp#12,874	Limelight Hydrangea	24-30"	4' oc
b	27	Juniperous sabina 'Buffalo'	Buffalo Juniper	18-24"	3.5' oc
c	34	Buxus x 'Green Velvet'	Green Velvet Boxwood	18-24"	3' oc
d	11	Weigela florida 'Bramwell' pp#18,513	Fine Wine Weigela	18-24"	3' oc
bb	37	Heemerocallie 'Stella de Oro'	Stella de Oro Daylily	1 gal.	12" oc
cc	8	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 gal.	12" oc

Landscape Requirements:

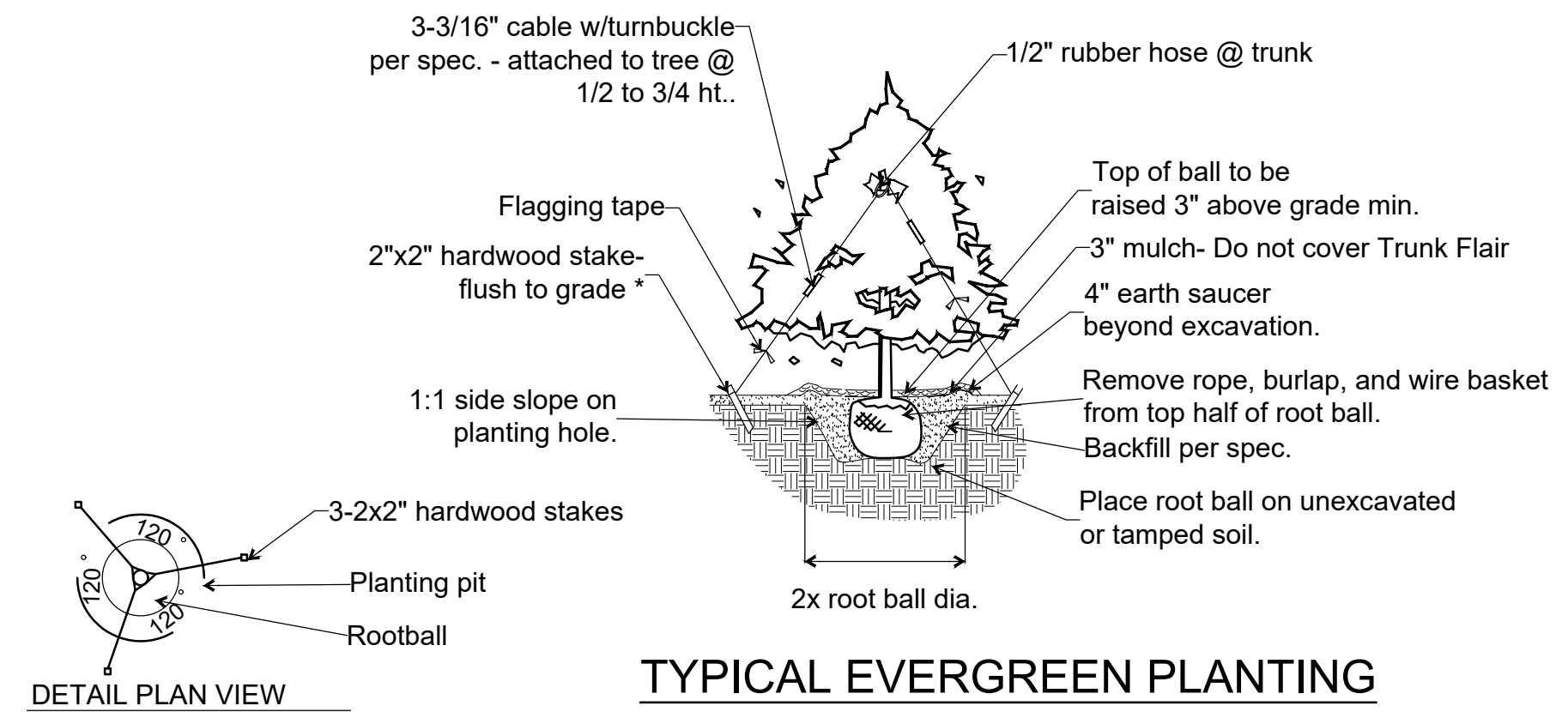
- 1 Street Tree per 30 LF of frontage.
 - Will Ave: 171.9 LF / 30 = 5.7 or 6 trees
 - Studt Ave: 174.98 LF / 30 = 5.8 or 6 trees
 - Hamm Ave: 215.56 LF / 30 = 7.18 or 8 trees
- 2 Shade Trees within 100 LF of any parking space.

NOTE: An in-ground automatic irrigation system will be provided per City requirements.

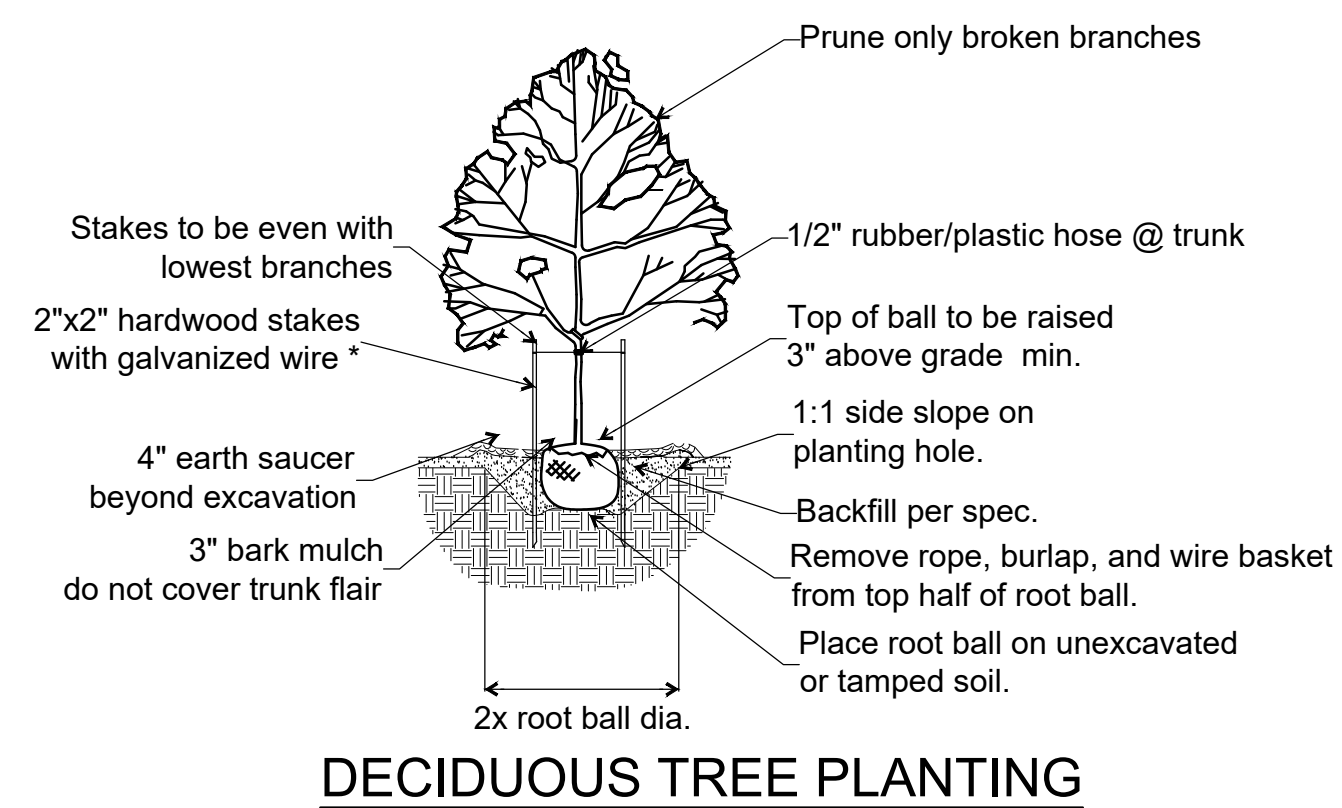


TYPICAL PERENNIAL PLANTING

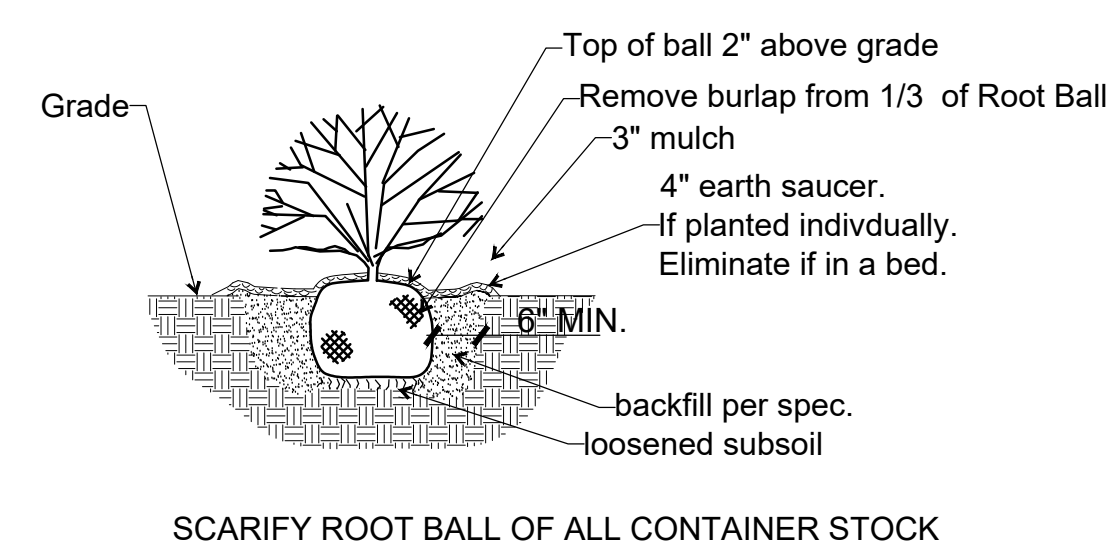
Existing Tree List				
Number	Common Name	DBH Of Trunk	Remain/ Remove	Comments
1	Sweetgum	24	Remove	
2	Sweetgum	22	Remove	
3	Pin Oak	36	Remove	Dead Major Branches
4	Pin Oak	24	Remove	Galls/Dead Branches
5	Pin Oak	24	Remove	Galls/Dead Branches
6	Red Maple	17	Remove	
7	Red Maple	14	Remove	
8	Shingle Oak	25	Remove	Decay upper Branches
9	Scotch Pine	14	Remove	
10	Austrian Pine	12	Remove	
11	Cut Down		Removed	
12	Seilver Maple	10	Remove	
13	Silver Maple	7	Remove	
14	Austrian Pine	10	Remove	
15	Silver Maple	6	Remove	
16	Silver Maple	6	Remove	
17	Red Maple	24	Remove	
18	Pin Oak	20	Remove	Galls/Dead Branches
19	Austrian Pine	12	Remove	
20	Austrian Pine	12	Remove	
21	Pin Oak	19	Remove	Galls/Dead Branches
22	Pin Oak	19	Remove	Galls/Dead Branches
23	Pin Oak	19	Remove	Galls/Dead Branches
24	Pin Oak	24	Remove	Galls/Dead Branches



- * Staking should be done only when:
 - Planting in soft, loose soils
 - Root balls with sandy soil, or wet clay
 - Trees located in an extremely windy location



TYPICAL DECIDUOUS TREE PLANTING



TYPICAL SHRUB PLANTING



Douglas A. DeLong, Landscape Architect LA-81

Consultants:

NEW DENTAL OFFICE
11647 STUDDT AVE

CREVE COEUR, MISSOURI

Revisions:

Date	Description	No.
10/1/25	Site Revisions	1
10/13/25	City Comments	2

Drawn: BAD
Checked: DAD

DeLong
landscape
architecture, LLC

7620 West Bruno Ave
St. Louis, MO. 63117
(314) 346-4856
delong.la@gmail.com

Missouri State Certificate of Authority: #201200046

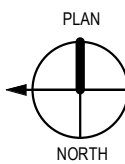
Sheet Title: Landscape Plan

Sheet No: L-1

Date: 9-4-2025
Job #: 192.017



D1 GROSS AREA FLOOR PLAN
3/16" = 1'-0"



FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- OPENING NUMBER (SEE DOOR SCHEDULE)
- NEW DOOR AND FRAME

Prepared For
Bamboo
EQUITY PARTNERSSM
11701 Borman Road, Suite 200
Maryland Heights, MO 63146
Telephone: 314.270.5991

Architect
oaklinestudio
architecture + design
11701 Borman Road, Suite 200
Maryland Heights, MO 63146
Telephone: 314.270.5991

General Contractor
oakline
CONSTRUCTION GROUP
11701 Borman Road, Suite 200
Maryland Heights, MO 63146
Telephone: 314.270.5991

Professional Seal

**PRELIMINARY
DRAWINGS NOT FOR
CONSTRUCTION**

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Project
**BALLAS DENTAL OFFICE
BUILDING**
11647 Stude Avenue
Creve Coeur, MO 63141

ISSUED FOR PERMIT

REVISION SCHEDULE		
No.	Description:	Date:
Issue Date: 04-16-2025		
Project No: 25-016		
Drawn By:	Author	Checked By: Checker

Sheet Name
SHELL FLOOR PLAN

Sheet No
SD100 (1)

A

B

C

D



VICINITY MAP

FIRE DEPARTMENT NOTES

1. **BUILDING IS NON-SPRINKLERED.**
2. PROVIDE OCCUPANCY SIGNS CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.
3. PROVIDE ADDITIONAL EXIT SIGNS AND FIRE EXTINGUISHERS IN TYPE, NUMBER AND LOCATION AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
4. GC SHALL VERIFY, COORDINATE AND/OR INSTALL ANY SMOKE DETECTION AND/OR FIRE ALARM CONNECTIONS AS REQUIRED PER GOVERNING MUNICIPALITY.
5. ANY REQUIRED FIRE DAMPER ASSEMBLIES INCLUDING SLEEVES AND INSTALLATION. PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
6. ALL REQUIRED PERMITS AND APPROVALS MUST BE OBTAINED FROM THE FIRE DEPARTMENT BEFORE BUILDINGS ARE OCCUPIED.
7. DURING CONSTRUCTION THE GC IS TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A (NFPA 10) WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR.

FIRE DEPARTMENT NOTES

1. **BUILDING IS NON-SPRINKLERED.**
2. PROVIDE OCCUPANCY SIGNS CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.
3. PROVIDE ADDITIONAL EXIT SIGNS AND FIRE EXTINGUISHERS IN TYPE, NUMBER AND LOCATION AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
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FIRE DEPARTMENT NOTES

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5

Prepared For
D. J.

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architecture + design

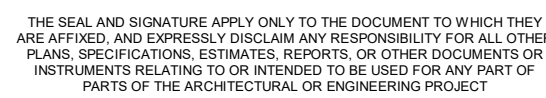
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Professional Seal



Project

11647 Studt Avenue
Creve Coeur, MO 63141

REVISION SCHEDULE

Issue Date: 08-29-2025

Project No: 25-016

Drawn By: AF

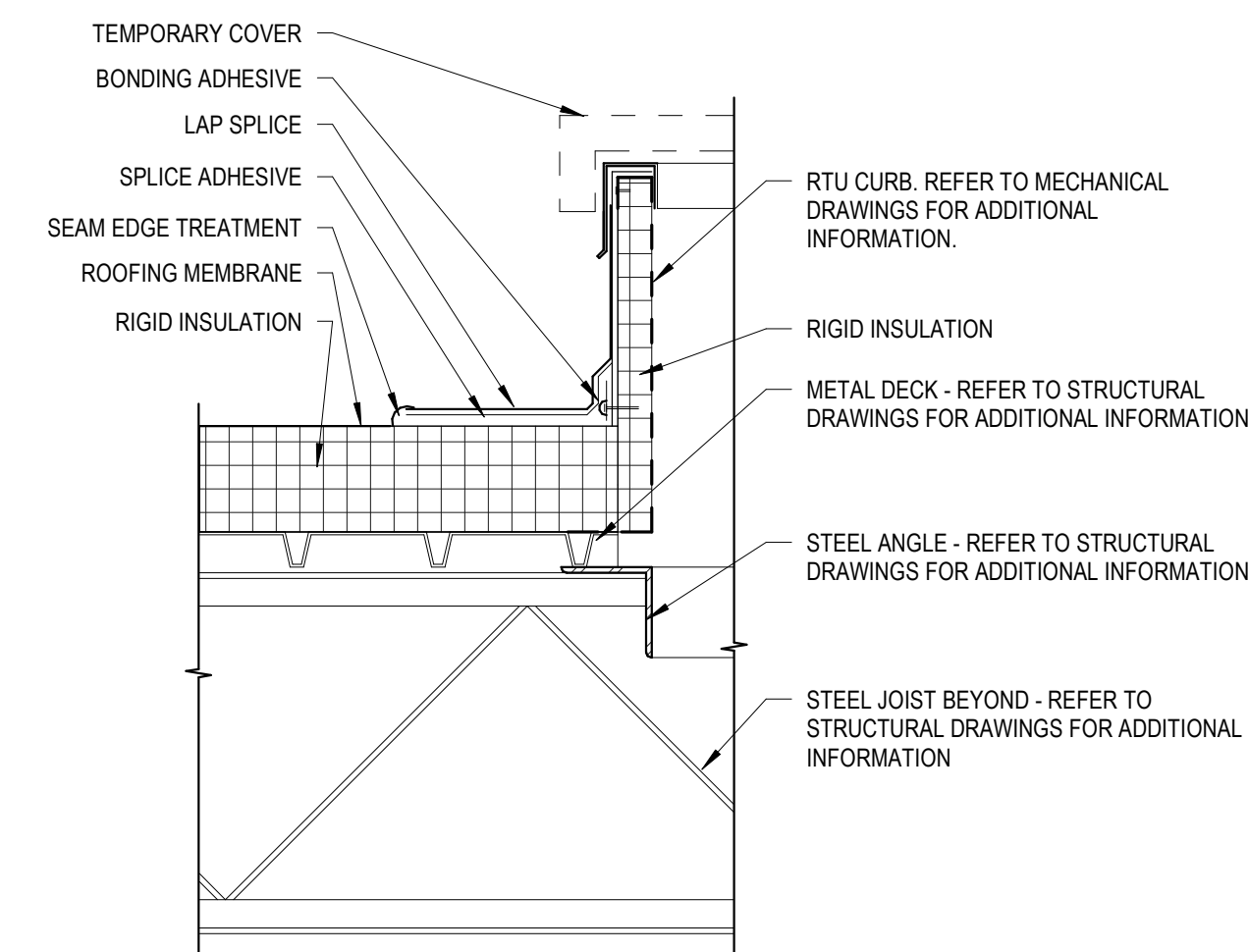
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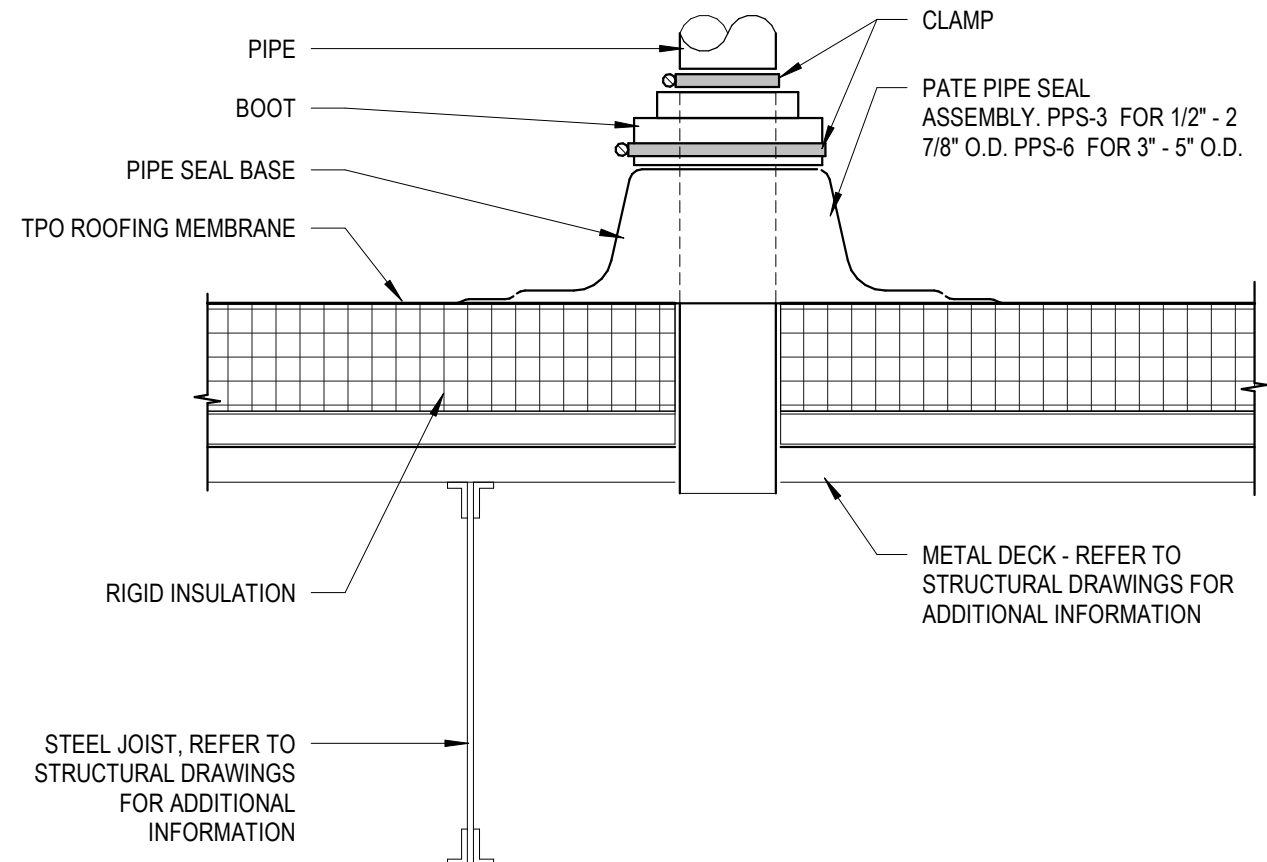
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Page 30 of 78

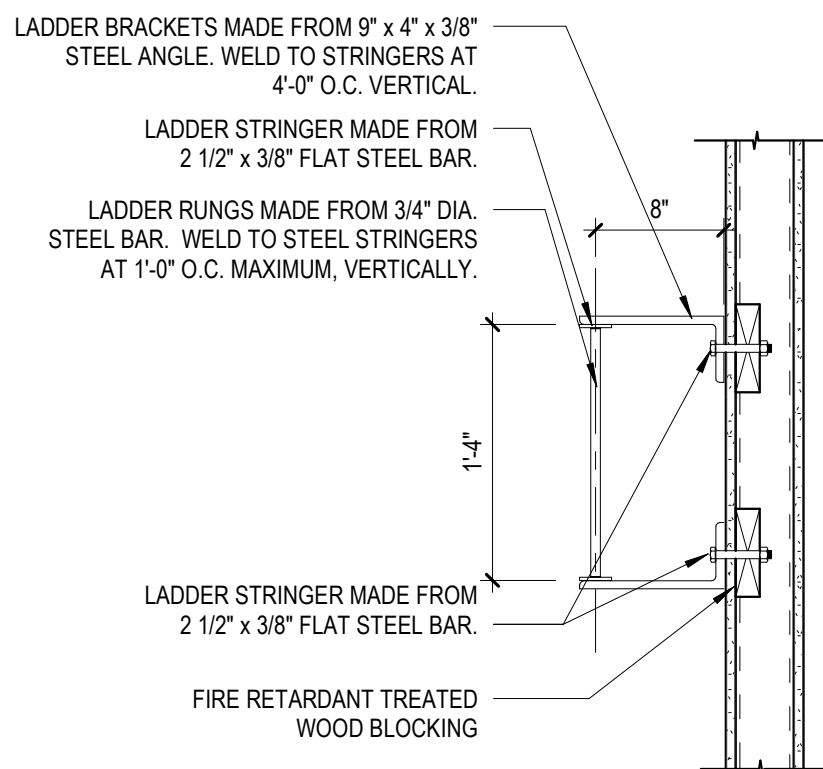
A
B
C
D
E



A1 HVAC ROOF CURB DETAIL
1 1/2" = 1'-0"

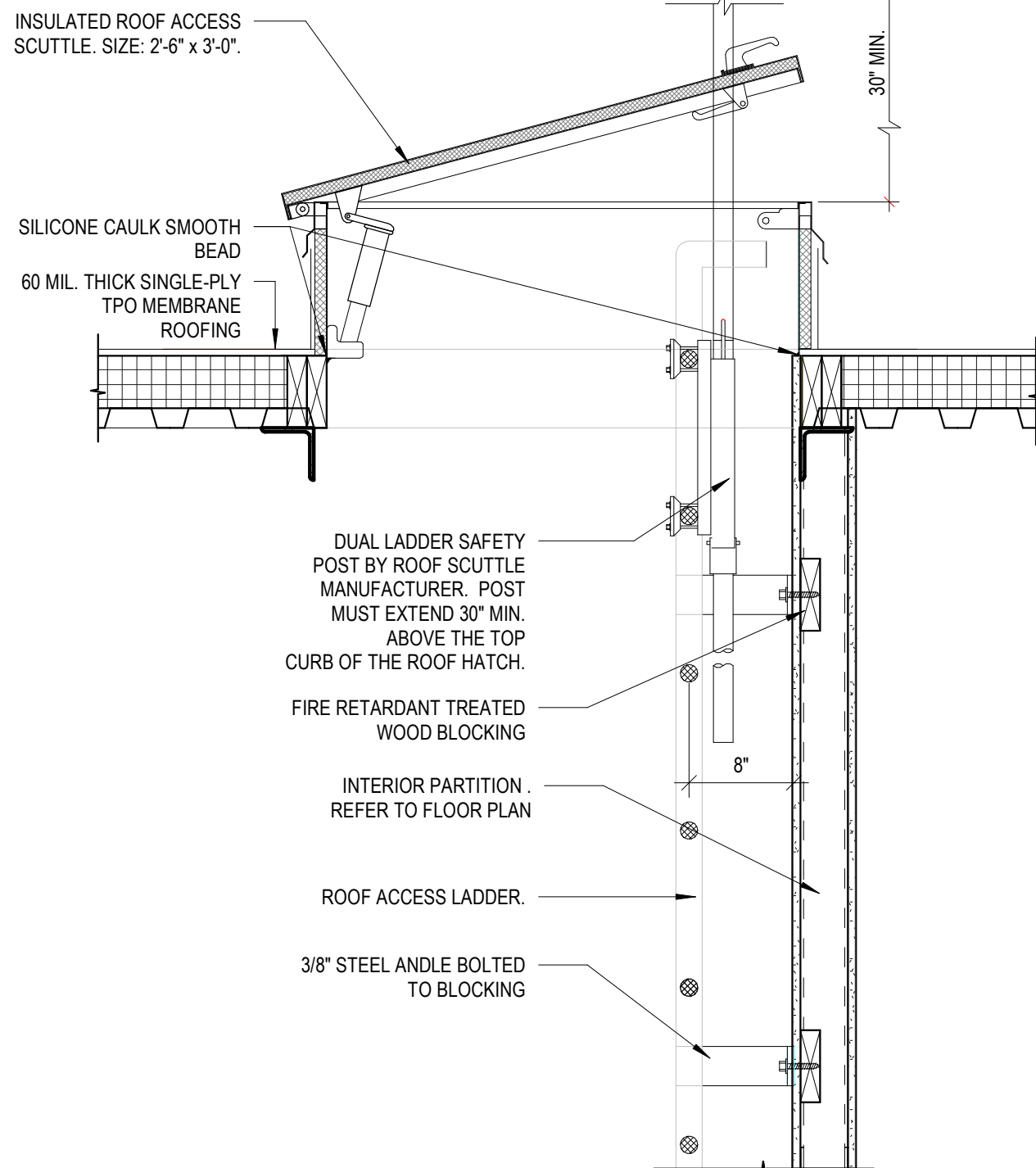


A2 PIPE FLASHING DETAIL
1 1/2" = 1'-0"

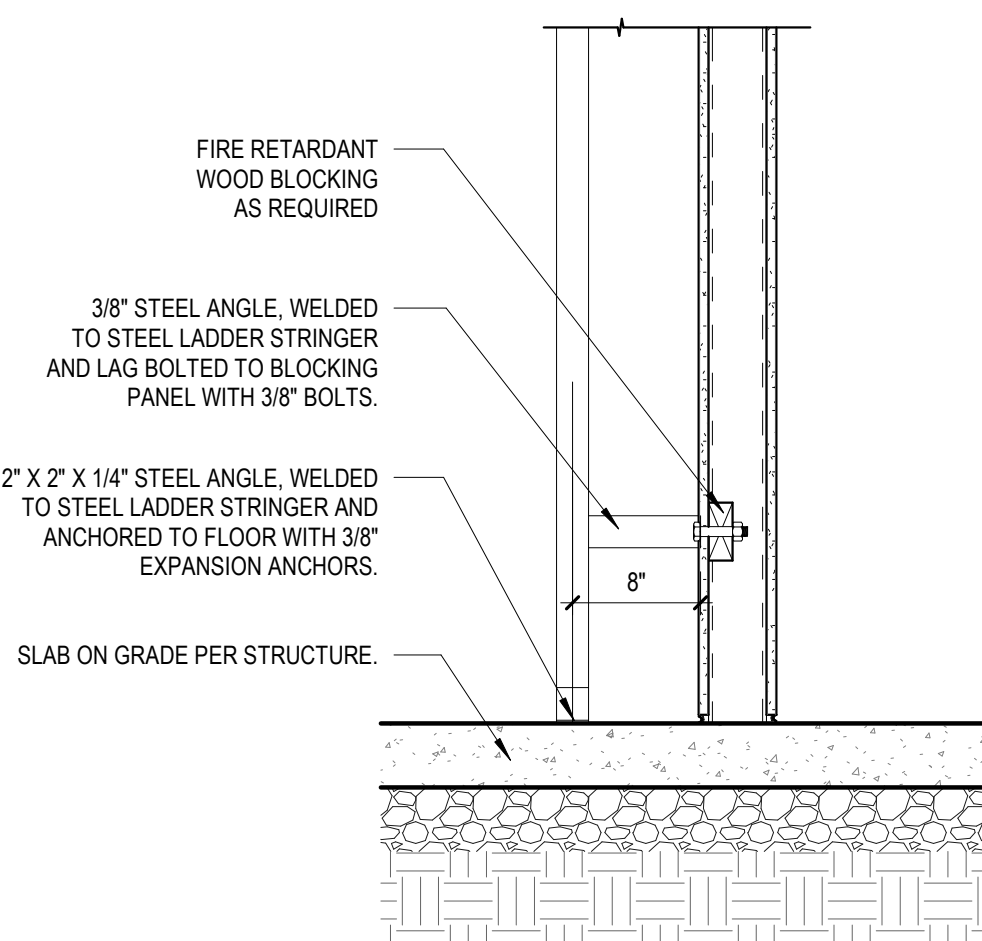


A3 LADDER SECTION
1" = 1'-0"

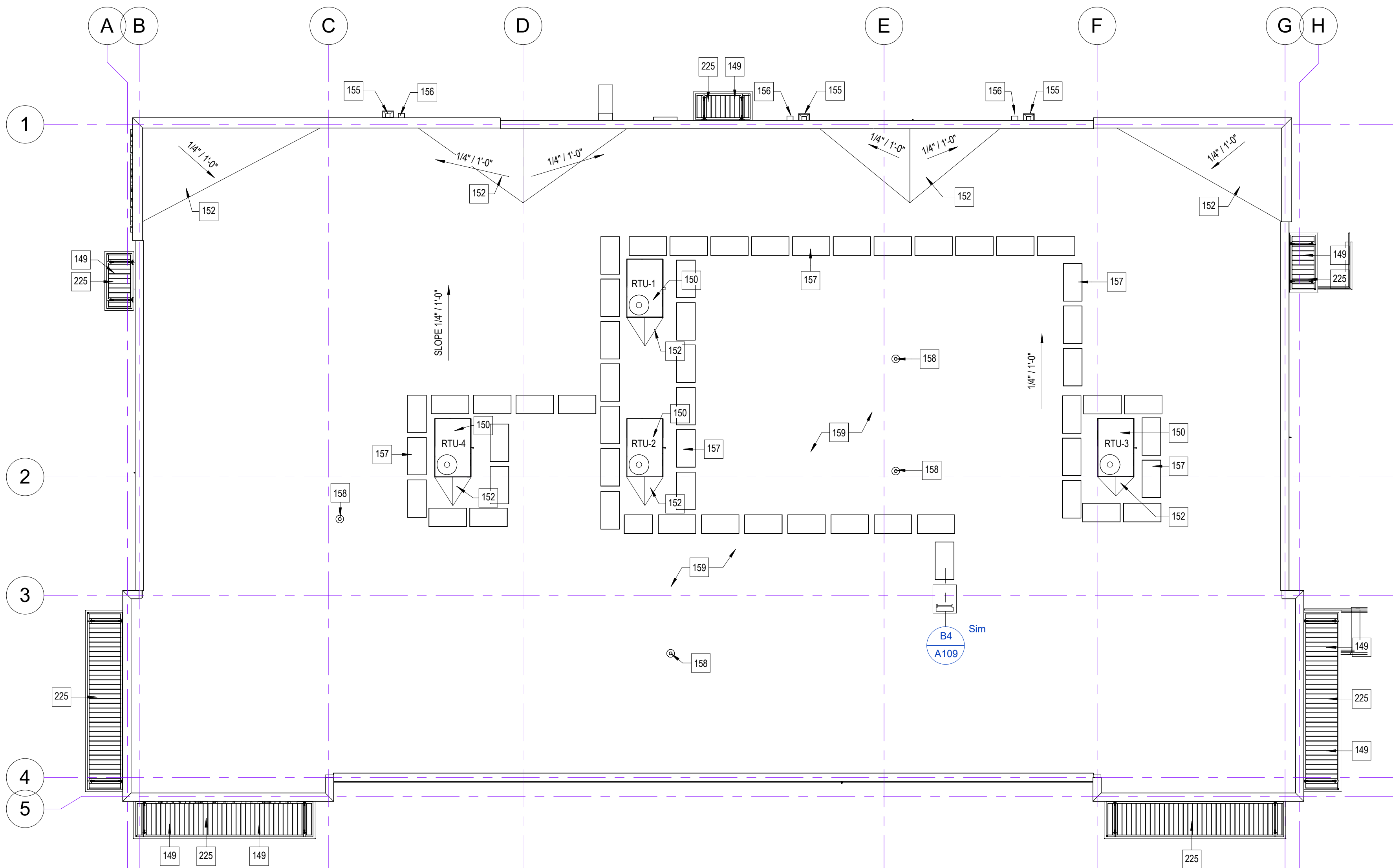
- NOTE:
- A. VERIFY ROOF LADDER SAFETY CAGE CODE REQUIREMENTS
 - B. G.C. TO PROVIDE AND INSTALL HATCH RAIL SYSTEM PER DETAIL 4/A3.1
 - C. VERIFY FLOOR TO ROOF HEIGHT PRIOR TO FABRICATING LADDER



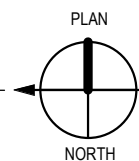
B4 ROOF HATCH AND LADDER
1" = 1'-0"



D4 LADDER AT FLOOR
1" = 1'-0"



D1 ROOF PLAN
1/8" = 1'-0"



KEYNOTES

KEYNOTE NO	DESCRIPTION
149	LIGHT FIXTURE. SEE ELECETRICAL DRAWINGS.
150	LOCATION OF GAS/ELECTRIC PACKAGED ROOFTOP UNIT ON INSULATED CURB. COORDINATE LOCATION WITH ROOF FRAMING.
152	PROVIDE TAPERED INSULATION AS REQUIRED TO SLOPE ROOF DRAINAGE TOWARDS DRAIN.
155	4"x16" PRE-FINISHED SCUPPER AND 4"x4" DOWNSPOUT, COORD. CONNECTION TO STORM WATER PER CIVIL.
156	4"x16" PRE-FINISHED OVERFLOW SCUPPER
157	SELF-ADHERED WALK PAD - PROVIDE ROUTE TO RTU'S
158	PLUMBING VENT. REF. PLUMBING DRAWINGS
159	60 MIL. TPO ROOFING MEMBRANE OVER POLYISO RIGID INSULATION EQUALING R-30, OVER METAL ROOF DECKING
225	PRE-MANUFACTURED, PRE-FINISHED METAL CANOPY, COORD. W/ LIGHT FIXTURES. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.

ROOF DISCHARGE SUMMARY:

BASED ON 3.2 PER HOUR RAINFALL RATE

DOWNSPOUT #	LEADER SIZE	ROOF AREA SERVED BY ROOF DRAIN	COMPARISON TO MAX ALLOWABLE AREA 4" SQ = 7,663 SQ FT
DS #1	4"x4"	2,862.26 SQ FT	-4,770.74 SQ FT [-62.25% CAPACITY]
DS #2	4"x4"	2,632.72 SQ FT	-5,030.28 SQ FT [-65.64% CAPACITY]
DS #3	4"x4"	2,963.71 SQ FT	-4,699.29 SQ FT [-61.32% CAPACITY]

TOTAL ROOF AREA ALLOWED

TOTAL ROOF AREA SERVED: 8,459.41 SQ FT

TOTAL DOWNSPOUTS PROVIDED: 3 COMBINATION COLLECTOR BOXES/D.S.

ROOF GENERAL NOTES:

- THESE NOTES TYPICAL UNLESS INDICATED OTHERWISE
- PROVIDE CRICKETS AT UPHILL SIDE OF EQUIPMENT CURBS, ROOF HATCH CURBS, AND OTHER LOCATIONS AS SHOWN OR REQUIRED TO PROVIDE POSITIVE DRAINAGE AND ELIMINATE STANDING WATER
- ROOF SLOPE IS GENERALLY PROVIDED BY SLOPING ROOF FRAMING EXCEPT WHERE TAPERED INSULATION IS INDICATED. PROVIDE CRICKETS OF TAPERED INSULATION AT EQUIPMENT CURBS, ROOF DRAINS, SCUPPERS, OR ANY OTHER INTERRUPTIONS OF SLOPES OF THE ROOF TO MAINTAIN MINIMUM 1/4" PER FOOT SLOPE.
- INSTALL 4" WOOD CANT AT ROOF HATCHES, UNDER WALL ACCESS PANELS AT ROOF, AND OTHER LOCATIONS AS INDICATED. INSTALL 4" PERLITE CANTS ELSEWHERE.
- 60 MIL. TPO ROOFING MEMBRANE OVER POLYISO RIGID INSULATION EQUALING R-30, OVER METAL ROOF DECKING.
- CONTRACTOR WILL ENSURE POSITIVE DRAINAGE OF THE ROOF TO DRAINS & SCUPPERS WITHOUT PONDING.

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EQUITY PARTNERSSM

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Architect

oaklinestudio
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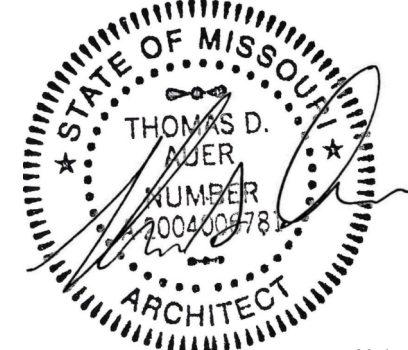
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Professional Seal



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Project

**BALLAS DENTAL OFFICE
BUILDING**

11647 Studt Avenue
Creve Coeur, MO 63141

ZONING SUBMITTAL

REVISION SCHEDULE		
No:	Description:	Date:

Issue Date: 08-30-2025

Project No: 25-016

Drawn By: AF

Checked By: TA

Sheet Name

ROOF PLAN

Sheet No

A109

Architect

oakline
architecture + design

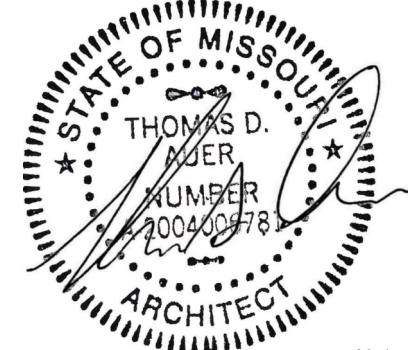
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Project

BALLAS DENTAL OFFICE BUILDING

11647 Studt Avenue
Creve Coeur, MO 63141

ZONING SUBMITTAL

REVISION SCHEDULE

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Issue Date: 08-30-2025

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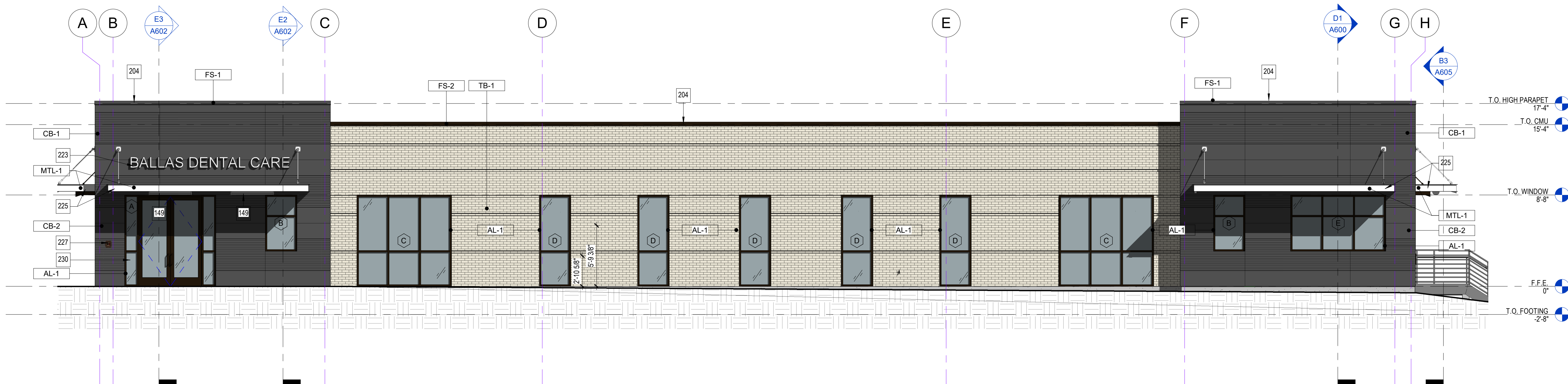
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Sheet Name

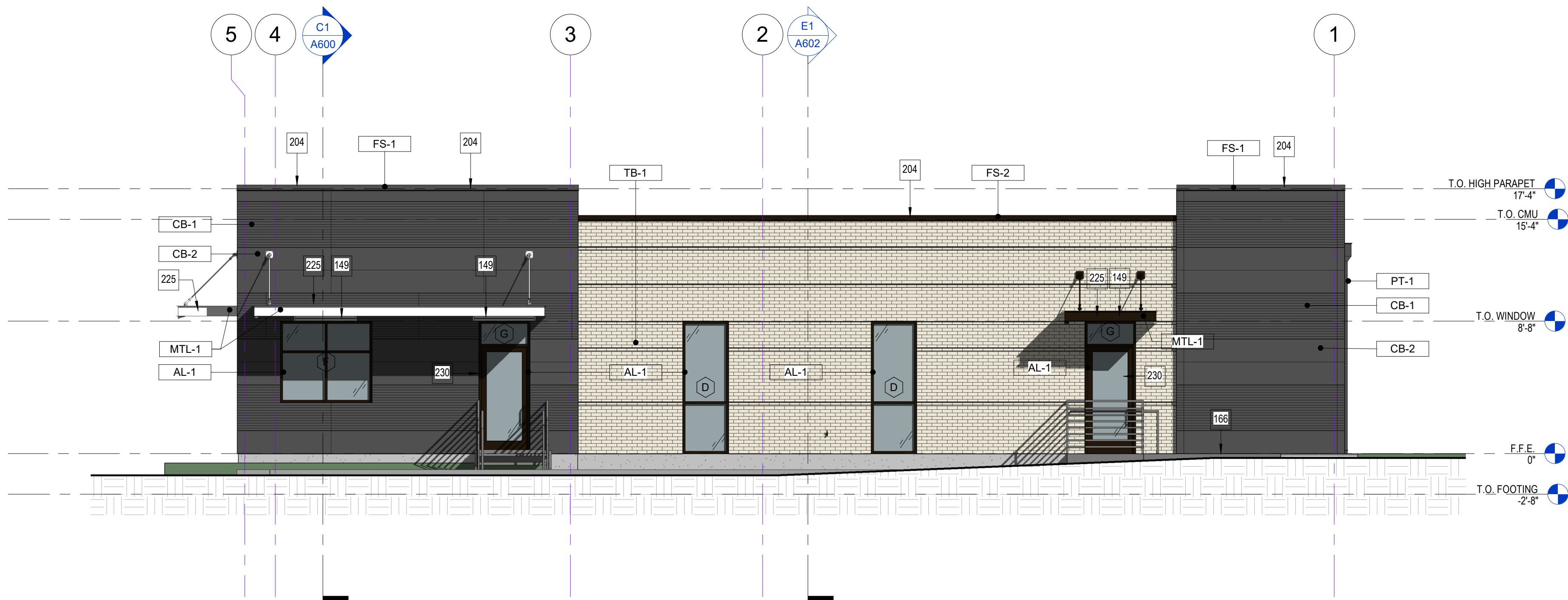
EXTERIOR ELEVATIONS

Sheet No

A500



B1 WEST ELEVATION
3/16" = 1'-0"



D2 SOUTH ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

Type Mark	Type	Manufacturer	Series / Product #	DESCRIPTION		Contact
				Finish / Color	Location	
Cement Board						
CB-1	Cement Board	Nichiha	Dimension Series - Ribbed -18" x 120"	Graphite	Exterior Facade	Russell Thompson; Direct Line: (314) 595.4426; Email: rthompson@negwer.com Russell Thompson; Direct Line: (314) 595.4426; Email: rthompson@negwer.com
CB-2	Cement Board	Nichiha	Dimension Series - Illumination - 18" x 120"	Graphite	Exterior Facade	
Lumishade Roll Formed Aluminum Canopies						
MTL-1	Lumishade Roll Formed Aluminum Canopies	Mapes	Roll Formed Deck "J" Profile Fascia	White	Exterior Facade	
MTL-2	Lumishade Roll Formed Aluminum Canopies	Mapes	Roll Formed Deck "J" Profile Fascia	Dark Bronze	Exterior Facade	
Metal Coping						
FS-1	Metal Coping			Match Nichiha Graphite	Exterior Facade	
FS-2	Metal Coping			Match Dark Bronze	Exterior Facade	
Paint						
PT-1	Paint	Sherwin-Williams	TBD	Match Nichiha Graphite	Flashing/ Gutters & Downspouts	
Storefront Frame						
AL-1	Storefront Frame			Dark Bronze	Exterior Facade	
Thin Brick Unit						
TB-1	Thin Brick Unit				Exterior Facade	

KEYNOTES

KEYNOTE NO	DESCRIPTION
149	LIGHT FIXTURE. SEE ELECETRICAL DRAWINGS.
166	NEW CONCRETE RAMP SYSTEM. REFERENCE CIVIL DRAWINGS FOR GRADING AND ADDITIONAL INFORMATION.
204	PREFINISHD METAL COPING WITH CONT. HOLD DOWN CLIPS. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
223	APPROXIMATE LOCATION OF OWNER SIGNAGE (15 sq. ft.). SHOWN FOR REFERENCE ONLY. COORDINATE WITH OWNER AND SIGN SUPPLIER/INSTALLER. PROVIDE POWER FOR SIGN WITHIN 5'6" OF SIGN LOCATION (IF REQUIRED).
225	PRE-MANUFACTURED, PRE-FINISHED METAL CANOPY, COORD. W/ LIGHT FIXTURES. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
227	RECESSED KNOX BOX. VERIFY TYPE AND LOCATION WITH LOCAL FIRE MARSHAL BEFORE ORDERING AND INSTALLING
230	PREFINISHED ALUMINUM STOREFRONT FRAMING AND ENTRY DOOR AL-1, WITH 1" INSULATED GLAZING GL-1, TEMPERED AS REQUIRED. REF. SHEET A503 FOR FURTHER INFORMATION

GENERAL NOTES:

- AWNINGS AND SIGNAGE DESIGNED BY OTHERS; SHOWN FOR REFERENCE ONLY. GC TO COORDINATE WITH VENDORS
- SEE SHEET A503 FOR STOREFRONT/WINDOW INFORMATION
- SEE FINISH MATERIAL SCHEDULE FOR PAINT COLORS AND FINISHES
- ALL EXTERIOR MASONRY AND MORTAR TO INCLUDE INTEGRAL WATER REPELLENT

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Project
BALLAS DENTAL OFFICE BUILDING
11647 Studt Avenue
Creve Coeur, MO 63141

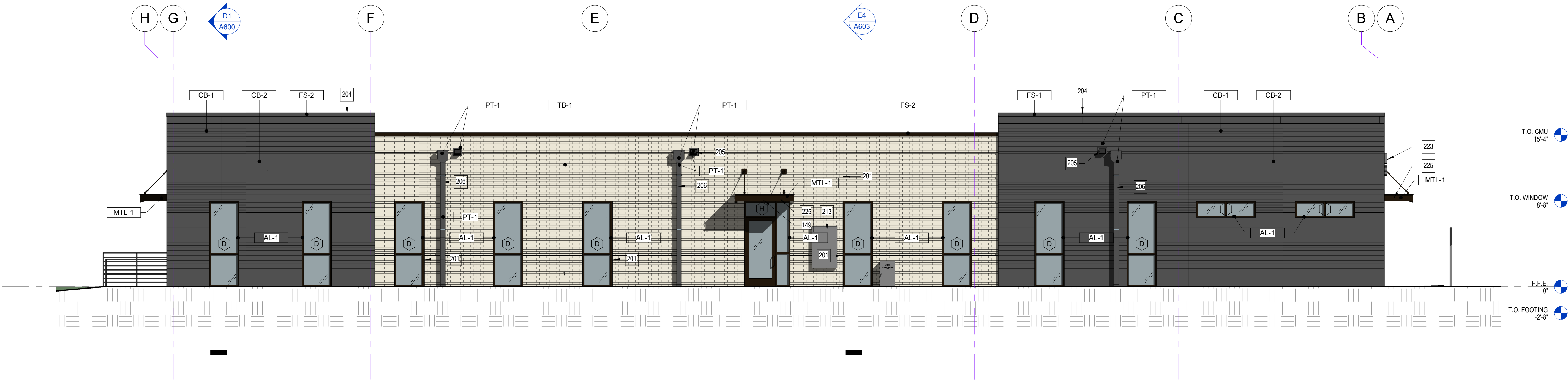
ZONING SUBMITTAL

REVISION SCHEDULE		
No:	Description:	Date:
Issue Date: 08-30-2025		
Project No: 25-016		
Drawn By: AF	Checked By: TA	

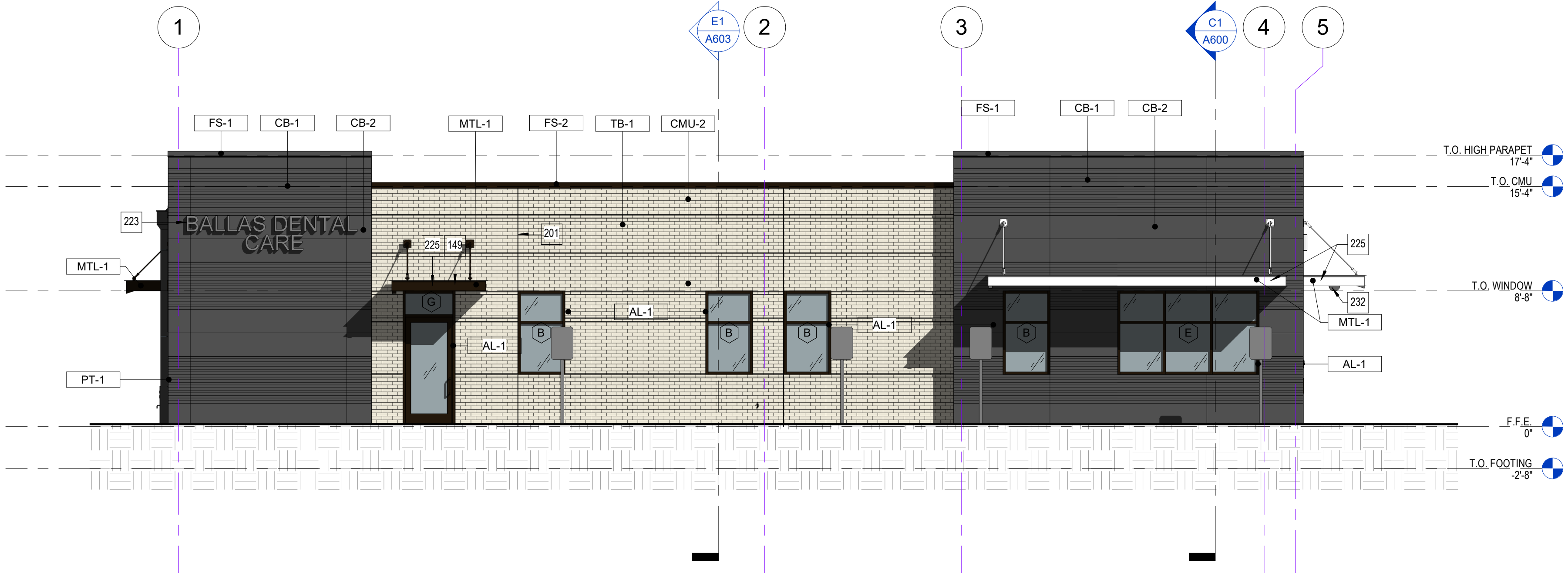
Sheet Name
EXTERIOR ELEVATIONS

Sheet No

A501



B1 EAST ELEVATION
3/16" = 1'-0"



D2 NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

Type Mark	Type	Manufacturer	Series / Product #	DESCRIPTION		Contact
				Finish / Color	Location	
Cement Board						
CB-1	Cement Board	Nichiha	Dimension Series - Ribbed - 18" x 120"	Graphite	Exterior Facade	Russell Thompson; Direct Line: (314) 595.4426; Email: rthompson@negwer.com
CB-2	Cement Board	Nichiha	Dimension Series - Illumination - 18" x 120"	Graphite	Exterior Facade	
Lumishade Roll Formed Aluminum Canopies						
MTL-1	Lumishade Roll Formed Aluminum Canopies	Mapes	Roll Formed Deck "J" Profile Fascia	White	Exterior Facade	
MTL-2	Lumishade Roll Formed Aluminum Canopies	Mapes	Roll Formed Deck "J" Profile Fascia	Dark Bronze	Exterior Facade	
Metal Coping						
FS-1	Metal Coping			Match Nichiha Graphite	Exterior Facade	
FS-2	Metal Coping			Match Dark Bronze	Exterior Facade	
Paint						
PT-1	Paint	Sherwin-Williams	TBD	Match Nichiha Graphite	Flashing/ Gutters & Downspouts	
Storefront Frame						
AL-1	Storefront Frame			Dark Bronze	Exterior Facade	
Thin Brick Unit						
TB-1	Thin Brick Unit				Exterior Facade	

KEYNOTES

KEYNOTE NO	DESCRIPTION
149	LIGHT FIXTURE. SEE ELECETRICAL DRAWINGS.
201	MASONRY CONTROL JOINT. 25'-0" MAX. & 10'-0" COMBINED MAX. AT CORNER.
204	PREFINISHID METAL COPING WITH CONT. HOLD DOWN CLIPS. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
205	SCUPPERS, CONDUCTORS AND LEADERS. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
206	DOWNSPOUTS. SEE CIVIL FOR DISCHARGE.
213	ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
223	APPROXIMATE LOCATION OF OWNER SIGNAGE (15 sq. ft.). SHOWN FOR REFERENCE ONLY. COORDINATE WITH OWNER AND SIGN SUPPLIER/INSTALLER. PROVIDE POWER FOR SIGN WITHIN 5&6" OF SIGN LOCATION (IF REQUIRED).
225	PRE-MANUFACTURED, PRE-FINISHED METAL CANOPY, COORD. W/ LIGHT FIXTURES. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
232	EXTERIOR LIGHT WIRED TO EMERGENCY EXIT LIGHTING. TYPICAL ABOVE EGRESS DOORS. COLOR TO BE PREFINISHED BLACK. REF ENGINEERING DRAWINGS.

GENERAL NOTES:

- AWNINGS AND SIGNAGE DESIGNED BY OTHERS; SHOWN FOR REFERENCE ONLY. GC TO COORDINATE WITH VENDORS.
- SEE SHEET A502 FOR STOREFRONT/WINDOW INFORMATION
- SEE FINISH MATERIAL SCHEDULE FOR PAINT COLORS
- ALL EXTERIOR MASONRY AND MORTAR TO INCLUDE INTEGRAL WATER REPELLENT.



B2 STREET VIEW FROM STUdT AVE. - NORTH-EAST



C2 STREET VIEW FROM STUdT AVE. - NORTH-WEST



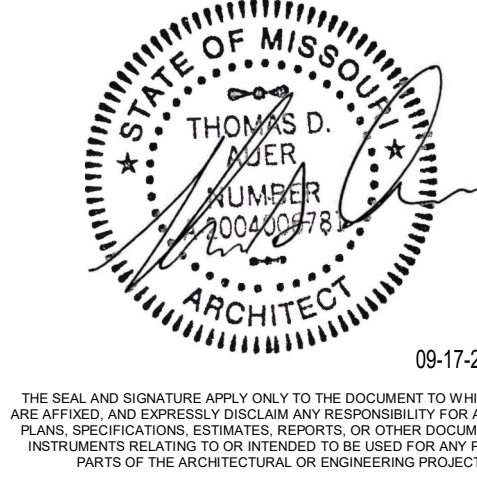
D2 STREET VIEW FROM HAMM AVE.

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Project
**BALLAS DENTAL OFFICE
BUILDING**
11647 Studt Avenue
Creve Coeur, MO 63141

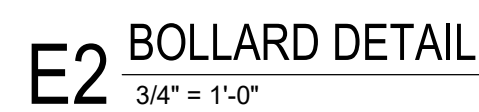
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REVISION SCHEDULE		
No:	Description:	Date:
Issue Date: 08-30-2025		
Project No: 25-016		
Drawn By: AF	Checked By: TA	

Sheet Name
STREET VIEWS

Sheet No

A502



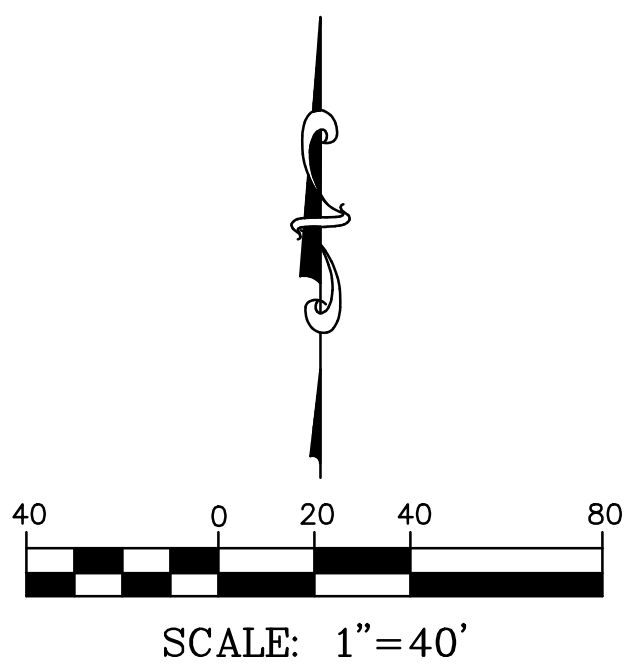
A504

STUDT AVENUE BOUNDARY ADJUSTMENT PLAT

BEING LOCATED IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST OF THE 5TH P.M.,

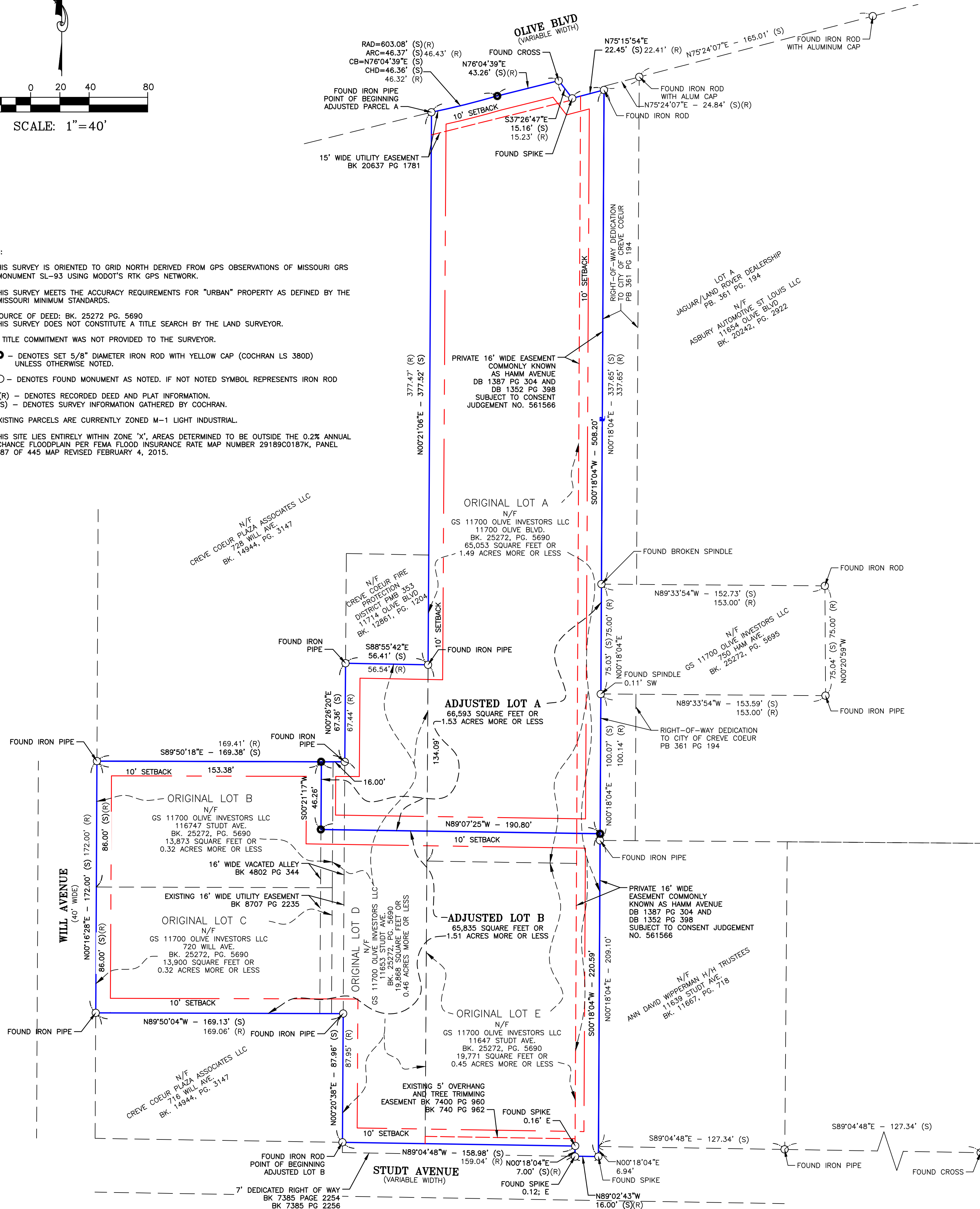
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI

ZONING: CB - CORE BUSINESS DISTRICT



NOTES:

- THIS SURVEY IS ORIENTED TO GRID NORTH DERIVED FROM GPS OBSERVATIONS OF MISSOURI GRIS MONUMENT SL-93 USING MODOT'S RTK GPS NETWORK.
- THIS SURVEY MEETS THE ACCURACY REQUIREMENTS FOR "URBAN" PROPERTY AS DEFINED BY THE MISSOURI MINIMUM STANDARDS.
- SOURCE OF DEED: BK. 25272 PG. 5690
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE LAND SURVEYOR.
- A TITLE COMMITMENT WAS NOT PROVIDED TO THE SURVEYOR.
- - DENOTES SET 5/8" DIAMETER IRON ROD WITH YELLOW CAP (COCHRAN LS 380D) UNLESS OTHERWISE NOTED.
○ - DENOTES FOUND MONUMENT AS NOTED. IF NOT NOTED SYMBOL REPRESENTS IRON ROD
- (R) - DENOTES RECORDED DEED AND PLAT INFORMATION.
(S) - DENOTES SURVEY INFORMATION GATHERED BY COCHRAN.
- EXISTING PARCELS ARE CURRENTLY ZONED M-1 LIGHT INDUSTRIAL.
- THIS SITE LIES ENTIRELY WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29189C0187K, PANEL 187 OF 445 MAP REVISED FEBRUARY 4, 2015.



LENDER'S CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE LEGAL HOLDER OF NOTES SECURED BY A DEED RECORDED IN BOOK _____ OF THE ST. LOUIS COUNTY RECORDS, OF THE ST. LOUIS COUNTY RECORDS, OF THE ST. LOUIS COUNTY RECORDS FOR THE PROPERTY BOUNDARY ADJUSTMENT SURVEY IN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, CITY OF CREVE COEUR, ST. LOUIS COUNTY, MO.

THE UNDERSIGNED DO HEREBY RECOGNIZE AND ACCEPT SAID PROPERTY BOUNDARY ADJUSTMENT SURVEY, IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____

BY: _____
LENDER'S NAME
SIGNATURE
PRINT NAME & TITLE

NOTARY PUBLIC CERTIFICATION:

STATE OF MISSOURI }
COUNTY OF _____ } SS

ON THIS _____ DAY OF _____, IN THE YEAR 20____, BEFORE ME PERSONALLY APPEARED _____, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE _____ OF _____, A CORPORATION OF THE STATE OF _____, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THE SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN WHEREOF WHEREOF, I HAVE SIGNED AND SEALED THE FOREGOING THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____
NOTARY PUBLIC
PRINTED NAME

OWNER'S CERTIFICATION:

THE UNDERSIGNED OWNER HAS CAUSED THESE PARCELS TO BE ADJUSTED IN THE MANNER SHOWN ON THIS PLAT WHICH SHALL, HEREFTER BE KNOWN AS: PROPERTY BOUNDARY ADJUSTMENT SURVEY IN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, CITY OF CREVE COEUR, ST. LOUIS COUNTY, MO.

NO TITLE COMMITMENT WAS OBTAINED AS PART OF THIS PROPERTY BOUNDARY ADJUSTMENT SURVEY, THEREFORE THESE PROPERTIES ARE SUBJECT TO ANY AND ALL EASEMENTS OF RECORD, WHETHER OR NOT SHOWN ON THIS PLAT. BUILDING LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT.

TO THE BEST OF OUR KNOWLEDGE THERE IS NO RECORD OF THESE PROPERTIES BEING SUBJECT TO ANY INDENTURE OR RESTRICTIONS.

THE UNDERSIGNED FURTHER STATES THAT SAID TRACT IS NOT ENCUMBERED BY DELINQUENT TAXES.

IN WITNESS WHEREOF, IT HAS BEEN SIGNED AND SEALED THE FOREGOING

THIS _____ DAY OF _____

GS 11700 OLIVE INVESTORS LLC
SIGNATURE
PRINT NAME & TITLE

NOTARY PUBLIC CERTIFICATION:

STATE OF MISSOURI }
COUNTY OF _____ } SS

ON THIS _____ DAY OF _____, IN THE YEAR 20____, BEFORE ME PERSONALLY APPEARED _____, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE _____ OF GS 11700 OLIVE INVESTORS LLC, A CORPORATION OF THE STATE OF MISSOURI, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THE SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN WHEREOF WHEREOF, I HAVE SIGNED AND SEALED THE FOREGOING THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____
NOTARY PUBLIC
PRINTED NAME

BOUNDARY ADJUSTMENT PLAT SCRIPT:

IT IS HEREBY CERTIFIED THAT THIS BOUNDARY ADJUSTMENT PLAT WAS APPROVED BY THE CREVE COEUR PLANNING AND ZONING COMMISSION ON THE _____ DAY OF _____, 2025, PURSUANT TO SECTION 410.030.D OF THE SUBDIVISION REGULATIONS, CHAPTER 410 OF THE MUNICIPAL CODE OF THE CITY OF CREVE COEUR.

CITY OF CREVE COEUR, MISSOURI

JULIE LABONTE
CHAIRMAN, PLANNING AND ZONING COMMISSION

KELLIE HENKE
CITY CLERK

SURVEYOR'S CERTIFICATE:

AT THE REQUEST OF ASHLEY HESJEDAL, WE HAVE DURING THE MONTH OF OCTOBER 2025, EXECUTED A PROPERTY BOUNDARY SURVEY FROM ACTUAL FIELD DATA AND RECORD INFORMATION ON A TRACT OF LAND BEING PART OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST OF THE 5TH P.M., CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI AND HAS BEEN EXECUTED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND THE RESULTS ARE SHOWN HEREON.

CB ENGINEERING INC.
DBA COCHRAN
LS-380

BY: DANIEL K. GILDEHAUS, P.L.S. #2006016625
STATE OF MISSOURI
PROFESSIONAL LAND SURVEYOR
FOR COCHRAN

ORIGINAL LOT DESCRIPTIONS:

ORIGINAL LOT A

PART OF LOT 1 OF THE SUBDIVISION OF STUDT'S HOME PLACE IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE EAST ALONG OLIVE STREET ROAD AN ARC DISTANCE OF 46.98 FEET TO AN IRON ROD; THENCE NORTH 74 DEGREES 27 MINUTES 30 SECONDS EAST 43.26 FEET TO AN IRON ROD; THENCE SOUTH 38 DEGREES 44 MINUTES 25 SECONDS EAST 15.23 FEET TO AN IRON ROD; THENCE NORTH 74 DEGREES 27 MINUTES 30 SECONDS EAST 22.41 FEET TO AN OLD IRON PIPE BEING THE NORTHWEST CORNER OF PROPERTY NOW OR FORMERLY OF REUTHER BY DEED RECORDED IN BOOK 3549, PAGE 401 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTH 0 DEGREES 40 MINUTES 00 SECONDS EAST ALONG SAID PROPERTY SO CONVEYED TO REUTHER AS AFORESAID AND ALONG THE WEST LINE OF PARCELS CONVEYED TO THOMPSON BY BOOK 6498, PAGE 1269, KISLING BY BOOK 6520, PAGE 1029, REUTHER BY BOOK 6770, PAGE 1031, AND MEYER BY BOOK 1971, PAGE 109 A DISTANCE OF 729.10 FEET TO AN OLD IRON PIPE AND THE NORTH LINE OF STUDT AVENUE, 30 FEET WIDE; THENCE ALONG STUDT AVENUE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS WEST A DISTANCE OF 16 FEET TO AN IRON ROD BEING THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY OF THOMPSON BY DEED RECORDED IN BOOK 8325, PAGE 801 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 0 DEGREES 40 MINUTES 00 SECONDS WEST 200 FEET TO AN IRON ROD; THENCE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS WEST 102.53 FEET TO AN IRON ROD AND BEING THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY CONVEYED TO KUHLMANN BY DEED RECORDED IN BOOK 6659, PAGE 311 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 0 DEGREES 40 MINUTES 00 SECONDS WEST ALONG SAID PROPERTY SO CONVEYED TO KUHLMANN AS AFORESAID AND ALONG THE EAST LINE OF PROPERTY NOW OR FORMERLY OF CREVE COEUR FIRE DEPARTMENT 511.99 FEET TO THE SOUTH LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AND THE POINT OF BEGINNING.

ORIGINAL LOT B

LOT 13 OF STUDT HEIGHTS NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15, PAGE 65 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND INCLUDING THE WESTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

ORIGINAL LOT C

LOT 12 OF STUDT HEIGHTS NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15, PAGE 65 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND INCLUDING THE WESTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

ORIGINAL LOT D

PART OF LOT 2 OF THE SUBDIVISION OF STUDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT A POINT IN THE CENTER LINE OF STUDT AVENUE, 30 FOOT WIDE, AND THE SOUTHEAST CORNER OF LOT 2; THENCE NORTH ALONG EAST LINE OF LOT 2, 349.43 FEET, MORE OR LESS, TO SOUTHEAST CORNER OF PROPERTY CONVEYED TO KATHERINE SCHAUPP, BY DEED RECORDED IN BOOK 170, PAGE 20; THENCE WEST ALONG SOUTH LINE OF PROPERTY OF SCHAUPP 56 FEET 4-1/4 INCHES TO EAST LINE OF PROPERTY CONVEYED TO JACOB STUDT, JR. BY DEED RECORDED IN BOOK 211, PAGE 191; THENCE SOUTH ALONG EAST LINE OF PROPERTY CONVEYED TO JACOB STUDT 349.43 FEET TO CENTER LINE OF SAID ROAD 30 FEET WIDE; THENCE EAST ALONG SAID CENTER LINE 56 FEET 4-1/4 INCHES TO PLACE OF BEGINNING, AND INCLUDING THE EASTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

ORIGINAL LOT E

PART OF LOT 1 OF THE SUBDIVISION OF STUDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF STUDT AVENUE, 30 FEET WIDE, WITH THE WEST LINE OF SAID LOT 1; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AND PARALLEL WITH THE NORTH LINE OF STUDT AVENUE, 101 FEET, MORE OR LESS, TO A POINT IN THE WEST LINE OF A PRIVATE ROAD SIC HAM DRIVE, 16 FEET WIDE; THENCE SOUTH ALONG THE WEST LINE OF SAID PRIVATE ROAD SIC HAM DRIVE, 200 FEET TO THE NORTH LINE OF STUDT AVENUE; THENCE WEST ALONG THE NORTH LINE OF STUDT AVENUE, 101 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

ADJUSTED LOT DESCRIPTIONS:

ADJUSTED LOT A:

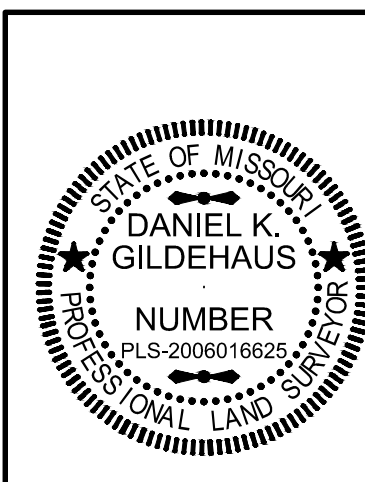
A TRACT OF LAND BEING PART OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST OF THE 5TH P.M., CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF A PARCEL CONVEYED TO CREVE COEUR PLAZA ASSOCIATES LLC IN DEED BOOK 14944 PAGE 3147 OF THE ST. LOUIS COUNTY RECORDERS OFFICE SAID POINT BEING ON THE SOUTHERN RIGHT OF WAY LINE OF OLIVE BOULEVARD (VARIABLE WIDTH), THENCE ALONG SAID SOUTHERN RIGHT OF WAY LINE 46.37 FEET ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 603.08 FEET WHOSE CHORD BEARS N76°04'39"E 46.36 FEET; THENCE N76°04'39"E 43.26 FEET; THENCE S37°26'47"E 15.16 FEET; THENCE N75°15'54"E 22.45 FEET TO A POINT ON THE WESTERN LINE OF LOT A OF JAGUAR/LAND ROVER DEALERSHIP AS RECORDED IN PB 361 PG 194 IN SAID RECORDERS OFFICE; THENCE ALONG SAID WESTERN LINE S00°18'04"W 508.20 FEET; THENCE LEAVING SAID WESTERN LOT LINE N89°07'25"W 190.80 FEET; THENCE N00°21'17"E 46.26 FEET TO A POINT ON THE SOUTHERN LINE OF SAID PARCEL CONVEYED TO CREVE COEUR PLAZA ASSOCIATES LLC; THENCE ALONG SAID SOUTHERN LINE S88°55'42"E 56.41 FEET; THENCE N00°28'20"E 67.36 FEET; THENCE S88°55'42"E 56.41 FEET; THENCE N00°21'06"E 377.52 FEET TO THE POINT OF BEGINNING AND CONTAINING 66,593 SQUARE FEET OR 1.53 ACRES MORE OR LESS.

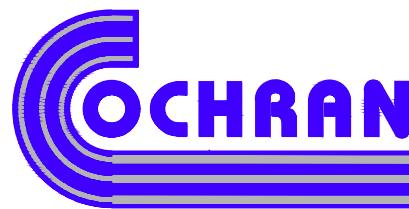
ADJUSTED LOT B:

A TRACT OF LAND BEING PART OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST OF THE 5TH P.M., CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF A PARCEL CONVEYED TO CREVE COEUR PLAZA ASSOCIATES LLC IN DEED BOOK 14944 PAGE 3147 OF THE ST. LOUIS COUNTY RECORDERS OFFICE AND THE NORTHERN RIGHT OF WAY LINE OF STUDT AVENUE (VARIABLE WIDTH); THENCE LEAVING SAID NORTHERN RIGHT OF WAY LINE AND ALONG THE EAST LINE OF SAID CREVE COEUR PLAZA ASSOCIATES LLC PARCEL N00°20'38"E 87.36 FEET; THENCE ALONG THE NORTHERN LINE OF SAID PARCEL N89°50'04"W 169.13 FEET TO A POINT ON THE EASTERN RIGHT OF WAY LINE OF WILL AVENUE (40 FEET WIDE); THENCE ALONG SAID EASTERN LINE N00°16'28"W 172.00 FEET; THENCE LEAVING SAID EASTERN RIGHT OF WAY AND ALONG THE SOUTHERN LINE OF A PARCEL CONVEYED TO CREVE COEUR PLAZA ASSOCIATES LLC IN DEED BOOK 14944 PAGE 3147 OF SAID RECORDERS OFFICE S89°50'18"E 153.38 FEET; THENCE LEAVING SAID SOUTHERN LINE S00°16'11"E 46.26 FEET; THENCE S89°07'25"E 190.80 FEET TO A POINT ON THE WESTERN RIGHT OF WAY DEDICATION TO THE CITY OF CREVE COEUR IN PB 361 PG 194 OF SAID RECORDERS OFFICE; THENCE ALONG SAID RIGHT OF WAY S00°18'04"W 220.59 FEET TO A POINT ON THE NORTHERN RIGHT OF WAY LINE OF SAID STUDT AVENUE; THENCE ALONG SAID RIGHT OF WAY N89°02'43"W 16.00 FEET; THENCE N00°18'04"E 7.00 FEET; THENCE N89°04'48"W 127.34 FEET TO THE POINT OF BEGINNING AND CONTAINING 65,835 SQUARE FEET OR 1.51 ACRES MORE OR LESS.



STUDT AVENUE BOUNDARY ADJUSTMENT PLAT CITY OF CREVE COEUR, MISSOURI



• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning

COCHRAN
530A E. Independence Dr.
Union, Missouri 63084
636-564-0940 (m)
636-564-0912 (fax)
moh@cochrang.com

DWN. BY	TJH	DATE	10-08-2025	PROJ. NO.	25-10276
AREA	S3,T45N,R5E	SCALE	1"=40'	DWG. NO.	1 OF 1
MISSOURI STATE LAND SURVEYING CERTIFICATE OF AUTHORITY #000380					

SITE INFORMATION

N/F: GS 11700 OLIVE INVESTORS L L C
11700 OLIVE BLVD, CREVE COEUR, MO 63141
APH: 170620059, 170341918, 170342496, 170342485, 170341927 & 170620015
144,326 ± SQUARE FEET, OR 3.330 ± ACRES

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY', TITLE COMMITMENT #NCS-1249929-STLO, DATED FEBRUARY 05, 2025 AT 8:00 A.M.

SCHEDULE A DESCRIPTION

PARCEL 1:

PART OF LOT 1 OF THE SUBDIVISION OF STUDT'S HOME PLACE IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE EAST ALONG OLIVE STREET ROAD AN ARC DISTANCE OF 46.98 FEET TO AN IRON ROD; THENCE NORTH 74 DEGREES 27 MINUTES 30 SECONDS EAST 43.36 FEET TO AN IRON ROD; THENCE SOUTH 38 DEGREES 44 MINUTES 25 SECONDS EAST 15.23 FEET TO AN IRON ROD; THENCE NORTH 14 DEGREES 27 MINUTES 30 SECONDS EAST 22.41 FEET TO AN OLD IRON PIPE BEING THE NORTHWEST CORNER OF PROPERTY NOW OR FORMERLY OF REUTHER BY DEED RECORDED IN BOOK 3549, PAGE 401 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTH 0 DEGREES 40 MINUTES 00 SECONDS EAST ALONG SAID PROPERTY SO CONVEYED TO REUTHER AS AFORESAID AND ALONG THE WEST LINE OF PARCELS CONVEYED TO THOMPSON BY BOOK 6488, PAGE 1269, KISLING BY BOOK 6530, PAGE 1028, REUTHER BY BOOK 6770, PAGE 2361, AND MEYER BY BOOK 1071, PAGE 109 A DISTANCE OF 729.10 FEET TO AN OLD IRON PIPE AND THE NORTH LINE OF STUET AVENUE, 30 FEET WIDE; THENCE ALONG STUET AVENUE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS WEST A DISTANCE OF 16 FEET TO AN IRON ROD BEING THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY OF THOMPSON BY DEED RECORDED IN BOOK 8335, PAGE 801 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 0 DEGREES 40 MINUTES 00 SECONDS WEST 200 FEET TO AN IRON ROD; THENCE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS WEST 102.53 FEET TO AN IRON ROD AND BEING THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY CONVEYED TO KUHLMANN BY DEED RECORDED IN BOOK 6689, PAGE 311 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 0 DEGREES 40 MINUTES 00 SECONDS WEST ALONG SAID PROPERTY SO CONVEYED TO KUHLMANN AS AFORESAID AND ALONG THE EAST LINE OF PROPERTY NOW OR FORMERLY OF CREVE COEUR FIRE DEPARTMENT 511.99 FEET TO THE SOUTH LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AND THE POINT OF BEGINNING.

PARCEL 2:

LOT 13 OF STUET HEIGHTS NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15, PAGE 65 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND INCLUDING THE WESTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

PARCEL 3:

LOT 12 OF STUET HEIGHTS NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15, PAGE 65 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND INCLUDING THE WESTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

PARCEL 4:

PART OF LOT 2 OF THE SUBDIVISION OF STUDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT A POINT IN THE CENTER LINE OF STUET AVENUE, 30 FOOT WIDE, AND THE SOUTHEAST CORNER OF LOT 2; THENCE NORTH ALONG EAST LINE OF LOT 2, 349.43 FEET, MORE OR LESS, TO SOUTHEAST CORNER OF PROPERTY CONVEYED TO KATHERINE SCHAUPP, BY DEED RECORDED IN BOOK 170, PAGE 20; THENCE WEST ALONG SOUTH LINE OF PROPERTY OF SCHAUPP 56 FEET 4-1/4 INCHES TO EAST LINE OF PROPERTY CONVEYED TO JACOB STUET, JR. BY DEED RECORDED IN BOOK 211, PAGE 191; THENCE SOUTH ALONG EAST LINE OF PROPERTY CONVEYED TO JACOB STUET 349.43 FEET TO CENTER LINE OF SAID ROAD 30 FEET WIDE; THENCE EAST ALONG SAID CENTER LINE 56 FEET 4-1/4 INCHES TO PLACE OF BEGINNING, AND INCLUDING THE EASTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

PARCEL 5:

PART OF LOT 1 OF THE SUBDIVISION OF STUDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF STUET AVENUE, 30 FEET WIDE, WITH THE NORTH LINE OF SAID LOT 1; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AND PARALLEL WITH THE NORTH LINE OF STUET AVENUE, 101 FEET, MORE OR LESS, TO A POINT IN THE WEST LINE OF A PRIVATE ROAD SIC HAM DRIVE, 16 FEET WIDE; THENCE SOUTH ALONG THE WEST LINE OF SAID PRIVATE ROAD SIC HAM DRIVE, 200 FEET TO THE NORTH LINE OF STUET AVENUE; THENCE WEST ALONG THE NORTH LINE OF STUET AVENUE, 101 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

NOTES CORRESPONDING TO SCHEDULE B

- ASSESSMENTS LEVIED BY THE OLIVE BOULEVARD TRANSPORTATION DEVELOPMENT DISTRICT CREATED BY THE ORDER RENDERED SEPTEMBER 9, 8004 IN THE CIRCUIT COURT OF ST. LOUIS, MISSOURI, AS DOCUMENT NO. 2104CC-01802, AND SECOND ADJUSTMENT OF THE BOUNDARIES THEREOF PURSUANT TO ORDER FILED DEC. 16, 2009 AS [DOCUMENT NO. 09SL-CC04517](#) (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
- EASEMENT GRANTED MISSOURI AMERICAN WATER COMPANY AND UNION ELECTRIC COMPANY ACCORDING TO INSTRUMENT RECORDED IN [BOOK 20637, PAGE 1781](#). (PARCEL 1) (AFFECTS, PLOTTED AND SHOWN)
- EASEMENT GRANTED TO UNION ELECTRIC COMPANY, ACCORDING TO INSTRUMENT RECORDED IN [BOOK 8707, PAGE 2235](#). (PARCELS 2 AND 4) (AFFECTS, PLOTTED AND SHOWN)
- EASEMENT GRANTED THE CITY OF CREVE COEUR ACCORDING TO INSTRUMENT RECORDED IN [BOOK 7385, PAGE 2256](#). (PARCEL 4) (AFFECTS, PLOTTED AND SHOWN)
- EASEMENT GRANTED TO UNION ELECTRIC COMPANY, ACCORDING TO INSTRUMENT RECORDED IN [BOOK 7400, PAGE 962](#). (PARCEL 4) (AFFECTS, PLOTTED AND SHOWN)
- EASEMENT GRANTED TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, ACCORDING TO INSTRUMENT RECORDED IN [BOOK 5199, PAGE 429](#). (PARCELS 4 AND 5) (AFFECTS, PLOTTED AND SHOWN)
- EASEMENT GRANTED THE CITY OF CREVE COEUR ACCORDING TO INSTRUMENT RECORDED IN [BOOK 7385, PAGE 2254](#). (PARCEL 5) (AFFECTS, PLOTTED AND SHOWN)
- EASEMENT GRANTED TO UNION ELECTRIC COMPANY, ACCORDING TO INSTRUMENT RECORDED IN [BOOK 7400, PAGE 960](#). (PARCEL 5) (AFFECTS, PLOTTED AND SHOWN)
- RIGHTS, IF ANY, IN FAVOR OF PUBLIC UTILITIES OR FACILITIES INSTALLED IN ANY PORTION OF THE FORMER 16 FOOT WIDE NORTH-SOUTH ALLEY PRIOR TO THE VACATION THEREOF BY ORDINANCE NUMBER 208 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN [BOOK 4802, PAGE 344](#). (PARCELS 2, 3, AND 4) (AFFECTS, PLOTTED ALLEY PLOTTED AND SHOWN)

SCHEDULE A DESCRIPTION

PARCEL 6:

PART OF LOT 1 OF THE SUBDIVISION OF STUDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT A POINT IN THE MOST NORTHERN OF THE EAST LINE OF SAID LOT 1 AT A POINT DISTANT SOUTH 0 DEGREES 40 MINUTES EAST 405.88 FEET FROM THE INTERSECTION OF THE AFORESAID EAST LINE WITH SOUTH LINE OF OLIVE STREET ROAD; THENCE SOUTH 0 DEGREES 40 MINUTES EAST 75 FEET TO A POINT; THENCE SOUTH 89 DEGREES 30 MINUTES WEST 153 FEET, TO EAST LINE OF HAM DRIVE, 16 FOOT WIDE; THENCE NORTH ALONG EAST LINE OF SAID ROAD PARALLEL WITH EAST LINE OF SAID LOT 1, 75 FEET TO A POINT; THENCE NORTH 89 DEGREES 30 MINUTES EAST 153 FEET TO PLACE OF BEGINNING.

THE ABOVE PARCELS ALSO DESCRIBED IN THE SURVEY PREPARED BY BLEW, INC., DATED _____, JOB NO. 25-0890, AS FOLLOWS:

A PART OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ST. LOUIS COUNTY, MISSOURI, BEING ALL OF LOTS 12 AND 13 OF STUDT'S HEIGHTS NO. 2, A SUBDIVISION FILED FOR RECORD IN PLAT BOOK 15, PAGE 65 OF THE LAND RECORDS OF SAID ST. LOUIS COUNTY AND BEING PART OF LOTS 1 AND 2 OF THE SUBDIVISION OF STUDT'S HOME PLACE THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE LAND RECORDS OF SAID ST. LOUIS COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT FOUND 1/2" IRON PIPE MARKING THE NORTHWEST CORNER OF LOT 1, SUBDIVISION OF STUDT'S HOME PLACE AND THE SOUTHEAST RIGHT-OF-WAY LINE OLIVE BOULEVARD AND RUNNING, THENCE ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE ALONG A CURVE TO THE LEFT, WITH A RADIUS OF 603.08 FEET, AN ARC LENGTH OF 46.33 FEET, AND A CHORD BEARING AND DISTANCE OF N78°40'32"E 46.32 FEET, THENCE N75°21'27"E 43.26 FEET TO A SET DRILL HOLE, THENCE LEAVING SAID SOUTHEAST RIGHT-OF-WAY S37°46'46"E 15.23 FEET TO A SET MAG-SPIKE, THENCE N75°25'09"E 22.41 FEET TO A SET 5/8" REBAR WITH A CAP "BLEW & ASSOC 2017018510", THENCE S00°17'39"W 337.60 FEET TO A FOUND COTTON SPINDLE, THENCE S88°34'11"E 152.70 FEET TO A FOUND 1/2" REBAR WITH A CAP "S 144-D", THENCE S00°22'09"E 75.06 FEET TO A FOUND 3/4" REBAR, THENCE N89°32'45"W 153.57 FEET TO A FOUND COTTON SPINDLE, THENCE S00°17'39"W 308.98 FEET TO THE NORTH RIGHT-OF-WAY OF STUET AVENUE, THENCE ALONG SAID NORTH RIGHT-OF-WAY N89°07'25"W 183.14 FEET TO A FOUND 5/8" REBAR, THENCE LEAVING SAID RIGHT-OF-WAY N00°21'09"E 87.82 FEET, THENCE N89°48'53"W 161.08 FEET TO THE WEST RIGHT-OF-WAY OF WILL AVENUE, THENCE ALONG SAID WEST RIGHT-OF-WAY N00°16'45"E 171.89 FEET TO A FOUND 1/2" IRON PIPE, THENCE LEAVING SAID WEST RIGHT-OF-WAY S89°50'05"E 161.30 FEET, THENCE N00°21'09"E 87.96 FEET, THENCE S88°56'55"E 64.56 FEET TO A FOUND 1/2" IRON PIPE, THENCE N00°21'06"E 377.41 FEET TO THE POINT OF BEGINNING, CONTAINING 3.330 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

PARKING INFORMATION

NO VISIBLE PARKING WAS OBSERVED AT THE TIME OF THE ALTA SURVEY

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 29189C0187K, WHICH BEARS AN EFFECTIVE DATE OF 2/4/2015 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH BASED ON THE WEST LINE OF PARCEL 1 AS NOTED. THE BEARING IS DENOTED AS N00°21'06"E PER GPS COORDINATE OBSERVATIONS MISSOURI STATE PLANE, EAST ZONE NAD83. LATITUDE = 38°40'12.294" LONGITUDE = -90°29'26.763" CONVERGENCE ANGLE = 00°02'13.2380"

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT THE TIME OF THE ALTANSPS SURVEY.

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, & CLIENT-PROVIDED UTILITY MAP DRAWINGS. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL MISSOURI ONE-CALL AT 811 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES BEFORE DIGGING.

ALTA/NSPS LAND TITLE SURVEY

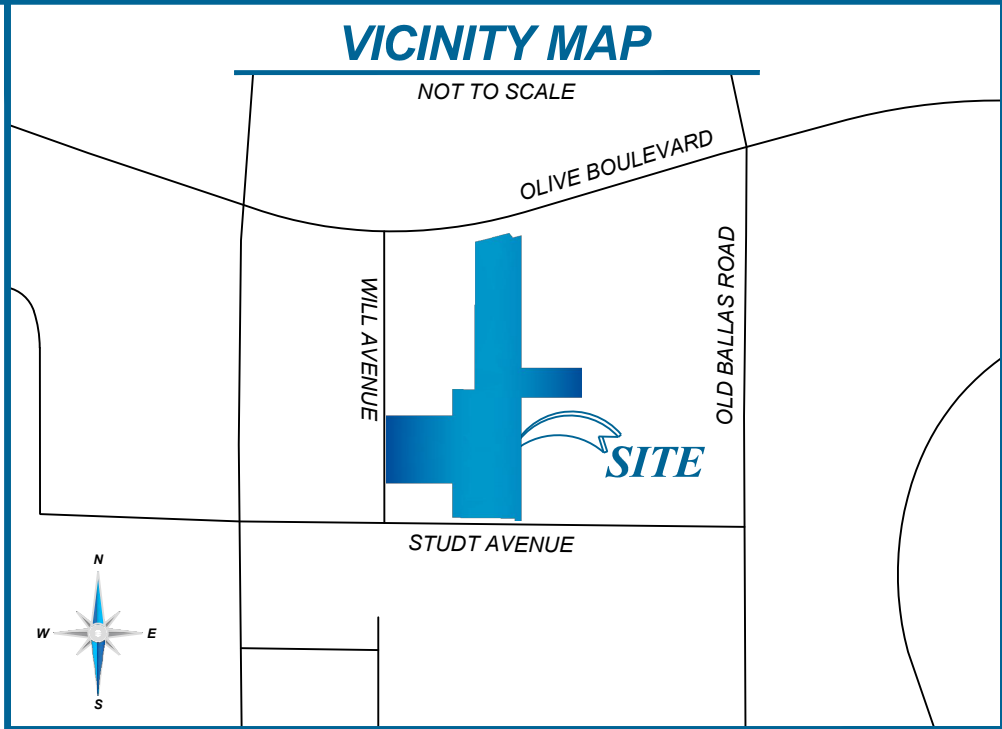
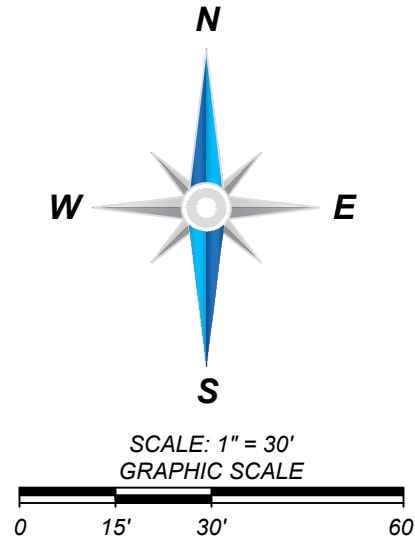
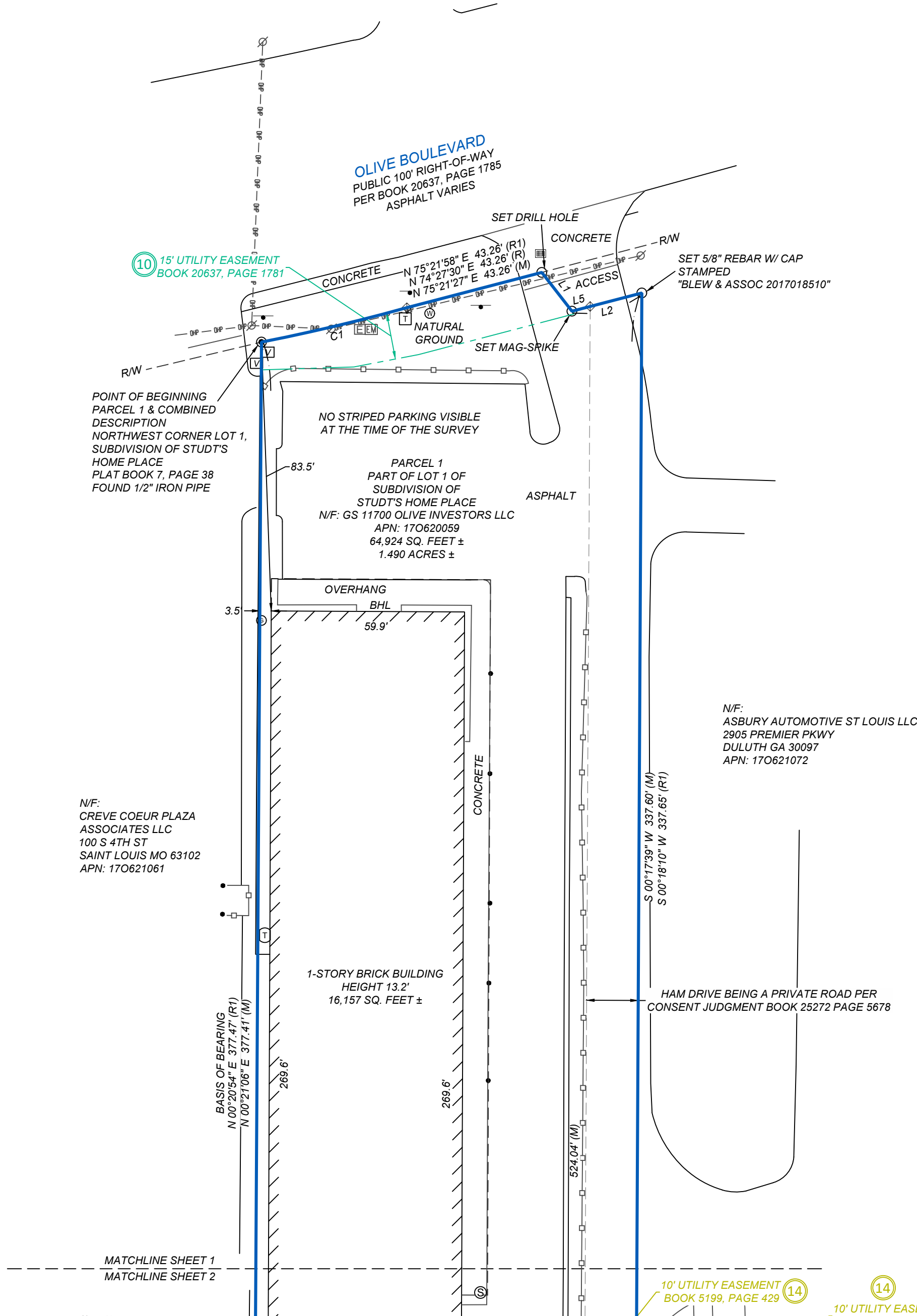
11700 OLIVE BOULEVARD

LOCATED IN: SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, 5TH P.M.

CREVE COEUR, LOUIS COUNTY, MISSOURI 63141

ZONING INFORMATION

PROPERTY IS CURRENTLY ZONED: AWAITING ZONING REPORT		
OBSERVED USE: ; USE PERMITTED BY ZONE:		
ITEM	REQUIRED	OBSERVED
MIN. SETBACKS FRONT		83.5'
MIN. SETBACKS SIDE		3.5'
MIN. SETBACKS REAR		N/A
MAX. BUILDING HEIGHT		13.2'
MIN. LOT AREA		143,892 SQ. FEET
MIN. LOT WIDTH		N/A
MAX. BLDG COVERAGE		11%
PARKING REGULAR		0
PARKING HANDICAP		0
PARKING TOTAL		0



GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- IN REGARD TO ALTANSPS TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS EXCEPT AS SHOWN HEREON.
- IN REGARD TO ALTANSPS TABLE A ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT-OF-WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
- AT THE TIME OF THE ALTANSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- AT THE TIME OF THE ALTANSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
- COMPLETED FIELD WORK WAS FEBRUARY 21, 2025.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT, GRID FACTOR=0.999899264.
- THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF WILL AVENUE AND STUET AVENUE, WHICH IS APPROXIMATELY 192' FROM THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO OLIVE BOULEVARD & STUET AVENUE, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED MISSOURI ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY ("THE SUBJECT PROPERTY"). THE PURPOSE OF THIS SURVEY, AND THE COMPLETION THEREOF, TO THE SCHEDULE B-II EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO. TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM LOUIS COUNTY GIS.
- THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
- IN REGARD TO ALTANSPS TABLE A ITEM 18, ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR HAVE BEEN SHOWN AND/OR NOTED HEREON.
- THE TERM "CERTIFY" OR "CERTIFICATION" AND "CORRECT" AS NOTED HEREON AND AS IT PERTAINS TO LAND SURVEYING SERVICES AS SHOWN ON THIS DOCUMENT SHALL MEAN, "A STATEMENT SIGNED BY THE PROFESSIONAL LAND SURVEYOR BASED ON THE FACTS AND KNOWLEDGE KNOWN TO THE PROFESSIONAL LAND SURVEYOR AT THE TIME OF THE SURVEY AND IS NOT A GUARANTEE OR WARRANTY, EITHER IMPLIED OR EXPRESSED."
- THIS SURVEY MEETS OR EXCEEDS THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS SET FORTH BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS, AND PROFESSIONAL LANDSCAPE ARCHITECTS.

SURVEYOR'S CERTIFICATE

TO: 11700 OLIVE LLC, A MISSOURI LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 8(B), 7(A), 7(B)(1), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 2/21/2025.

DATE OF PLAT OR MAP: 5/29/2025

DENVER WINCHESTER
PROFESSIONAL LAND SURVEYOR NO. 2017018510
STATE OF MISSOURI

BLEW

Surveying | Engineering | Environmental

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWINC.COM
OFFICE: 479.443.4506 FAX: 479.582.1883
WWW.BLEWINC.COM

DATE	REVISION HISTORY	BY
3/28/2025	CLIENT COMMENTS	JDC
4/9/2025	CLIENT COMMENTS	JDC
5/9/2025	CLIENT COMMENTS	JDC
5/20/2025	CLIENT COMMENTS	JDC
5/21/2025	CLIENT COMMENTS	JDC
5/29/2025	UPDATED TITLE COMMITMENT	JDC

SURVEYOR JOB NUMBER:
25-0890

SURVEY REVIEWED BY:
MB

SURVEY DRAWN BY:
JDC - 2/24/2025

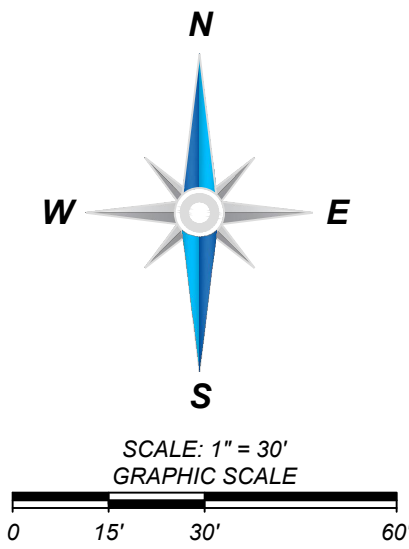
SHEET:
1 OF 2

ALTA/NSPS LAND TITLE SURVEY

11700 OLIVE BOULEVARD

LOCATED IN: SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, 5TH P.M.

CREVE COEUR, LOUIS COUNTY, MISSOURI 63141



LINE TABLE

LINE	BEARING	DISTANCE
L1 (M)	S 37°46'46" E	15.23'
L1 (R)	S 38°44'25" E	15.23'
L1 (R1)	S 37°46'15" E	15.23'
L2 (M)	N 75°25'09" E	22.41'
L2 (R)	N 74°21'30" E	22.41'
L2 (R1)	N 75°25'40" E	22.41'
L3 (M)	N 89°07'59" W	16.00'
L3 (R1)	N 89°07'04" W	16.00'
L3 (R)	S 89°55'30" W	16.00'
L4 (M)	N 00°11'39" E	7.00'
L4 (R1)	N 00°18'10" E	7.00'
L5 (M)	N 75°26'09" E	5.86'

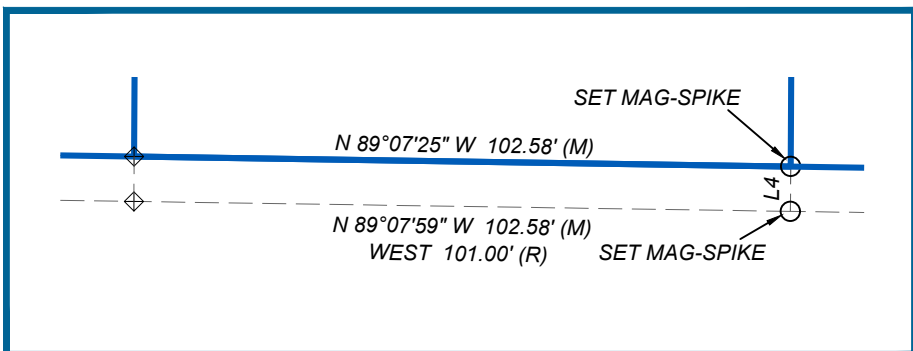
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (M)	603.08'	46.33'	46.32'	N 76°40'03" E	4°24'06"
C1 (R)	N/A	46.98'	N/A	N/A	N/A
C1 (R1)	603.08'	46.34'	46.32'	N 76°41'12" E	4°24'08"

LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- COMPUTED POINT
- GAS METER
- ⚡ FIRE HYDRANT
- ⚡ LIGHT
- ⊙ SANITARY MANHOLE
- ⊙ BOLLARD
- ⊙ POWER POLE
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE CABINET
- ⊙ ELECTRIC CABINET
- ⊙ WATER METER
- ⊙ SIGN
- ⊙ DRAIN GRATE
- ⊙ STORM MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ CLEANOUT
- ⊙ FIBER OPTIC MARKER
- ⊙ FIBER OPTIC VAULT
- ⊙ MEASURED/CALCULATED DIMENSION
- ⊙ MEASURED/CALCULATED DIMENSION
- ⊙ RECORD DIMENSION
- ⊙ RECORD DIMENSION PER COMBINED
- ⊙ PARCELS DESCRIPTION
- ⊙ NOW OR FORMERLY
- ⊙ BUILDING HEIGHT LOCATION
- ⊙ BHL
- BOUNDARY LINE
- EASEMENT LINE
- R/W --- RIGHT-OF-WAY LINE
- C/L --- CENTERLINE
- x-x-x- FENCE LINE
- w-w-w- OVERHEAD POWER LINE
- o-o-o- HANDRAIL
- WALL/RETAINING WALL

PARCEL 5 DETAIL



ALTA/NSPS SURVEY W/ TOPOGRAPHY
11700 OLIVE BOULEVARD

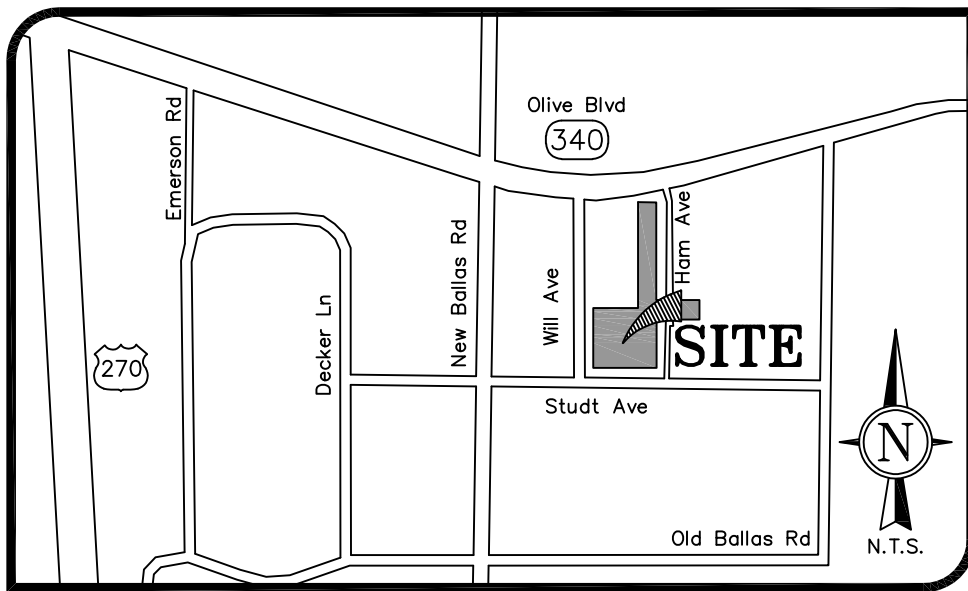
PART OF STUDD HOME PLACE AND STUDD HEIGHTS NO 2 SUBDIVISIONS
TOWNSHIP 45 NORTH, RANGE 5 EAST
CREVE COEUR, ST. LOUIS COUNTY, MISSOURI

JAGUAR/LAND ROVER DEALERSHIP
SUBDIVISION AND RIGHT-OF-WAY DEDICATION PLAT
PLAT BOOK 361, PAGE 194

BASIS OF BEARING
MISSOURI STATE PLANE
GRID NORTH FROM GPS
TIES TO MODOT GLOBAL
NAVIGATION SATELLITE
REAL-TIME NETWORK

BENCHMARK:
DATUM: NAVD88 FROM GPS TIES TO THE
MISSOURI DEPARTMENT OF TRANSPORTATION
GNSS NETWORK

JAGUAR/LAND ROVER DEALERSHIP
SUBDIVISION AND RIGHT-OF-WAY DEDICATION PLAT
PLAT BOOK 361, PAGE 194



GRIMES CONSULTING, INC.
12300 OLD TESSON RD.
SUITE 3000
ST. LOUIS, MO 63128
PH: (314) 849-6100
FAX: (314) 849-6010
www.grimesconsulting.com
PE COA# E-1470-D
PLS COA# LS-343-D

REV.	NO.	REMARKS	DATE
1	1	Revised title commitment.	10/14/21
2	2	Attorney comments.	10/27/21
3	3	Revised Property Boundary Description.	10/29/21

11700 OLIVE BLVD
11700 OLIVE BLVD, CREVE COEUR, MO 63141

ALTA/NSPS
LAND TITLE
SURVEY

JOB NUMBER: 3479A

DRAWN BY: MRL

DATE: 09/30/21

CHECKED BY: RCS

DATE: 09/30/21

SHEET:

1 of 2

ABBREVIATIONS	
N/F	NOW OR FORMERLY
D.B.	DEED BOOK
P.B.	PLAT BOOK
Pg.	PAGE
w/	WITH
(TYP.)	TYPICAL
P.O.B.	POINT OF BEGINNING
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
VCP	VITRIFIED CLAY PIPE
CPP	CORRUGATED PLASTIC PIPE
C-LINK	CHAIN LINK
W-IRON	WROUGHT IRON
PCZ	PER CURRENT ZONING
PM	PER UTILITY MAP
(xx)	RECORD BEARING AND/OR DISTANCE
[xx]	TITLE COMMITMENT EXCEPTION NUMBER

LEGEND

- FOUND 1/2" IRON PIPE UNLESS OTHERWISE NOTED
- FOUND 1/2" IRON ROD UNLESS OTHERWISE NOTED
- FOUND CUT CROSS
- FOUND COTTON PICKER SPINDLE
- FOUND RAILROAD SPIKE
- FOUND CONCRETE MONUMENT
- FOUND STONE
- FOUND R.O.W. MARKER
- FOUND AXLE
- SET 1/2" IRON ROD UNLESS OTHERWISE NOTED

- UTILITY POLE
- GUY WIRE
- TRAFFIC SIGNAL BOX
- TRAFFIC LIGHT
- ELECTRIC BOX
- ELECTRIC SERVICE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC VAULT

- GENERATOR
- TRANSFORMER
- CABLE BOX
- CABLE VAULT
- SATELLITE DISH
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TELEPHONE VAULT
- TELEPHONE UG MARKER
- FIBEROPTIC UG MARKER

- FIRE HYDRANT
- FIRE DEPT CONNECTION
- WATER METER
- WATER MANHOLE
- WATER VALVE
- WATER VAULT
- SPRINKLER VALVE
- SPRINKLER
- DRINKING FOUNTAIN
- YARD FAUCET

- WATER UG MARKER
- GAS METER
- GAS VALVE
- GAS DRIP
- GAS UG MARKER
- TEST WELL
- SOIL BORING
- TRASH COMPACTOR
- STREET SIGN
- OWNERS SIGN

LEGEND

- BASKETBALL GOAL
- FLAG POLE
- BOLLARD OR POST
- PARKING METER
- MAILBOX
- FILLER CAP
- ROOF DRAIN
- YARD DRAIN
- CLEANOUT
- FLARED END SECTION

- TERMINUS UNKNOWN
- STORM DRAIN W/GRATE INLET
- STORM DRAIN W/AREA INLET
- STORM DRAIN W/MANHOLE
- STORM DRAIN W/GRATE MANHOLE
- SANITARY SEWER W/MANHOLE
- TRENCH DRAIN
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE

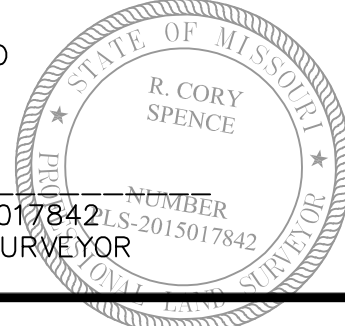
- WATER LINE
- GAS LINE
- BIKE RACK
- TREE LINE/EDGE OF WOODS
- FENCE: CHAIN LINK OR WIRE
- FENCE: WOOD CONSTRUCTION
- HANDRAIL
- GUARDRAIL
- 1" CONTOUR INTERVAL
- 5' CONTOUR INTERVAL

- SPOT ELEVATION
- RIPRAP
- BUSH OR SHRUB
- TREE W/APPROX. DIAMETER

IN WITNESS WHEREOF, we hereunto set our firm name at our office in St. Louis County, Missouri on this 29 day of October, 2021.

GRIMES CONSULTING, INC. LS-343-D

By R. CORY SPENCE, PLS NO. 2015017842
MISSOURI PROFESSIONAL LAND SURVEYOR



PREPARED FOR:
GREEN STREET
CONTACT: THEODORE MARTIN
8451 MARYLAND AVENUE
CLAYTON, MO 63105
PH: (314) 726-2500
E: tmartin@greenstreetstl.com

J:\3179\3179_A\Drawings\Survey\479A_ALTA.dwg 10/29/2021 1:55 PM Cory Spence

PREPARED FOR:
GREEN STREET
CONTACT: THOMAS MARTIN
8451 MARYLAND AVENUE
CLAYTON, MO 63105
PH: (314) 726-2500
E: tmartin@greenstreetstl.com

SURVEYORS NOTES

--- General Notes ---

The location of easements, building setback lines, right-of-ways, as well as other reservations, restrictions, and dedications described in the exceptions of the referenced title insurance commitment that encroach upon or abut the tract as described in the surveyors certificate are shown hereon. Surveyor makes no determination of any further encumbrance or restriction to said tract other than the determination of location. Additional information shown hereon, not described in the title exceptions, were supplied by the client or were discovered while researching the public record for information pertaining to the delineation of the property boundary. Surveyor makes no claim that each and every encumbrance to said tract is shown hereon.

All areas reported on this survey are rounded to the nearest .001 (one thousandth) acre and the nearest 5 (five) square feet.

The underground utilities have been plotted from readily available records and the location of visible above ground structures, but the accuracy and completeness of such is not guaranteed.

--- Flood Notes ---

The surveyed tracts as shown hereon lies within the following Flood Zone(s) as shown on flood insurance rate map 29189C0187K. Effective date: February 4, 2015

Flood Zone X: Areas determined to be outside the 0.2% annual chance floodplain

--- Zoning Notes ---

The surveyed tract as shown hereon is zoned:

CB – Core Business District

NOTE: A zoning report and/or zoning letter was not provided at the time of this survey. The provided zoning information was obtained from the City of Creve Coeur, and is specific to the current conditions of the surveyed tract. If any change to the existing conditions and/or use of the property is considered, please consult the City of Creve Coeur zoning ordinance for additional information.

--- Title Notes ---

The following exceptions were reported in Schedule B – Section 2 of a title insurance commitment no. 17371STL by St. Louis Title, LLC, agent for Old Republic National Title Insurance Company, 400 Second Avenue South, Minneapolis, Minnesota. Revision No. 1, Print Date: October 12, 2021, and have been deemed by this surveyor to be pertinent to and/or reportable on this survey.

5. Easements granted to Missouri American Water Company and Union Electric Company by the instrument recorded in Book 20637 page 1781, affects Parcel 1.

NOTE: THE LOCATION OF SAID EASEMENT IS SHOWN HEREON.

6. Easement granted to Union Electric Company by the instrument recorded in Book 8707 page 2235, affects Parcels 2 and 4.

NOTE: THE LOCATION OF SAID EASEMENT RECORDED IN BOOK 8707, PAGE 2235, DEDICATED TO SOUTHWESTERN BELL TELEPHONE, IS SHOWN HEREON.

7. Easement granted to the City of Creve Coeur by the instrument recorded in Book 7385 page 2256, affects Parcel 4.

NOTE: THE LOCATION OF SAID EASEMENT IS SHOWN HEREON.

8. Easement granted to Union Electric Company by the instrument recorded in Book 7400 page 962, affects Parcel 4.

NOTE: THE LOCATION OF SAID EASEMENT IS SHOWN HEREON.

9. Easement granted to The Metropolitan St. Louis Sewer District by the instrument recorded in Book 5199 page 429, affects Parcels 4 and 5.

NOTE: THE LOCATION OF SAID EASEMENT IS SHOWN HEREON.

10. Easement granted to the City of Creve Coeur by the instrument recorded in Book 7385 page 2254, affects Parcel 5.

NOTE: THE LOCATION OF SAID EASEMENT IS SHOWN HEREON.

11. Easement granted to Union Electric Company by the instrument recorded in Book 7400 page 960, affects Parcel 5.

NOTE: THE LOCATION OF SAID EASEMENT IS SHOWN HEREON.

12. Rights, if any, in favor of public utilities or facilities installed in any portion of the former 16 foot wide North-South alley, prior to the vacation thereof by Ordinance Number 308 of the City of Creve Coeur, a certified copy of which is recorded in Book 4802 page 344, affects Parcels 2, 3, and 4.

NOTE: THE LOCATION OF SAID VACATED ALLEY IS SHOWN HEREON.

14. Conditions contain ed in the Consent Judgment rendered in the Circuit Court of St. Louis County, Missouri, under Cause Number 561566, styled Leo J. Reuther and Norma M. Reuther, Plaintiff v. Louis G. Lange, Defendant v. Leo J. Reuther and Norma M. Reuther, Third Paty Defendant.

NOTE: THE LOCATION OF SAID CONSENT JUDGEMENT IS SHOWN HEREON.

--- Legal Description Per Title Commitment 17371STL, Dated August 17, 2021 ---

Parcel 1 (WD Book 11236 Page 0774):

Part of Lot 1 of the Subdivision of Studt's Home Place in Section 3, Township 45 North, Range 5 East, according to the plat thereof recorded in Plat Book 7 page 38 of the St. Louis County, Missouri, Records and described as follows:

Beginning at a point in the South line of Olive Street Road, 90 feet wide, at the Northwest corner of said lot 1; Thence East along Olive Street Road an arc distance of 46.98 feet to an iron rod; Thence North 74 degrees 27 minutes 30 seconds East 43.26 feet to an iron rod; Thence South 38 degrees 44 minutes 25 seconds East 15.23 feet to an iron rod; Thence North 74 degrees 27 minutes 30 seconds East 22.41 feet to an old iron pipe being the Northwest corner of property now or formerly of Reuther by deed recorded in Book 3549 Page 401 of the St. Louis County records; Thence South 0 degrees 40 minutes 00 seconds East along said property so conveyed to Reuther as aforesaid and along the West line of Parcels conveyed to Thompson by Book 6498 Page 1269, Kising by Book 6520 Page 1029, Reuther by Book 6770 Page 2351, and Meyer by Book 1971 Page 109 a distance of 729.10 feet to an old iron pipe and the North line of Studt Avenue, 30 feet wide; Thence along Studt avenue South 89 degrees 56 minutes 30 seconds West a distance of 16 feet to an iron rod being the Southeast corner of property now or formerly of Thompson by deed recorded in Book 8325 Page 801 of the St. Louis County records; Thence North 0 degrees 40 minutes 00 seconds West 200 feet to an iron rod; Thence South 89 degrees 56 minutes 30 seconds West 102.53 feet to an iron rod and being the Southeast corner of property now or formerly conveyed to Kuhlmann by deed recorded in Book 6659 Page 311 of the St. Louis County records; Thence North 0 degrees 40 minutes 00 seconds West along said property so conveyed to Kuhlmann as aforesaid and along the East line of property now or formerly of Creve Coeur Fire Department 511.99 feet to the South line of Olive Street Road, 90 feet wide, and the point of beginning.

Metro: A37-522 (3)

Parcel 2 (WD Book 10512 Page 785):

Lot 13 of Studt Heights No. 2, a Subdivision according to the plat thereof recorded in Plat Book 25 Page 65 of the St. Louis County, Missouri, Records, and including the Western 1/2 of the former alley adjoining thereto as vacated under Ordinance Number 308 of the City of Creve Coeur, a certified copy of which is recorded in Book 4802 page 344.

Parcel 3 (WD Book 10520 Page 1942):

Lot 12 of Studt Heights No. 2, a Subdivision according to the plat thereof recorded in Plat Book 25 Page 65 of the St. Louis County, Missouri, Records, and including the Western 1/2 of the former alley adjoining thereto as vacated under Ordinance Number 308 of the City of Creve Coeur, a certified copy of which is recorded in Book 4802 page 344.

Parcel 4 (WD Book 9440 Page 2243):

Part of Lot 2 of the Subdivision of Studt's Home Place, in Section 3, Township 45 North Range 5 East, according to the plat thereof recorded in Plat Book 7 Page 38 of the St. Louis County, Missouri, Records, and described as:

Beginning at a point in the center line of Studt Avenue, 30 foot wide, and the Southeast corner of Lot 2; Thence North along East line of Lot 2, 349.43 feet, more or less, to Southeast corner of property conveyed to Katherine Schaupp, by deed recorded in Book 170 page 20; Thence West along South line of property of Schaupp 56 feet 4-1/4 inches to East line of property conveyed to Jacob Studt, Jr. by deed recorded in Book 211 page 191; Thence South along East line of property conveyed to Jacob Studt 349.43 feet to center line of said road 30 feet wide; Thence East along said center line 56 feet 4-1/4 inches to Place of Beginning, and including the Eastern 1/2 of the former alley adjoining thereto as vacated under Ordinance Number 308 of the City of Creve Coeur, a certified copy of which is recorded in Book 4802 page 344.

Metro: A37-521 (1)

Parcel 5 (WD Book 9440 Page 2249):

Part of Lot 1 of the Subdivision of Studt's Home Place, in Section 3, Township 45 North Range 5 East, according to the plat thereof recorded in Pint Book 7 page 38 of the St. Louis County, Missouri, Records, and described as:

Beginning at the intersection of the North line of Studt Avenue, 30 feet wide, with the West line of said Lot 1; Thence North along the West line of said Lot 1, a distance of 200 feet to a point; Thence East and parallel with the North line of Studt Avenue, 101 feet, more or less, to a point in the West line of a private road (sic) Ham Drive, 16 feet wide; Thence South along the West line of said private road (sic) Ham Drive, 200 feet to the North line of Studt Avenue; Thence West along the North line of Studt Avenue, 101 feet, nore or less, to the Point of Beginning.

Metro A37-522 (11)

--- Legal Description Per Title Commitment 17371STL, Dated August 17, 2021 ---

Parcel 6 (WD Book 9440 Page 2246):

Part of Lot 1 of the Subdivision of Studt's Home Place, in Section 3, Township 45 North, Range 5 East, according to the plat thereof recorded in Plat Book 7 page 38 of the St. Louis County, Missouri, Records, and described as:

Beginning at a point in the most Northern of the East Line of said Lot 1 at a point distant South 0 degrees 40 minutes East 405.88 feet from the intersection of the aforesaid East line with South line of Olive Street Road; Thence South 0 degrees 40 minutes East 75 feet to a point; Thence South 89 degrees 30 minutes West 153 feet, to East line of Ham Drive, 16 foot wide; Thence North along East line of said road parallel with East line of said Lot 1, 75 feet to a point; Thence North 89 degrees 30 minutes East 153 feet to place of beginning.

Metro A37-522 (8)

Parcel 7 (Consent Judgment No. 561566):

Ham Drive, a 16 foot wide road located in Section 3, Township 45 North, Range 5 East in St. Louis County, Missouri, running generally North and South a distance of 729.10 feet between Olive Blvd on the North and Studt Avenue on the South.

--- Property Boundary Description from Survey Measurements ---

A tract of land situated in the City of Creve Coeur, County of St. Louis, and State of Missouri, lying in part of Township 45 North, Range 5 East, being all of Lots 12 and 13 of Studt's Heights No. 2, a subdivision filed for recorded in Plat Book 15, page 65 of the land records of said St. Louis County, being part of that 16 foot wide vacated Alley, as recorded in Deed Book 4802, page 344 of said land records, being all of a tract of land conveyed to Louis G. Lang, Trustee of the Louis G. Lang Revocable Trust, as recorded in Deed Book 11236, page 774 of said land records, being part of a tract of land conveyed to Louis G. Lang and Elizabeth A. Lang, Co-Trustees of the Louis G. Lang Trust, as recorded in Deed Book 9440, page 2243 of said land records, being part of a tract of land conveyed to Louis G. Lang and Elizabeth A. Lang, Co-Trustees of the Louis G. Lang Trust, as recorded in Deed Book 9440, page 2249 of said land records, being all of a tract of land conveyed to Louis G. Lang and Elizabeth A. Lang, Co-Trustees of the Louis G. Lang Trust, as recorded in Deed Book 9440, page 2246 of said land records, being more particularly described as follows:

Beginning at the intersection of the Northern right-of-way line of Studt Avenue as widened by Deed Book 7385, page 2256 of said land records, and the Eastern line of Studt's Heights No. 2; thence along said Eastern line, North 00 degrees 20 minutes 54 seconds East, a distance of 87.95 feet to the Eastern prolongation of the Northern line of said Lot 11; thence along the Northern line of said Lot 11 and said Eastern prolongation thereof, North 89 degrees 49 minutes 29 seconds West, a distance of 169.06 feet to the Northeast corner of said Lot 11, said corner also being on the Eastern right-of-way line of Will Avenue, 40 feet wide; thence along said Eastern right-of-way line, North 00 degrees 13 minutes 56 seconds East, a distance of 171.92 feet to the Southwest corner of Lot 14 of said Studt's Heights No. 2; thence along the Southern line of said Lot 14 and the Easterly prolongation thereof, South 89 degrees 49 minutes 29 seconds East, a distance of 169.41 feet to said Easterly line of Studt's Heights No. 2; thence along said Easterly line, North 00 degrees 20 minutes 54 seconds East, a distance of 67.44 feet to the Southwest corner of a tract of land conveyed to Creve Coeur Fire Protection District, as recorded in Deed Book 12861, page 1204 of said land records; thence along the Southern line of said Creve Coeur Fire Protection District tract, South 88 degrees 53 minutes 19 seconds East, a distance of 56.54 feet to the Southeast corner of said Creve Coeur Fire Protection District tract; thence along the Eastern line of said Creve Coeur Fire Protection District tract, North 00 degrees 20 minutes 54 seconds East, a distance of 377.47 feet to the Northeast corner of said Creve Coeur Fire Protection District tract, said corner also being on the Southern right-of-way line of Olive Boulevard, variable width; thence along said Southern right-of-way line of Olive Boulevard the following courses and distances: 46.34 feet along the arc of a curve to the right, having a radius of 603.08 feet, through a central angle of 04 degrees 24 minutes 08 seconds, with a chord that bears North 76 degrees 41 minutes 12 seconds East, a distance of 46.32 feet; North 75 degrees 21 minutes 58 seconds East, a distance of 43.26 feet; South 37 degrees 46 minutes 15 seconds East, a distance of 15.23 feet; North 75 degrees 25 minutes 40 seconds East, a distance of 22.41 feet to the intersection of said Southern right-of-way line of Olive Boulevard, and the Western line of Jaguar/Land Rover Dealership Subdivision and Right-Of-Way Dedication Plat, a subdivision recorded in Plat Book 361, page 194 of said land records; thence leaving said Southern right-of-way line and along said Western line of the Jaguar plat, and Western line of a tract of land conveyed to Ann Wipperman and David Wipperman, trustees, under the Ann Wipperman Living Trust, as recorded in Deed Book 11667, page 718 of said land records, the following courses and distances: South 00 degrees 18 minutes 10 seconds West, a distance of 337.65 feet; thence South 89 degrees 33 minutes 05 seconds East, a distance of 153.00 feet; thence South 00 degrees 18 minutes 10 seconds West, a distance of 75.00 feet; North 89 degrees 33 minutes 05 seconds West, a distance of 153.00 feet; South 00 degrees 18 minutes 10 seconds West, a distance of 315.92 feet to the Northern right-of-way line of Studt Avenue; thence along said Northern right-of-way line, North 89 degrees 07 minutes 04 seconds West, a distance of 16.00 feet to the Eastern line of right-of-way widening of said Studt Avenue, as recorded in Deed Book 7385, page 2245; thence along said Eastern line, North 00 degrees 18 minutes 10 seconds East, a distance of 7.00 feet to the Northern line of said right-of-way widening; thence along said North right-of-way line of Studt Avenue as widened, North 89 degrees 07 minutes 04 seconds West, a distance of 158.99 feet to the point of beginning.

Containing 3.302 Acres (143,855 Square Feet) according to a survey by Grimes Consulting, Inc., LS-343-D, dated October 2021.

--- SURVEYOR'S CERTIFICATION ---

To Green Street Development Group, LLC, a Missouri limited liability company; GS 11700 Olive Investors LLC; TRUSTEES OF THE LOUIS G. LANG TRUST; TRUSTEES OF THE ELIZABETH A. LANG REVOCABLE TRUST; Simmons Bank; St. Louis Title, LLC, agent for Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 7(c), 8, 9, 11, & 13 of Table A thereof. The fieldwork was completed on September 14, 2021.

I also declare that under my supervision and to the best of my professional judgment that this survey and the results shown hereon are made in accordance with the current Standards For Property Boundary Surveys for Urban Class Property as set forth by the Missouri Department Of Agriculture, Land Survey Program, and rules promulgated by The Missouri Board For Architects, Professional Engineers, and Professional Land Surveyors and Professional Landscape Architects effective June 30, 2017.

IN WITNESS WHEREOF, we hereunto set our firm name at our office in St. Louis County, Missouri on this 29 day of October _____, 2021.

GRIMES CONSULTING, INC. LS-343-D

By R. CORY SPENCE, PLS No. 2015017842
MISSOURI PROFESSIONAL LAND SURVEYOR



GRIMES CONSULTING, INC.
12300 OLD TESSON RD.
SUITE 3000
ST. LOUIS, MO 63128
PH. (314) 849-6100
FAX (314) 849-6010
www.grimesconsulting.com
PE COA# E-1470-D
PLS COA# LS-343-D

REV. NO.	REMARKS	DATE
1	Revised title commitment.	10/14/21
2	Attorney comments.	10/27/21
3	Revised Property Boundary Description.	10/29/21

11700 OLIVE BLVD
11700 OLIVE BLVD, CREVE COEUR, MO 63141

ALTA/NSPS
LAND TITLE
SURVEY

JOB NUMBER: 3479A

DRAWN BY: MRL

DATE: 09/30/21

CHECKED BY: RCS

DATE: 09/30/21

SHEET:

2 of 2

From: Goodues, Tammy <Tammy.Goodues@fnf.com>
Sent: Thursday, September 25, 2025 12:52 PM
To: Chains
Cc: Cochran, Kelly
Subject: RE: Deeds

Could you please send me copies: Please reply to all to include Kelly. This is for a customer.

Deed 1352-398
Deed 1387-304

From: Cochran, Kelly <Kelly.Cochran@fnf.com>
Sent: Thursday, September 25, 2025 12:48 PM
To: Goodues, Tammy <Tammy.Goodues@fnf.com>
Subject: FW: Deeds

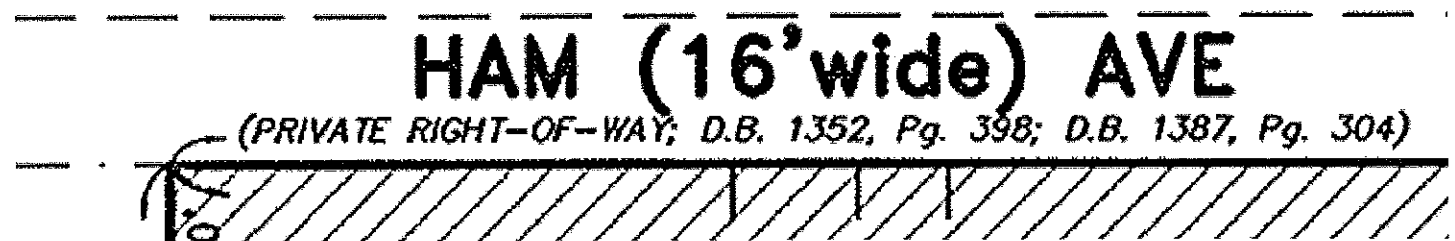
Can we get these 2 deed copies from STL County -

D.B. 1352, Pg. 398; D.B. 1387, Pg. 304)

From: Steven A. Laune <slaune@cochraneng.com>
Sent: Thursday, September 25, 2025 12:42 PM
To: Cochran, Kelly <Kelly.Cochran@fnf.com>
Subject: Deeds

Below is a snip from the survey. If you can find these for me, I would greatly appreciate it..

Thanks



Steven A. Laune, P.L.S.

41. And Creating Easement This deed, made on the 8th day of April, A.D., One thousand Nine Hundred Thirty six, by and between Nellie Maurine Monroe and Ralph Monroe, her husband, of the County of St. Louis, State of Missouri, parties of the first part, and William C. Ham of the County of St. Louis, State of Missouri, party of the second part, Witnesseth, that the said parties of the first part in consideration of the sum of One Dollar (\$1.00) and other valuable considerations to them in hand paid by the said party of the second part, the receipt of which is hereby acknowledged, do by their presents, Give and Assign unto the said party of the second part, his grantee, heirs and assigns, a perpetual easement for public road purposes over and across the following described land, lying, being and situated in the County of St. Louis, State of Missouri described as follows: A strip of land within feet (16') wide in section 3, Township 48 North Range 5 East, being part of lot one (1) of blocks 1 and 2, described as follows: Beginning at a point in the South line of Olive Street Road at a point distant 121.40' more or less Eastwardly from the line between lots 1 and 2 of said block to Home Place, being the Northwest Corner of property conveyed to John Thomasen by deed recorded in the Recorder's office for St. Louis County, Missouri, in book 765, page 604, thence Southwardly 441.96' more or less to a point being the Southwest Corner of property conveyed to William C. Ham by deed recorded in the Recorder's office for St. Louis County, Missouri, in book 811, page 475, thence Westwardly 16' to a point, thence North and parallel to the West line of property conveyed to John Thomasen and the prolongation Southwardly thereof 441.96' more or less to the South line of Olive Street Road, thence Eastwardly 16' to the place of beginning. To Have and to Hold the easement the said party of the second part, his grantee, heirs and assigns, for public road purposes forever. In Witness whereof the said parties of the first part have hereunto set their hands the day and year first above written.

Nellie Maurine Monroe
Ralph Monroe

State of Missouri (ss. On this 8th day of April, 1936, before me personally appeared Nellie Maurine Monroe and Ralph Monroe, her husband, to me known to be the persons executed in and who execute the foregoing instrument and acknowledged that they execute the same as their free and lawful act and deed. In testimony whereof, I have hereunto set my hand and official seal in the City of St. Louis, Missouri, at a day and year first above written. My term expires June 4, 1938.

Lin B. Ham Notary Public
Filed for record April 11, 1936, at 8⁰⁷ o'clock A.M. Gerald J. Donworth, Recorder of Deeds.

PARTIAL DEED OF RELEASE FILED

Principal note described in deed of trust to which this is the margin presented.

1936

Page 461

GERALD J. DONWORTH

Recorder

Deputy

PARTIAL DEED OF RELEASE FILED

Principal note described in deed of trust to which this is the margin presented.

1938

Page 144

GERALD J. DONWORTH

Recorder

Deputy

RELEASED
NEXT PAGE

41. Principal note secured hereby, legally identified by Recorder's Endorsement on same. Deed of Trust. This deed, made and intended into effect the third day of April, A.D., One thousand Nine hundred thirty six, by and between Charlotte C. Godwin, wife of Howard W. Godwin, and Howard W. Godwin, her husband, of the County of St. Louis, State of Missouri, parties of the first part, and Emil E. Honner of the County of St. Louis, State of Missouri, party of the second part, and Elsie W. Gay of the County of Multnomah, State of Oregon, party of the third part. Witnesseth, that the said parties of the first part, for and in consideration of the sum of One dollar and no part, have hereunto set their hands and created, and by the sum of One dollar to said parties of the first part paid by the said party of the second part, the receipt of which is hereby acknowledged, do by their presents, Grant, Assign and Give, Only an Easement unto the said party of the second part, the following described Real Estate, lying, being and situated in the County of St. Louis, and State of Missouri, to wit: Tract of land in the Northeast Corner of Undeclared Survey Number Hundred forty seven (147), Township Forty four (44) North Range Six (6) East containing twelve and thirty eight hundredths (12.38) acres more or less, bounded North and east by the West and East lines of said Undeclared Survey Number Hundred Forty seven (147) South by land now or formerly of Henry and Mary Roth and West by land now or formerly of Caroline Jungre. To Have and to Hold the above, together with the benefits of fixtures and appurtenances now or hereafter to the same belonging unto the said party of the second part and to his successors or assigns in the trust of power and possession of said premises as now delivered unto the said party of the second part. In Trust, however, for the following purpose: Whereas, the said party of the first part, being justly indebted to the party of the third part for part purchase money on the principal sum of Fifty thousand and no part (\$50,000.00) Dollars, have its same said principal, with interest to be earned thereon,

to the highest bids for each, first giving twenty days' notice of the time, terms and place of said sale, and of the property to be sold by advertisement published in some newspaper printed in the County of St. Louis, State of Missouri, and upon each sale shall execute a deed in fee simple of the property sold to purchaser or purchasers thereof and shall receive the proceeds of each sale out of which said trustee shall pay, first, the cost and expenses of executing this trust, including lawful compensation of said trustee; and next, shall repay to any person or persons who may or shall, under the covenants hereinafter set forth, have advanced or paid any money for taxes, mechanics' liens or insurance, as above provided, all sums so by said persons advanced and not already repaid, together with interest thereon at the rate of eight per centum per annum from date of such advance, till day of payment; and next, the amount unpaid on said notes, together with the interest accrued thereon, and the remainder, if any, shall be paid to junior encumbrances and the balance to the party of the first part, assign, or legal representatives. And each time that it shall become necessary to insert an advertisement of foreclosure the trustee shall be entitled to receive the sum of \$75.00 for services and the amount of all advertising charges from party of the first part. And the said party of the second part hereby lets said premises to the said party of the first part until this instrument be changed and ratified, or until default be made in payment or performance of covenants of this deed of trust, upon the following terms, to-wit: The said party of the first part, and every and all person claiming or possessing such premises or any part thereof, shall pay rent therefor during said term at one cent per month, payable upon demand and shall and will surrender peaceable possession of said premises to any one and every part thereof to said party of the second part, within ten days after the date of such demand and without notice or demand therefor, and said trustee may thereupon rent the same for the account of the holder of the notes. Provided, however, that nothing in this deed shall be so construed as to prevent the legal holder of said notes, or any one of them, to have and to take every legal step and means to enforce payment of said notes, without having first caused the execution of the time herein created. And the said party of the second part covenants faithfully to perform and fulfill the trusts herein created, being liable, however, only for willful negligence or misconduct. Whenever in this instrument the expression "First Party," "Second Party," or "Third Party" appears, it shall be held in each case to refer to and include all the persons, natural or artificial, so described in the premises of this deed. And the covenants and agreements herein above contained shall bind and inure to the benefit of, respectively, the heirs, assigns and legal representatives of said "First Party," and any legally appointed executor of said "Second Party," and the heirs, assigns and legal representatives of said "Third Party." In Witness Whereof, the said parties of the first part have hereunto set their hands, the day and year first above written.

Charlotte C. Godwin

Howard W. Godwin

State of Missouri, / ss. On this fourth day of April, 1936, before me personally appeared Charlotte C. Godwin and Howard W. Godwin, her husband, to me known to be the persons named in and who executed the foregoing instrument, and acknowledged that they executed the same for the purposes therein expressed.

Notary Public

City of St. Louis, Mo.

Edgar D. Calmer

I have hereunto set my hand and affixed my official seal in the City and State aforesaid, the day and year first above written. My term expires October 19th, 1936.

Edgar D. Calmer, Notary Public.

Filed for record April 14, 1936, at 9:23 o'clock a.m. Gerald J. Donworth, Recorder of Deeds.

Principal note secured hereby, fully satisfied by Recorder's Endorsement on each Deed of Trust. This deed made and entered into as of the fifteenth day of March, Nineteen Hundred and thirty six, by and between Fred H. Tebbe, and Melvina T. Tebbe, his wife, of the County of St. Louis, State of Missouri.

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every part thereof sold under said promise to each party of the second part, or purchaser thereof under such sale, within ten days after the date of such sale, make written demand and title for. Provided, however, that nothing in this deed shall be so construed as to prevent the legal holder of said notes, or any one of them, to have and to take every legal step and measure to enforce payment of said notes, without having first caused the execution of the trust herein created. And the said party of the second part covenants faithfully to perform and fulfill the trust herein created, being liable, however, only for wilful negligence or misconduct. In witness whereof the said parties of the first part have hereunto set their hands and seals on the day and in the year first above written.

Frank Muchler (seal)

Hildegarde Muchler (seal)

State of Missouri, } On this 1st day of April 1936, before me personally appeared Frank
County of St. Louis } Muchler and Hildegarde Muchler his wife, to me known to be
the persons described in and who executed the foregoing instrument, and acknowledged
that they executed the same as their free act and deed. In testimony whereof, I have hereunto
set my hand and affixed my official seal at St. Louis County,
City of St. Louis, Mo. July 1936. I am a Notary Public Commissioned for the City of St. Louis,
which adjoins the County of St. Louis. Martin Lubber Notary Public.
Filed for record Apr 3 1936 at 1:41 o'clock P.M. Gerald J. Bonworth Recorder of Deeds.

Q. And Creating Easement This deed, made on the 3rd day of April, A.D., One Thousand
Nine Hundred Thirty six, by and between Nellie Maurine Monroe and Ralph
Monroe, her husband, of the County of St. Louis, state of Missouri, parties of the first part,
and John J. Ravens and Louise Ravens, his wife, of the County of St. Louis, state of
Missouri, parties of the second part, Witnesseth, that the said parties of the first part in
consideration of the sum of One Dollar (\$1.00) and other valuable considerations to them
in hand paid by the said parties of the second part, the receipt of which is hereby acknow-
ledged, do by these presents, Give and Grant unto the said parties of the second part, their
grantees, heirs and assigns, a perpetual easement for public road purposes over
and across the following described land, lying, being and situated in the County of
St. Louis, state of Missouri, described as follows: A strip of land situate in Section 3,
Township 45 North Range 5 East, being part of lot One (1) of Stodt's Home Place,
described as follows: Beginning at a point in the South line of Olive Street Road, at a
point distant 121.45' more or less Eastwardly from the line between lots 1 and 2 of said
Stodt's Home Place, being the Northwest corner of property conveyed to John Thomasen
by deed recorded in the Recorder's office for St. Louis County, Missouri, in book 250,
page 604, thence Southwardly 441.96' more or less to a point being the Southwest
corner of property conveyed to William C. Ham by deed recorded in the Recorder's office
for St. Louis County, Missouri, in book 811, page 475, thence Westwardly 16' to a
point, thence North and parallel to the West line of property conveyed to John Thomasen
and the prolongation Southwardly thereof 441.96' more or less to the South line
of Olive Street Road, thence Eastwardly 16' to the place of beginning.
To Have and to Hold, the same unto the said parties of the second part, their

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grantee, heirs and assigns for public road purposes forever. In Witness Whereof, the said parties of the first part have hereunto set their hands the day and year first above written.

Mellie Maurine Monroe

Ralph Monroe

State of Missouri, on this 3rd day of April, 1936, before me personally appeared City of St. Louis J^{rs} Mellie Maurine Monroe and Ralph Monroe, her husband, to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed. In Testimony whereof, I have hereunto set my hand and affixed my official seal in the City of St. Louis, aforesaid, the day and year first above written. My term expires June 4, 1938 J^{rs} D. H. H. Notary Public Filed for record Apr 4 1936 at 8⁰⁰ o'clock A. M. Herald J. Donworth Recorder of Deeds.

Notary Public
City of St. Louis, Mo.

General Warranty Deed and this Indenture, Made on the 3rd day of April, A. D. One Thousand Nine Hundred and Thirty Six, by and between John S. Bowman, and Ruby May Bowman, his wife of the City of St. Louis and State of Missouri parties of the first part, and H. Herman Hanhart, and M. Cecilia Hanhart, his wife of the County of St. Louis and State of Missouri parties of the second part. Witnesseth, that the parties of the first part, in consideration of the sum of Ten (10.00) Dollars and other valuable considerations to them paid by the said parties of the second part, the receipt of which is hereby acknowledged, do by these presents Grant, Bargain and sell, Confirm and Confirm unto the said parties of the second part, their heirs and assigns, the following described lots, tracts or parcels of land, lying, being and situate in the County of St. Louis and State of Missouri, to wit: The West Fifty (50) feet with all improvements thereon, of Lot Forty Eight (48) of Midland View according to the plat thereof, which is recorded in the St. Louis County, Missouri Recorder's office, plat book 17 page 25. Subject to restrictions of record. Subject to a deed of trust for \$1200.00 now of record. To Have and to Hold the premises aforesaid, with all and singular the rights, privileges, appurtenances, immunities and improvements thereto belonging, or in any wise appertaining, unto the said parties of the second part and unto their heirs and assigns forever, the said parties of the first part hereby covenanting that they, their heirs, executors and administrators will Warrant and defend the title to the aforesaid premises unto the said parties of the second part and unto their heirs and assigns forever, against the lawful claims and demands of all persons whomsoever, except taxes for the year 1936 and thereafter, In Witness Whereof, the said parties of the first part have hereunto set their hands and seals the day and year first above written.

John S. Bowman (real)

Ruby May Bowman (real)

50¢ G. R. Stamp J. S. B. H. H. H. 4-3-36

State of Missouri, on this 3rd day of April, 1936, before me personally appeared City of St. Louis J^{rs} John S. Bowman, and Ruby May Bowman, his wife to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed. In Testimony



11700 Olive Boulevard

**Transaction Identification Data, for which the Company assumes no liability as set forth in
Commitment Condition 5.e.:**

Issuing Agent: First American Title Insurance Company National Commercial Services

Issuing Office: 101 S. Hanley Road, Suite 575, St. Louis, MO 63105

Issuing Office's ALTA® Registry ID: 1009624

Commitment Number: NCS-1249929-STLO

Issuing Office File Number: NCS-1249929-STLO

Property Address: 11700 Olive Boulevard, 11647 & 11653 Studt Avenue, 724 & 720 Will Avenue, 750 Ham Avenue, Creve Coeur, MO 63141

Revision Number: UW Revision 1 (Revised Legal Description in Schld A(5): Plat Book reference in Parcels 2 & 3 corrected from 25 to 15; minor typing errors corrected; "Also Described" Surveyed Description of the property updated in accordance with the survey)

SCHEDULE A

1. Commitment Date: May 15, 2025 at 8:00 a.m. (Revision No. 1)
2. Policy to be issued:

	POLICY AMOUNT
a. ALTA® Extended Owner's Policy	\$1,000.00
Proposed Insured: Bamboo Acquisitions, LLC, a Missouri limited liability company	
The estate or interest to be insured: See Item 3 below	
b. ALTA® Extended Loan Policy	\$4,613,000.00
Proposed Insured: FirstMid Bank & Trust	
The estate or interest to be insured: See Item 3 below	
3. The estate or interest in the Land at the Commitment Date is:

Fee Simple
4. The Title is, at the Commitment Date, vested in:

Simmons Bank
5. The Land is described as follows:

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions

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in the County of St Louis, State of Missouri, as described in Exhibit A attached hereto and made a part thereof.

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Commitment No. NCS-1249929-STLO

SCHEDULE B, PART I—Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. If there has been construction, improvements or repairs to or on the property in the last 12 months, or a portion or all of the loan proceeds will be used for such, then unrecorded mechanics lien coverage will not be furnished unless arrangements are made prior to closing. If the property is 1-4 family residential, a Mechanic's Lien Indemnity Agreement secured by a satisfactory Letter of Credit will need to be furnished to the company. If the property is not 1-4 family residential, either the aforesaid secured indemnity or satisfactory financial statements, indemnities, affidavits and possibly lien waivers, will need to be furnished to the company. Failure to notify the company in writing before closing will invalidate any mechanic's lien coverage given in the policy.
6. In order to delete Exceptions 1, 5 and 6 on Schedule B - II, the Company requires a properly completed and executed Owner's Affidavit in a form that is acceptable to the Company.
7. In regard to Simmons Bank, we require the following:

Furnish a proper resolution authorizing the proposed transaction and identifying the parties authorized to execute instruments necessary to close this transaction.

Upon review of these items we reserve the right to make further requirements.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions

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8. In regard to Bamboo Acquisitions, LLC, we require the following:
- A) Furnish a copy of the Articles of Organization and the Operating Agreement.
 - B) Furnish a Certificate of Good Standing from the Missouri Secretary of State's office.
 - C) Furnish a resolution of the members authorizing the proposed transaction.
 - D) The proposed transaction should be executed by all the members of the LLC unless provided otherwise in the operating agreement. If the members of the above referenced limited liability company are entities other than individuals, additional requirements will be made.
- Upon review of these items we reserve the right to make further requirements.
9. Proof of payment of taxes shown at Exception No. 7 on Schedule B - Section II.
10. Proof of payment that all assessments due and payable, levied by the City of Creve Coeur, Missouri, have been paid to and including the closing date of this transaction.
11. Pay any unpaid charges and assessments by Trustees of said Subdivision, sewer service charges, sewer lateral charges, roadway maintenance assessments and/or public water supply district charges and assessments, if any.

In the event of a cancellation, there will be a minimum charge of \$550.00.

CLOSING INFORMATION NOTE: If the closing for the Land is to be conducted by First American Title Insurance Company, we require all monies due to be in the form of a cashier's check or wire transfer. If the parties use a cashier's check in lieu of wired funds, it may take 24-48 hours to verify with the institution issuing the check that we have good funds. **We are unable to close until we receive this verification and THIS MAY DELAY CLOSING.**

The above applies to all closings unless other specific arrangements are made. Due to wide variances in banking practices and lack of control over funds "on the wire" we cannot accept financial responsibility for delays in the clearing of funds.

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Commitment No. NCS-1249929-STLO

SCHEDULE B, PART II—Exceptions

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
2. Rights or claims of parties in possession not shown by the Public Records.
3. Easements, or claims of easements, not shown by the Public Records.
4. Any encumbrance, violation, variation or adverse circumstance, boundary line overlap, or encroachment (including an encroachment of an improvement across the boundary lines of the Land), that would be disclosed by an accurate and complete land title survey of the Land or that could be ascertained by an inspection of the Land.
5. Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein.
6. Taxes, or special assessments which are not shown as existing liens by the Public Records.
7. The lien of the general taxes for the year 2024, and thereafter.

General, state, county and city taxes and assessments for the year 2024 in the amount of \$111,760.66 are PAID. Parcel No. 17O620059 (11700 Olive Blvd - Parcel 1)

General, state, county and city taxes and assessments for the year 2024 in the amount of \$1,829.92 are PAID. Parcel No. 17O342485 (724 Will Ave - Parcel 2)

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General, state, county and city taxes and assessments for the year 2024 in the amount of \$1,829.92 are PAID. Parcel No. 170342496 (720 Will Ave - Parcel 3)

General, state, county and city taxes and assessments for the year 2024 in the amount of \$6,507.76 are PAID. Parcel No. 170341918 (11653 Studt Ave - Parcel 4)

General, state, county and city taxes and assessments for the year 2024 in the amount of \$6,623.52 are PAID. Parcel No. 170341927 (11647 Studt Ave - Parcel 5)

General, state, county and city taxes and assessments for the year 2024 in the amount of \$25.00 are DUE AND DELINQUENT, plus penalties and interest.
Parcel No. 170620015 (750 Ham Ave - Parcel 6)

NOTE: For the above Parcel ID 170620015, The total amount due was \$4,464.02 of which \$4,439.02 was paid, leaving a balance of \$25.00 due and delinquent.

8. General and/or Special Taxes by the City of Creve Coeur, if any.
9. Assessments levied by the Olive Boulevard Transportation Development District created by the Order rendered September 9, 8004 in the Circuit Court of St. Louis, Missouri; as Document No. 2104CC-01802, and Second Adjustment of the Boundaries thereof pursuant to Order Filed Dec. 16, 2009 as Document No. 09SL-CC04517.
10. Easement granted Missouri American Water Company and Union Electric Company according to instrument recorded in Book 20637, Page 1781. (Parcel 1)
11. Easement granted to Union Electric Company, according to instrument recorded in Book 8707, Page 2235. (Parcels 2 and 4)
12. Easement granted the City of Creve Coeur according to instrument recorded in Book 7385, Page 2256. (Parcel 4)
13. Easement granted to Union Electric Company, according to instrument recorded in Book 7400, Page 962. (Parcel 4)
14. Easement granted to the Metropolitan St. Louis Sewer District, according to instrument recorded in Book 5199, Page 429. (Parcels 4 and 5)

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15. Easement granted the City of Creve Coeur according to instrument recorded in Book 7385, Page 2254. (Parcel 5)
16. Easement granted to Union Electric Company, according to instrument recorded in Book 7400, Page 960. (Parcel 5)
17. Rights, if any, in favor of public utilities or facilities installed in any portion of the former 16 foot Wide North - South alley, prior to the vacation thereof by Ordinance Number 208 of the City of Creve Coeur, a certified copy of which is recorded in Book 4802, Page 344. (Parcels 2, 3, and 4)
18. Rights of others to the use and benefit of Ham Avenue.
19. Conditions contained in the Consent Judgment rendered in the Circuit Court of St. Louis County, Missouri, as Document No. 561566, a certified copy of which is recorded in Book 25272 Page 5678, styled Leo J. Reuther and Norma M. Reuther, Plaintiff v. Louis G. Lange, Defendant v. Leo J. Reuther and Norma M. Reuther, Third Party Defendant.
20. Charges and assessments by Trustees of said Subdivision, sewer service charges, sewer lateral charges, roadway maintenance assessments and/or public water supply district charges and assessments, if any.
21. Tenancy rights, either as month to month, or by virtue of written leases of persons in possession of any part of the subject property.

NOTE: If any requirements shown on Schedule B-Section I of this Commitment are not complied with, then the requirement or the matters constituting the requirement will be shown as an exception or exceptions on the Policy or Policies provided the Company elects to issue such Policy or Policies.

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Commitment No. NCS-1249929-STLO

EXHIBIT A

PARCEL 1:

PART OF LOT 1 OF THE SUBDIVISION OF STUDDT'S HOME PLACE IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE EAST ALONG OLIVE STREET ROAD AN ARC DISTANCE OF 46.98 FEET TO AN IRON ROD; THENCE NORTH 74 DEGREES 27 MINUTES 30 SECONDS EAST 43.26 FEET TO AN IRON ROD; THENCE SOUTH 38 DEGREES 44 MINUTES 25 SECONDS EAST 15.23 FEET TO AN IRON ROD; THENCE NORTH 74 DEGREES 27 MINUTES 30 SECONDS EAST 22.41 FEET TO AN OLD IRON PIPE BEING THE NORTHWEST CORNER OF PROPERTY NOW OR FORMERLY OF REUTHER BY DEED RECORDED IN BOOK 3549, PAGE 401 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTH 0 DEGREES 40 MINUTES 00 SECONDS EAST ALONG SAID PROPERTY SO CONVEYED TO REUTHER AS AFORESAID AND ALONG THE WEST LINE OF PARCELS CONVEYED TO THOMPSON BY BOOK 6498, PAGE 1269, KISLING BY BOOK 6520, PAGE 1029, REUTHER BY BOOK 6770, PAGE 2351, AND MEYER BY BOOK 1971, PAGE 109 A DISTANCE OF 729.10 FEET TO AN OLD IRON PIPE AND THE NORTH LINE OF STUDDT AVENUE, 30 FEET WIDE; THENCE ALONG STUDDT AVENUE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS WEST A DISTANCE OF 16 FEET TO AN IRON ROD BEING THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY OF THOMPSON BY DEED RECORDED IN BOOK 8325, PAGE 801 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 0 DEGREES 40 MINUTES 00 SECONDS WEST 200 FEET TO AN IRON ROD; THENCE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS WEST 102.53 FEET TO AN IRON ROD AND BEING THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY CONVEYED TO KUHLMANN BY DEED RECORDED IN BOOK 6659, PAGE 311 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTH 0 DEGREES 40 MINUTES 00 SECONDS WEST ALONG SAID PROPERTY SO CONVEYED TO KUHLMANN AS AFORESAID AND ALONG THE EAST LINE OF PROPERTY NOW OR FORMERLY OF CREVE COEUR FIRE DEPARTMENT 511.99 FEET TO THE SOUTH LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AND THE POINT OF BEGINNING.

PARCEL 2:

LOT 13 OF STUDDT HEIGHTS NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15, PAGE 65 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND INCLUDING THE WESTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

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PARCEL 3:

LOT 12 OF STUDDT HEIGHTS NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15, PAGE 65 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND INCLUDING THE WESTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

PARCEL 4:

PART OF LOT 2 OF THE SUBDIVISION OF STUDDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT A POINT IN THE CENTER LINE OF STUDDT AVENUE, 30 FOOT WIDE, AND THE SOUTHEAST CORNER OF LOT 2; THENCE NORTH ALONG EAST LINE OF LOT 2, 349.43 FEET, MORE OR LESS, TO SOUTHEAST CORNER OF PROPERTY CONVEYED TO KATHERINE SCHAUPP, BY DEED RECORDED IN BOOK 170, PAGE 20; THENCE WEST ALONG SOUTH LINE OF PROPERTY OF SCHAUPP 56 FEET 4-1/4 INCHES TO EAST LINE OF PROPERTY CONVEYED TO JACOB STUDDT, JR. BY DEED RECORDED IN BOOK 211, PAGE 191; THENCE SOUTH ALONG EAST LINE OF PROPERTY CONVEYED TO JACOB STUDDT 349.43 FEET TO CENTER LINE OF SAID ROAD 30 FEET WIDE; THENCE EAST ALONG SAID CENTER LINE 56 FEET 4-1/4 INCHES TO PLACE OF BEGINNING, AND INCLUDING THE EASTERN 1/2 OF THE FORMER ALLEY ADJOINING THERETO AS VACATED UNDER ORDINANCE NUMBER 308 OF THE CITY OF CREVE COEUR, A CERTIFIED COPY OF WHICH IS RECORDED IN BOOK 4802, PAGE 344.

PARCEL 5:

PART OF LOT 1 OF THE SUBDIVISION OF STUDDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF STUDDT AVENUE, 30 FEET WIDE, WITH THE WEST LINE OF SAID LOT 1; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AND PARALLEL WITH THE NORTH LINE OF STUDDT AVENUE, 101 FEET, MORE OR LESS, TO A POINT IN THE WEST LINE OF A PRIVATE ROAD HAM DRIVE, 16 FEET WIDE; THENCE SOUTH ALONG THE WEST LINE OF SAID PRIVATE ROAD HAM DRIVE, 200 FEET TO THE NORTH LINE OF STUDDT AVENUE; THENCE WEST ALONG THE NORTH LINE OF STUDDT AVENUE, 101 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

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PARCEL 6:

PART OF LOT 1 OF THE SUBDIVISION OF STUDT'S HOME PLACE, IN SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, AND DESCRIBED AS:

BEGINNING AT A POINT IN THE MOST NORTHERN OF THE EAST LINE OF SAID LOT 1 AT A POINT DISTANT SOUTH 0 DEGREES 40 MINUTES EAST 405.88 FEET FROM THE INTERSECTION OF THE AFORESAID EAST LINE WITH SOUTH LINE OF OLIVE STREET ROAD; THENCE SOUTH 0 DEGREES 40 MINUTES EAST 75 FEET TO A POINT; THENCE SOUTH 89 DEGREES 30 MINUTES WEST 153 FEET, TO EAST LINE OF HAM DRIVE, 16 FOOT WIDE; THENCE NORTH ALONG EAST LINE OF SAID ROAD PARALLEL WITH EAST LINE OF SAID LOT 1, 75 FEET TO A POINT; THENCE NORTH 89 DEGREES 30 MINUTES EAST 153 FEET TO PLACE OF BEGINNING.

THE ABOVE PARCELS ALSO DESCRIBED IN THE SURVEY PREPARED BY BLEW, INC., DATED _____, JOB NO. 25-0890, AS FOLLOWS:

A PART OF SECTION 3, TOWNSHIP 45 NORTH, RANGE 5 EAST, ST LOUIS COUNTY, MISSOURI, BEING ALL OF LOTS 12 AND 13 OF STUDT'S HEIGHTS NO. 2, A SUBDIVISION FILED FOR RECORDED IN PLAT BOOK 15, PAGE 65 OF THE LAND RECORDS OF SAID ST. LOUIS COUNTY AND BEING PART OF LOTS 1 AND 2 OF THE SUBDIVISION OF STUDT'S HOME PLACE THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE LAND RECORDS OF SAID ST. LOUIS COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT FOUND 1/2" IRON PIPE MARKING THE NORTHWEST CORNER OF LOT 1, SUBDIVISION OF STUDT'S HOME PLACE AND THE SOUTHEAST RIGHT-OF-WAY LINE OLIVE BOULEVARD AND RUNNING, THENCE ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE ALONG A CURVE TO THE LEFT, WITH A RADIUS OF 603.08 FEET, AN ARC LENGTH OF 46.33 FEET, AND A CHORD BEARING AND DISTANCE OF N76°40'03"E 46.32 FEET, THENCE N75°21'27"E 43.26 FEET TO A SET DRILL HOLE, THENCE LEAVING SAID SOUTHEAST RIGHT-OF-WAY S37°46'46"E 15.23 FEET TO A SET MAG-SPIKE, THENCE N75°25'09"E 22.41 FEET TO A SET 5/8" REBAR WITH A CAP "BLEW & ASSOC 2017018510", THENCE S00°17'39"W 337.60 FEET TO A FOUND COTTON SPINDLE, THENCE S89°34'11"E 152.70 FEET TO A FOUND 1/2" REBAR WITH A CAP "LS 144-D", THENCE S00°22'09"E 75.06 FEET TO A FOUND 3/4" REBAR, THENCE N89°32'45"W 153.57 FEET TO A FOUND COTTON SPINDLE, THENCE S00°17'39"W 308.98 FEET TO THE NORTH RIGHT-OF-WAY OF STUDT AVENUE, THENCE ALONG SAID NORTH RIGHT-OF-WAY N89°07'25"W 183.14 FEET TO A FOUND 5/8" REBAR, THENCE LEAVING SAID RIGHT-OF-WAY N00°21'09" E 87.82 FEET, THENCE N89°48'53"W 161.08 FEET TO THE WEST RIGHT-OF-WAY OF WILL AVENUE, THENCE ALONG SAID WEST RIGHT-OF-WAY N00°16'45" E 171.89 FEET TO A FOUND 1/2" IRON PIPE, THENCE LEAVING SAID WEST RIGHT-OF-WAY S89°50'05" E 161.30 FEET, THENCE N00°21'09" E 67.56 FEET, THENCE S88°56'55" E 64.56 FEET TO A FOUND 1/2" IRON PIPE, THENCE N00°21'06" E 377.41 FEET TO THE POINT OF BEGINNING. CONTAINING 3.330 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

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ALTA COMMITMENT FOR TITLE INSURANCE
issued by
FIRST AMERICAN TITLE INSURANCE COMPANY

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

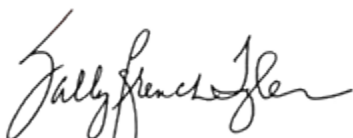
THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, First American Title Insurance Company, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

FIRST AMERICAN TITLE INSURANCE COMPANY


Sally F. Tyler, President


Lisa W. Cornehl, Secretary

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COMMITMENT CONDITIONS

1. DEFINITIONS

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
- b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
- c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
- e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
- g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
- i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
- j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:
- a. the Notice;
 - b. the Commitment to Issue Policy;

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- c. the Commitment Conditions;
- d. Schedule A;
- e. Schedule B, Part I—Requirements; and
- f. Schedule B, Part II—Exceptions.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions

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- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
 - d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
 - e. Any amendment or endorsement to this Commitment must be in writing.
 - f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.
- 7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT**
The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.
- 8. PRO-FORMA POLICY**
The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.
- 9. CLAIMS PROCEDURES**
This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.
- 10. CLASS ACTION**
ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions

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FINAL

STATE OF MISSOURI)
) SS.
 COUNTY OF ST. LOUIS)

IN THE CIRCUIT COURT OF ST. LOUIS COUNTY, MISSOURI

LEO J. REUTHER, SR. and	)	
NORMA M. REUTHER,	)	
	)	
Plaintiff,	)	
	)	Cause No.: #561566
vs.	)	
	)	Div./Team: B
LOUIS G. LANG,	)	
	)	
Defendant,	)	
	)	
vs.	)	
LEO J. REUTHER, SR. and	)	
NORMA M. REUTHER,	)	
	)	
Third Party Defendants.	)	

CONSENT JUDGMENT

This cause having been submitted to the Court, the Court makes the following findings, judgment, declarations, and orders by consent of the parties:

1. Ham Drive, a 16' wide road located in Section 3 Township 45 Range 5 East in St. Louis County running generally north and south a distance of 729.10' between Olive Blvd. on the north and Studt Avenue on the south, is declared a private road from its intersection with Olive Blvd. to its intersection with Studt Avenue.

2. Ham Drive is declared to be on the property of Defendant
LOUIS G. LANG subject to Plaintiffs REUTHERS' existing
right-of-way easements onto and over Ham Drive from Olive Blvd. to
Studt Avenue from their properties and that said easements are
appurtenant and run with the land.

3. It is further agreed that each of the parties shall be
responsible for fifty percent (50%) of the cost of maintaining Ham
Drive as follows:

A. In the event that either party believes Ham
Drive is in need of repair, that party shall contact and
communicate with the other party as to the nature of the
suggested repair. If the parties can agree as to the
nature and cost of said repairs and the contractor or
firm who shall perform said repairs, each shall pay
one-half (1/2) of the cost (either directly or by way of
reimbursing the party advancing the total cost). Either
party shall have the right to obtain bids for specified
repair work.

B. If a party is unable to contact the other
party, the party seeking to discuss repairs shall send a
certified letter stating the nature of the suggested
repairs and the cost of said repair. Failure to respond
to a certified letter within 10 days of its receipt
shall constitute a consent to the repairs and obligate
the nonresponding party for fifty percent (50%) of the
stated cost of repair.

C. In the event the parties are unable to agree as
to the need or nature of repairs, they will submit the
dispute to arbitration which shall be binding on the
parties. The arbitration panel shall be composed of
three (3) persons selected as follows:

Each party shall select a representative to
act on their behalf and the two representa-
tives shall select a person who will act as
the third arbitrator. (The parties shall each
pay one-half (1/2) of the compensation, if
any, of the third arbitrator).

If the two representatives are unable to otherwise agree as to who shall serve as the third arbitrator, the judge sitting in Division #1 of the St. Louis County Circuit Court will act as the third arbitrator.

A majority vote of the arbitration panel shall prevail and bind the parties and not be subject to judicial review.

4. Plaintiffs shall, at their cost, post a conspicuous sign on the northeast corner of Olive Blvd. and Ham Drive which shall state that there shall be no loading or unloading of vehicles and that vehicles in violation will be towed at owner's expense. Plaintiffs shall have posted, at their own expense, a total of four (4) "No Parking" signs along the east side of Ham Drive. Towing a non-complying vehicle at the owner's expense may be used to enforce the parking and unloading restrictions.

5. The parties agree to use their best efforts to prohibit customer parking on Ham Drive and to avoid obstruction of the road. Defendant LANG will take steps to assure that trucks making deliveries to his business use Ham Drive only for access to his premises and not unload deliveries on the street. Plaintiffs REUTHER will take steps to assure that transports or trucks making deliveries to their business do not traverse or unload on Ham Drive.

6. All notices shall be sent to the respective parties at the following addresses:

LEO J. and NORMA M. REUTHER

11659 Olive Blvd. (near Crown) St. Louis 63141

LOUIS G. LANG

11700 Olive Blvd. (at 6600) Mo 63141

7. Court costs are taxed fifty percent (50%) to Plaintiffs and fifty percent (50%) to Defendant.

Leo V. Reuther, Sr.
LEO V. REUTHER, SR.

Norma M. Reuther
NORMA M. REUTHER

Michael F. Merritt #30418
725 Old Ballas Road
Creve Coeur, MO 63141
(314) 567-1424
ATTORNEY FOR PLAINTIFFS

Louis G. Lang
LOUIS G. LANG

Jack Spooner #38382
7711 Carondelet, Suite 400
St. Louis, MO 63105
(314) 862-3535
ATTORNEY FOR DEFENDANT

SO ORDERED:

ENTERED THIS 24th DAY OF January 1991.

Robert Schiff
ST. LOUIS COUNTY CIRCUIT COURT JUDGE

RESOLUTION NO. _____

A RESOLUTION APPROVING THE SITE CONCEPT PLAN AND SITE DEVELOPMENT PLAN FOR BALLAS DENTAL LOCATED AT 11647 STUDD AVENUE AND ASSOCIATED PROPERTIES 720 AND 724 WILL AVENUE AND 11647 AND 11653 STUDD AVENUE

WHEREAS, Section 405.370(D) of the Zoning Code states that a Site Concept Plan and a Site Development Plan shall be submitted for all proposed developments within the “CB” Core Business zoning district for review by the Planning and Zoning Commission and approval by resolution of the City Council; and

WHEREAS, an application was submitted by Elliott Reed, P.E. of Cochran Engineering, on behalf of Ballas Dental, for a Site Concept Plan and Site Development Plan for 11647 Studd Avenue and associated properties 720 and 724 Will Avenue and 11647 and 11653 Studd Avenue, and

WHEREAS, the Planning and Zoning Commission reviewed and, by a _ vote, recommended approval of the request, subject to the conditions contained herein, at its meeting on October 20, 2025; and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed resolution has been made available for public inspection prior to its consideration by the Council; and

WHEREAS, the City Council finds that the application is in conformance with the CB-Core Business District and other requirements of the Zoning Code as applicable to this request, when subject to certain conditions set forth herein:

NOW, THEREFORE, be it resolved by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

Section 1: The Site Concept Plan and Site Development Plan are approved subject to the following conditions:

1. The Applicant shall submit Site Improvement Plans, showing all exterior grading and site improvements, to the Department of Public Works for review, as required by Section 410.380 of the Subdivision and Land Development Regulations (Subdivision Code). The Site Improvement Plans shall be in substantial conformance with the “Site Development Plans,” and the Landscape Plan received October 15, 2025, as bound together and submitted in conjunction with Application #25-030 by Cochran Engineers, except as modified below.
2. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the Elevations received October 10, 2025, as bound together and submitted in conjunction with Application #25-030 by Oakline Studio, except as modified below.
3. The proposed future roadway and sidewalk easements as shown on the Site Concept/Development Plans are to be submitted to the City Attorney for review and approval prior to recording at the St. Louis County Recorder of Deeds office. The first easement shall be granted to the City of Creve Coeur to provide for future roadway and sidewalk purposes and public access along the entire length of Ham Avenue from Olive Boulevard to Studd Avenue. The second public roadway and sidewalk easement shall be 24-feet wide covering the full street frontage for the property at 750 Ham Avenue. The third public roadway and sidewalk easement shall be 24-feet wide covering the full

RESOLUTION NO. _____

Ham Avenue street frontage for the property at 11647 Studt Avenue. These easements shall be recorded prior to issuance of any site improvement or building permits.

4. A Final Landscaping Plan shall be submitted with the Building Permit to include parking lot interior landscaping calculations, additional landscaping in the form of evergreen shrubs in front of the retaining wall, and plantings with the 5-foot-wide landscaped area along the north portion of the parking lot between the parking lot and the adjacent property.
5. All landscaping shall be maintained per the approved Landscape Plan and any vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed and in a prompt and workmanlike manner as dictated by accepted horticultural standards.
6. Any landscaping alterations deviating from the approved Landscaping Plan shall be reviewed by Planning staff and if substantially different shall require Planning and Zoning approval in form of an amendment to the Landscaping Plan.
7. All lighting shall be downcast and shielded to comply with Section 405.680 Lighting.
8. Any ground or roof mounted mechanical equipment installed for the site shall be properly screened with materials approved by Staff.
9. The color of the retaining wall material shall be a neutral color to match the color of the brick on the building per the Design Guidelines for retaining walls and submitted for staff approval.
10. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code.
11. No site development plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of the application if the application as resubmitted is substantially the same as the initially approved application.

Section 2: This resolution shall become effective upon approval.

ADOPTED THIS ____ DAY OF OCTOBER 2025.

DR. ROBERT HOFFMAN
MAYOR

ATTEST:

KELLIE HENKE
CITY CLERK



city of **CREVE COEUR**

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

MEMO TO PLANNING AND ZONING COMMISSION

Meeting Date: October 20, 2025

Subject: **Bayer East Campus Comprehensive Plan Update
Revised Draft Plan Recommendations**

Memo Prepared by: Jason W. Jaggi, AICP, Director of Community Development

Attachments: **Bayer East Campus Comp Plan Update—Revised Draft Recommendations
(Clean and Redlined Versions)**

During the September 29th work session, staff and our planning consultant, PGAV Planners, presented the draft plan recommendations for the Commission's review. Staff and the consultant have incorporated the feedback received from the work session and have revised the recommendations accordingly. Attached is a redlined version of the changes made and a clean version. Staff requests review of these changes prior to providing them to the public for review and comment on the project webpage: <https://www.crevecoeurmo.gov/1233/Bayer-East-Comp-Plan-Update> and at the open house on October 29th.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Open Space & the Environment

Objectives:

- ~~Balance the needs of future development with a desire for a tree-rich, low-density environment that is compatible with nearby residential uses.~~
- ~~Where possible, incorporate the existing topography, and~~ wooded areas, ~~and to support~~ the natural habitat ~~into within~~ new development.
- Prioritize open space in a way that allows for development while ~~also preserving the existing tree canopy and~~ maintaining a concentration of forested areas in the southern and western portions of the site.
- Ensure a suitable buffer is provided between this site and the residential neighborhoods to the south.

Recommendations:

- Avoid extensive tree removal. ~~Preserve connected forested areas, guided by existing southern roadways as natural boundaries and buffers. Prioritize the preservation of connected forested areas, utilizing the existing roadways on the southern portion of the site as a natural boundary and buffer.~~
- Require a tree inventory ~~and wildlife assessment~~ as part of the development review process.
- Retain existing, ~~healthy~~ mature trees on Warson Road that provide shade ~~for pedestrians~~ and a pleasant aesthetic for drivers and pedestrians.
- Encourage the removal of invasive vegetation throughout the site.
- Retain or ~~re-establish~~ ~~replace the a~~ tallgrass prairie component on the southern end of the site ~~in proximity to wooded areas~~ to support biodiversity.
- All site components should be designed such that the proposed conditions will not ~~create an adverse effect on adjacent properties through an increase in the volume or speed intensity of stormwater runoff, to adjacent property and that all new development on the site has no adverse effect.~~

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Transportation & Connectivity

Objectives:

- Preserve existing site access to the surrounding roadway network while establishing new streets within the site that appropriately connect the various land use components, including the remaining Bayer corporate headquarters.
- Encourage pedestrian access throughout the site and connections to adjacent areas.

Recommendations:

- Ensure [private](#) roadway access to the Tealwood Subdivision is provided. This could be in the form of a new roadway through the Bayer site that connects to North Warson Road or a reconfiguration of this road to provide an equivalent means of access. Establish a long-term maintenance plan for this connection working with the Tealwood subdivision [residents](#).
- Require a traffic [impact](#) study for any future development on the site to understand the current traffic generation and future traffic demands based on proposed uses.
- Ensure there is a long-term ownership and maintenance plan for bridge over Lindbergh [Boulevard](#) to provide necessary access to Olia Village, Bayer campus and development in the area.
- [Maintain the pedestrian connection from Bayer Drive to Stacy Park and enhance internal site connectivity while supporting implementation of the planned 39 North Greenway in this area. Maintain the pedestrian connection at Bayer Drive to Stacy Park and facilitate connections to the planned 39 North Greenway.](#)
- Include walking [trails-paths](#) within the forested areas and allow for public use.
- Consider the long-term potential of new pedestrian and bike connectivity between the east and west sides of Lindbergh [Boulevard](#) connecting the Bayer campus with the Olia Village development.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Future Land Use

Objectives:

- ~~Encourage a variety of new uses that are compatible with Bayer Crop Science's headquarters operations, advances the growth of the 39 North District and the City as a whole, and complements surrounding development. Allow a variety of new uses on the site that are compatible with the continued presence of the Bayer Crop Science headquarters operations but do not compete with the Olia Village nearby development~~
- Consider reuse of existing research facilities by other users while remaining open to alternate land uses based on market demand.
- Locate new uses on the site in the appropriate locations that are compatible with adjacent uses., ~~particularly single-family residential uses.~~

Recommendations:

- Appropriate uses on the site include, retail, recreational, service, government, commercial, various forms of housing types, and offices, research and development facilities, and hotel with conference center.
- Prioritize commercial and service retail on Olive Boulevard frontage. Discourage auto-oriented uses ~~such as gas stations, auto-shops, dealerships, etc.~~ in this area.
- Encourage commercial uses that are compatible-complimentary with the nearby Bayer campus and broader 39 North District such as a quick service restaurant or daily needs retail.
- Consider a mix of housing types to encourage residential diversity. The following housing types are appropriate:
 - Single-Family Homes. Single-family detached and attached residential uses are favored on the southern portion of the site adjacent to the existing single-family residential neighborhoods. Buffering from the adjacent office and R&D uses to minimize conflicts

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

should be incorporated. ~~New residential development should be sensitive to the existing wooded conditions in this area.~~

- Multi-Family ~~Apartment~~Housing. Multi-family residential uses ~~including apartments and condos with higher density~~ can be integrated with ~~in the~~ office or commercial uses. ~~In the southern portion of the site, new multi-family residential development can be considered when appropriately buffered and designed for compatibility with adjacent land uses. to serve as a transition to the single-family uses to the south.~~
- Senior Housing. Support a variety of senior housing including, apartments, condos, and villas. ~~Higher density housing should be concentrated on the central and northern portions of the site.~~
- ~~All n~~New residential development in the southern portion of the site ~~should be sensitive to the existing wooded conditions in this area.~~
- Due to the size and location of the site adjoining two major roadways, ~~greater~~ ~~higher~~ density is appropriate; however, taller buildings (generally over 4 stories) and the most intense activity should be located toward the central and northern portions of the site to minimize impacts to adjoining residential neighborhoods.
- Work with the 39 North District, Bayer, and other partners to encourage building reuse with office and Research and Development (R&D) users to support the growth of the 39 North AgTech District.
- Retention of the existing Bayer conference center (Building R) with a possible hotel component should be considered.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Financial Incentives

Objectives:

- Responsibly consider targeted incentives to encourage investment on this site and facilitate desirable re-use.
- Work collaboratively with the School District to find a solution that meets their needs.
- Ensure collaboration with [the City Police](#) and [the Fire District](#), ~~to ensuring~~ new development considers [service needs and](#) budgetary constraints.

Recommendations:

- ~~Require a public safety assessment to understand potential impacts on police and municipal services and the fire levels of service district.~~
- [Refer to the Incentive Review Criteria document as a guide when considering public financing incentive requests \[Note: guide to be discussed with City Council November 10th\].](#)

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Open Space & the Environment

Objectives:

- Balance the needs of future development with a desire for a tree-rich environment.
- Where possible, incorporate the existing topography, and wooded areas to support the natural habitat within new development.
- Prioritize open space in a way that allows for development while maintaining a concentration of forested areas in the southern and western portions of the site.
- Ensure a suitable buffer is provided between this site and the residential neighborhoods to the south.

Recommendations:

- Avoid extensive tree removal. Preserve connected forested areas, guided by existing southern roadways as natural boundaries and buffers.
- Require a tree inventory as part of the development review process.
- Retain existing, healthy mature trees on Warson Road that provide shade and a pleasant aesthetic for drivers and pedestrians.
- Encourage the removal of invasive vegetation throughout the site.
- Retain or replace a tallgrass prairie component on the southern end of the site in proximity to wooded areas to support bio-diversity.
- All site components should be designed such that the proposed conditions will not create an adverse effect on adjacent properties through an increase in the volume or intensity of stormwater runoff.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Transportation & Connectivity

Objectives:

- Preserve existing site access to the surrounding roadway network while establishing new streets within the site that appropriately connect the various land use components, including the remaining Bayer corporate headquarters.
- Encourage pedestrian access throughout the site and connections to adjacent areas.

Recommendations:

- Ensure private roadway access to the Tealwood Subdivision is provided. This could be in the form of a new roadway through the Bayer site that connects to North Warson Road or a reconfiguration of this road to provide an equivalent means of access. Establish a long-term maintenance plan for this connection working with the Tealwood subdivision residents.
- Require a traffic impact study for any future development on the site to understand the current traffic generation and future traffic demands based on proposed uses.
- Ensure there is a long-term ownership and maintenance plan for bridge over Lindbergh Boulevard to provide necessary access to Olia Village, Bayer campus and development in the area.
- Maintain the pedestrian connection from Bayer Drive to Stacy Park and enhance internal site connectivity while supporting implementation of the planned 39 North Greenway in this area.
- Include walking paths within the forested areas and allow for public use.
- Consider the long-term potential of new pedestrian and bike connectivity between the east and west sides of Lindbergh Boulevard connecting the Bayer campus with the Olia Village development.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Future Land Use

Objectives:

- Encourage a variety of new uses that are compatible with Bayer Crop Science's headquarters operations, advances the growth of the 39 North District and the City as a whole, and complements surrounding development. Consider reuse of existing research facilities by other users while remaining open to alternate land uses based on market demand.
- Locate new uses on the site in the appropriate locations that are compatible with adjacent uses.

Recommendations:

- Appropriate uses on the site include retail, recreational, service, government, commercial, various forms of housing types, offices, research and development facilities, and hotel with conference center.
- Prioritize commercial and service retail on Olive Boulevard frontage. Discourage auto-oriented uses in this area.
- Encourage commercial uses that are complimentary with the nearby Bayer campus and broader 39 North District such as a quick service restaurant or daily needs retail.
- Consider a mix of housing types to encourage residential diversity. The following housing types are appropriate:
 - Single-Family Homes. Single-family detached and attached residential uses are favored on the southern portion of the site adjacent to the existing single-family residential neighborhoods. Buffering from the adjacent office and R&D uses to minimize conflicts should be incorporated.
 - Multi-Family Housing. Multi-family residential uses including apartments and condos can be integrated within office or commercial uses. In the southern portion of the site, new multi-family residential development can be considered when appropriately buffered and designed for compatibility with adjacent land uses.
 - Senior Housing. Support a variety of senior housing including, apartments, condos, and villas.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

- All new development in the southern portion of the site should be sensitive to the existing wooded conditions in this area.
- Due to the size and location of the site adjoining two major roadways, greater density is appropriate; however, taller buildings (generally over 4 stories) and the most intense activity should be located toward the central and northern portions of the site to minimize impacts to adjoining residential neighborhoods.
- Work with the 39 North District, Bayer, and other partners to encourage building reuse with office and Research and Development (R&D) users to support the growth of the 39 North AgTech District.
- Retention of the existing Bayer conference center (Building R) with a possible hotel component should be considered.

REVISED DRAFT RECOMMENDATIONS

P&Z Commission Review 10-20-25

Financial Incentives

Objectives:

- Responsibly consider targeted incentives to encourage investment on this site and facilitate desirable re-use.
- Work collaboratively with the School District to find a solution that meets their needs.
- Ensure collaboration with the City and the Fire District, to ensure new development considers service needs and budgetary constraints.

Recommendations:

- Require a public safety assessment to understand potential impacts on police and municipal services and the fire district.
- Refer to the Incentive Review Criteria document as a guide when considering public financing incentive requests *[Note: guide to be discussed with City Council November 10th]*.