



**AGENDA  
CITY OF CREVE COEUR  
PLANNING AND ZONING COMMISSION  
300 NORTH NEW BALLAS RD  
JUNE 15, 2026  
6:00 PM**

**CALL TO ORDER**

**ROLL CALL**

Ms. Julie LaBonte (Chair)  
Mr. Thomas Buelter  
Ms. Rhonda O'Brien  
Mr. Larry Potashnick  
Mr. Stephan Tomlinson  
Mr. AJ Wang

Mr. Carl Lumley, City Attorney  
Mr. Jason Jaggi, AICP, Director of Community Development  
Ms. Bethany L. Moore, AICP, City Planner  
Ms. Claralyn Bollinger, Recording Secretary, Administrative Services Supervisor

**ACCEPTANCE OF THE AGENDA**

**APPROVAL OF MINUTES**

- 1. June 1, 2026 Planning and Zoning Commission Draft Meeting Minutes**

**PUBLIC COMMENT**

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

**UNFINISHED BUSINESS**

**NEW BUSINESS**

- 1. Public Hearing. Application #26-012: Text Amendment to the Zoning Code to Amend Section 405.470(A)(6) Communication Towers**

Jonathon Hunt, of Centerline LLC, on behalf of The Towers, LLC, has submitted a text amendment application to the Zoning Ordinance to reduce the required setbacks for telecommunications towers when a "Fall Certification Letter" stamped by a licensed engineer is provided. The setback required by the applicable zoning district shall remain the absolute minimum. Additionally, in the "HE" Higher Education Zoning District, the setback for the applicable zoning district shall be reduced by 15



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feet for the accessory ground equipment serving a communication tower. In association with this request, the applicant plans to submit a Conditional Use Permit for the construction of a monopole communication tower with associated equipment on the Missouri Baptist University Campus. Text amendments require approval by the City Council after a recommendation from the Planning and Zoning Commission.

Staff requests this item be moved to the July 7th, 2026 agenda in order to allow the applicant additional time to resubmit requested materials and revisions.

**2. Public Hearing. Application #26-013: A Conditional Use Permit for a Monopole Communications Tower Located at 1 College Park Drive within the Missouri Baptist University Campus**

Jonathon Hunt, of Centerline LLC, on behalf of The Towers, LLC, has submitted a Conditional Use Permit application for the construction of a 100-foot-tall monopole telecommunications tower with accessory ground equipment on the Missouri Baptist University Campus within the “HE” Zoning District. In association with the CUP application, an application for a text amendment to the Zoning Code has also been submitted to reduce the required setbacks for telecommunications towers when a “Fall Certification Letter” stamped by a licensed engineer is provided. The setback required by the applicable zoning district shall remain the absolute minimum. Additionally, in the “HE” Higher Education Zoning District, the setback for the applicable zoning district shall be reduced by 15 feet for the accessory ground equipment serving a communication tower. Conditional Use Permits require approval by the City Council after a recommendation from the Planning and Zoning Commission.

Staff requests this item be moved to the July 7th, 2026 agenda in order to allow the applicant additional time to resubmit requested materials and revisions.

**3. Application #26-015: Subdivision Improvement Plans for the 3 Lot Subdivision Known as BaCon Estates at 350 South Mason Road within the A Single-Family Residential Zoning District**

Matt Poston, of THD Design Group, on behalf of Lombardo Homes, has submitted a request for the subdivision improvement plan approval for the 3-lot subdivision known as BaCon Estates located at 350 South Mason Road. The property is located on S. Mason Road between B’nai Amoona Congregation to the north and east and Holy Mountain Assembly of God to the southeast. The subject property is zoned A



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Single Family Residential. The subdivision received preliminary plat and final plat approval in 2024 with the condition that the improvement plans would be applied for by the future developer before issuance of any building permits. The developer, Lombardo Homes, is ready to apply for building permits for these lots and has applied to for Subdivision Improvement Plan approval in order to do so.

**4. Application #26-016: Site Development Plan For A Fence Within the Front Yard Setback for the Property Addressed as 12111 Ladue Heights Drive**

Joe Green, homeowner, has submitted an application for a 6 foot (72") tall, wooden privacy fence within the front yard setback and parallel to Coeur De Ville Lane street right of way for the corner property located at 12111 Ladue Heights Drive. This property is within the "B" Single-Family Residential Zoning District. The City of Creve Coeur's Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district unless such fence is setback at least 15 feet from the property line, no more than 4 feet in height, and is an open slatted decorative metal fencing. All other fences must be approved by site development plan by the Planning and Zoning Commission.

**5. Application #26-017: Site Development Plan For A Front Yard Fence Adjacent to Street Right-of-way for the Property Addressed as 12511 Royal Manor Drive**

Pradeep Daripally, homeowner, has submitted an application for a 6 foot (72") tall, wooden stockade privacy fence parallel to Ladue Road right of way for the through lot property located at 12511 Royal Manor Drive. This property is within the "A-RDD" Single-Family Residential Zoning District. The City of Creve Coeur's Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district unless such fence is setback at least 15 feet from the property line, no more than 4 feet in height, and is an open slatted decorative metal fencing. All other fences must be approved by site development plan by the Planning and Zoning Commission. City Council action is not required.

**WORK AGENDA**



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**PENDING APPLICATIONS**

1.
  - Site Development Plan for a fence located at 11652 Studt Avenue

**DEPARTMENT REPORTS**

Olia Village Update: 6-8-26 City Council/P&Z Work Session Presentation

**ADJOURNMENT**

Pursuant to Section 610.022 RSMo., the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. And/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Posted by: \_\_\_\_\_  
Date/Time posted: \_\_\_\_\_

***If you need special accommodations to attend a meeting, services may be arranged by contacting the Office of the City Administrator in advance.***



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**CALL TO ORDER**

A regular meeting of the Planning and Zoning Commission of the City of Creve Coeur was called to order by Chair Julie LaBonte at the City Council Chamber, 300 North New Ballas Rd, City of Creve Coeur Government Center, Creve Coeur, MO 63141 on Monday, June 1, 2026 at 6:00 PM.

**ROLL CALL**

**Ms. Julie LaBonte (Chair)  
Mr. Thomas Buelter  
Ms. Rhonda O'Brien  
Mr. Larry Potashnick – absent  
Mr. Stephan Tomlinson  
Mr. AJ Wang – absent**

**Mr. Carl Lumley, City Attorney  
Mr. Jason Jaggi, AICP, Director of Community Development  
Ms. Bethany L. Moore, AICP, City Planner  
Ms. Claralyn Bollinger, Recording Secretary, Administrative Services  
Supervisor**

**ACCEPTANCE OF THE AGENDA**

**RESULT: APPROVED (UNANIMOUS)**  
**MOVER:** Ms. O'Brien  
**SECONDER:** Mr. Tomlinson  
**AYES:** Mr. Buelter, Ms. LaBonte, Ms. O'Brien and Mr. Tomlinson  
**NAYS:** None

The vote on the motion being 4 ayes and 0 nays, motion carried.

**APPROVAL OF MINUTES**

**1. May 4, 2026 Planning and Zoning Commission Draft Meeting Minutes**

**RESULT: APPROVED (UNANIMOUS)**  
**MOVER:** Ms. O'Brien  
**SECONDER:** Mr. Tomlinson  
**AYES:** Mr. Buelter, Ms. LaBonte, Ms. O'Brien and Mr. Tomlinson  
**NAYS:** None

The vote on the motion being 4 ayes and 0 nays, motion carried.



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**PUBLIC COMMENT**

**1. Public Comment Received Related to Bayer East Campus Comprehensive Plan Update**

There was one public comment received from Ms. Sussman-Dawson prior to tonight's meeting which was placed in the agenda packet.

**UNFINISHED BUSINESS**

No Unfinished Business tonight.

**NEW BUSINESS**

**1. Application #26-014: Application for a Boundary Adjustment Plat Consolidating 16 Existing Lots into 4 New Lots on the Bayer East Campus Located at 800 North Lindbergh Boulevard**

George Stock of Stock and Associates Consulting Engineers gave the presentation on behalf of CV Acquisitions, LLC. Larry Chapman and Richard Moon with CV Acquisitions, LLC were in the audience. The total Bayer East campus tract is 151 acres with 16 lots today. The request is to consolidate 16 lots into 4 lots. CV Acquisitions, LLC is under contract to purchase a portion of the campus, 3 of the 4 lots.

Ms. O'Brien asked if roads or easements affect the lots? Mr. Jaggi said that this is an initial step to facilitate the sale to a developer. This will have to be subdivided again based on a development proposal.

Mr. Buelter asked why not set up two lots? Mr. Stock said Mr. Chapman is in negotiations with a third party to buy proposed lot four. Mr. Chapman sees the north lot developing differently than lot 3.

Ms. Moore gave the City's presentation. The applicant will bring a development proposal application at a future date. The zoning is still RO Research and Office Park Zoning District.

Motion made to approve subject to the condition that a final drawing be prepared for signature and recording and with a copy of the recorded document provided to City staff.



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**RESULT: APPROVED (UNANIMOUS)**

**MOVER:** Ms. O'Brien

**SECONDER:** Mr. Tomlinson

**AYES:** Mr. Buelter, Ms. LaBonte, Ms. O'Brien and Mr. Tomlinson

**NAYS:** None

The vote on the motion being 4 ayes and 0 nays, motion carried.

## **WORK AGENDA**

### **1. NAICS Code Table A Progress Update**

Ms. Moore gave the City's presentation on the NAICS Code Table A Update. We hope to have a text amendment to address these changes. We currently use the 2012 edition of the NAICS. There is a 2017 and a 2022 version. The update is primarily minor changes to the definition and changes to some of the identification codes to accommodate updated definitions or condensed use codes. There aren't that many new definitions.

While looking at this, there are some proposed changes to the PO, LI and RO Zoning Districts. These districts will benefit from the expansion of uses (PO) and the allowance of more permitted uses (LI) that help support 39 North Ag Tech District.

Ms. LaBonte asked if we have gotten requests for uses in LI that haven't been approved? Ms. Moore said there have been some requests; they're just not allowed so they don't move past that initial business license application stage. For the most part, she has seen inquiries for service uses that aren't allowed.

Changes proposed to LI District to encourage the development and redevelopment of area designated as industrial with high-quality future development. This district would benefit from less impactful uses or use that require a large amount of parking being allowed as Permitted instead of Conditional Use. Other uses to include are home health equipment rental and various construction contractor uses that would not include exterior storage.

Mr. Buelter asked about various construction contractors and what would stop major heavy equipment from being stored outside? Ms. Moore said that the uses she



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highlighted would be less intensive uses that would be allowed by the contractor categories. They are contractors that would have indoor storage only.

Ms. LaBonte asked about contractor truck parking? Ms. Moore said they would just park their trucks in the parking lot.

Mr. Buelter asked if it's the area north of 39 North? Ms. Moore said yes, just that area.

Mr. Jaggi said that there were a few changes for uses that could be Permitted instead of Conditional Uses. The LI District is within the 39 North District boundary. We are supporting the expansion of businesses for 39 North to locate there, but at the same time, we are not excluding existing LI uses.

Ms. LaBonte asked about the Benson Hill location. Mr. Jaggi said they have a building that is in LI. The large former Benson Hill research building is in RO. Mr. Jaggi said we are looking at the purpose and intent of the LI District.

There are three PO Zoning Districts in the City. Ms. Moore mentioned changes to PO District comprised of office uses and appropriate retail uses and services. The District is struggling with vacancies due to a decrease in demand for office space, so staff suggests broadening the available uses. Ms. Moore has seen supporting uses apply such as nail salons and hair salons, but they are currently not allowed.

Ms. LaBonte raised concern about beauty and barber shops that could be loud or emit odors. Ms. Moore said they will be responsible for containing any noises or smells. They are Permitted Uses where allowed in other Zoning Districts.

Mr. Jaggi commented on the PO Districts. These are small adjustments to uses. He would not expect these changes to open up a lot of demand since there are broader issues with the occupancy rates of older office buildings within the PO Districts.

Ms. O'Brien asked if there is an area where a theater could be permitted? Ms. Moore said that some of those uses are allowed in the LI District. There would be substantial parking that would be required.

Mr. Jaggi said that some office parks elsewhere are being converted to housing. That is being considered on the Olia Village site. There may be a possible conversion of an office south of the Starbucks to another use.



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Ms. Moore discussed Other Use Considerations: allowing Limited-Service Restaurants and Snack and Non-Alcoholic Beverage Bars with 16 seats or less to be a Permitted Use instead of Conditional Use in PH, PO, MX, PC, GC, CB and LI Districts because parking is already calculated at 4/1000 like general retail. Staff received a request from the 39 North organization to review expanding uses allowed in RO that support the Research and Office uses there and allow a clustering effect and sense of place for the AgTech ecosystem to thrive.

Next Steps: staff is seeking comments and suggestions for any other uses that the Commission would like to see expanded within the PO, LI or RO districts or any other districts. Staff and the 39 North organization are still discussing the use changes that would best support the 39 North district. These changes to Table A may come as a separate text amendment application. Staff will return with a formal text amendment application for a public hearing with the Commission. Ms. Moore hopes for this within the next two months.

### **PENDING APPLICATIONS**

1.

- **Text Amendment to Section 405.470(A)(6) *Communication Towers* and associated Conditional Use Permit for a monopole communication tower located at 1 College Park Drive**
- **Subdivision Improvement Plans for 3-lot subdivision BaCon Estates**
- **Front Yard Fence for 12511 Royal Manor Drive**
- **Front Yard Fence for 12111 Ladue Heights Drive**

Ms. Moore said there is a text amendment and Conditional Use Permit for a 100-foot monopole communication tower on the Missouri Baptist University campus. There are two fence permit applications. There is a subdivision improvement plan for the three-lot subdivision BaCon Estates.

### **DEPARTMENT REPORTS**

Mr. Jaggi said that there will be an update by Olia Village developer from 6:00-7:00 p.m. next Monday, June 8 to the City Council and the Planning and Zoning Commission



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is invited to attend.

The Graeser Station development financing research process is beginning. Ms. LaBonte asked who would determine if something is blighted. Mr. Jaggi said that's by state statute chapter 353 and the City Council would determine based on a blighting study. Mr. Lumley said PGAV would look at that as part of their work. Mr. Jaggi said PGAV has been asked to scrutinize the proposal. We have our consultants and they have their consultants. The fees are paid by the developer to the City and the City pays PGAV. An incentive guide has been adopted by City Council that lists the process and criteria. One of PGAV's core tasks is to evaluate the proposal against this policy guide.

We have received an application for a new Planning and Zoning Commission member.

**ADJOURNMENT**

Meeting adjourned at 7:00 PM.

Submitted by:

\_\_\_\_\_  
Recording Secretary

\_\_\_\_\_  
Chair



# city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141  
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966  
www.crevecoeurmo.gov

## APPLICATION TO PLANNING AND ZONING COMMISSION

### #26-015: SUBDIVISION IMPROVEMENT PLANS FOR THE 3 LOT SUBDIVISION KNOWN AS BACON ESTATES AT 350 SOUTH MASON ROAD WITHIN THE A SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT

FOR THE MEETING OF: Monday, June 15, 2026

LOCATION: 350 S. Mason Road. Zoned A Single-Family Residential District.

**REQUEST:** Matt Poston, of THD Design Group, on behalf of Lombardo Homes, has submitted a request for the subdivision improvement plan approval for the 3-lot subdivision known as BaCon Estates located at 350 South Mason Road. The property is located on S. Mason Road between B'nai Amoona Congregation to the north and east and Holy Mountain Assembly of God to the southeast. The subject property is zoned A Single Family Residential.

**ADDITIONAL INFORMATION:** The subdivision received preliminary plat and final plat approval in 2024 with the condition that the improvement plans would be applied for by the future developer before issuance of any building permits. The developer, Lombardo Homes, is ready to apply for building permits for these lots and has applied to for Subdivision Improvement Plan approval in order to do so.

**APPLICANT:** Matt Poston  
THD Design Group, Inc.  
148 Chesterfield Industrial  
Boulevard  
Chesterfield, MO 63105

#### Key Issues:

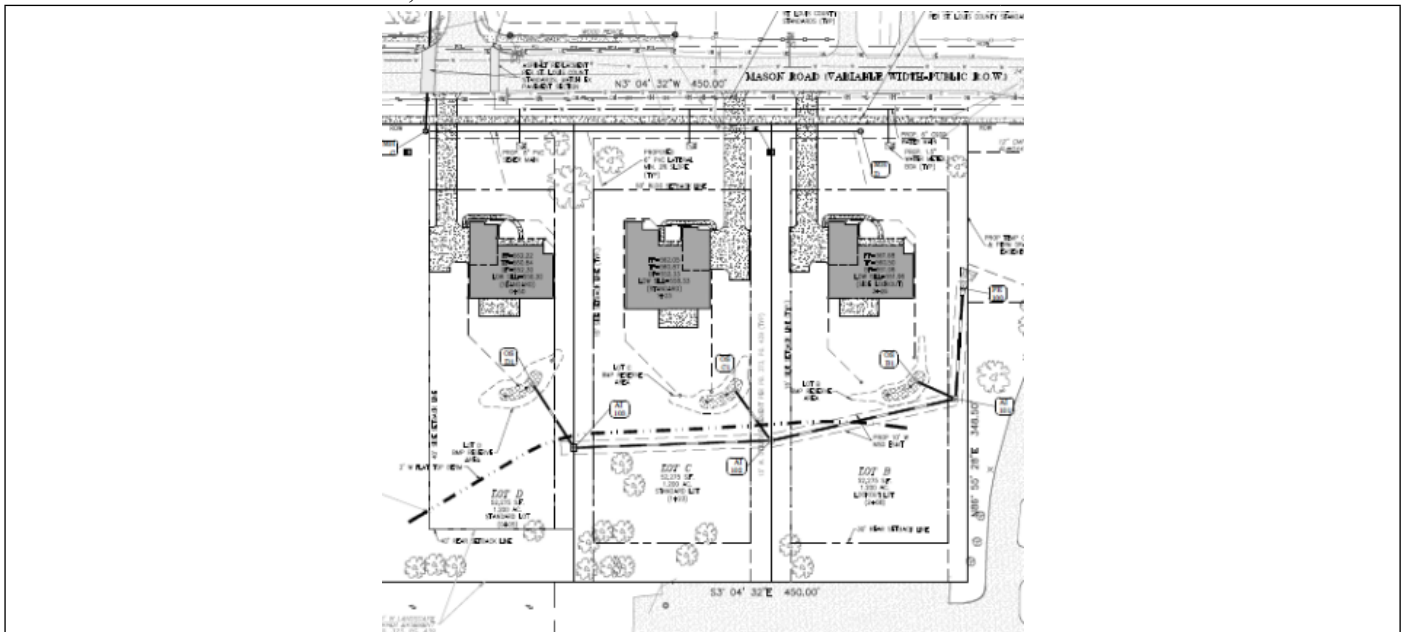
- Does the request further the goals and/or implement the Comprehensive Plan?
- Does the request follow the Subdivision Regulations?

#### Creve Coeur 2030 Comprehensive Plan References

- Civic (CV)

#### Zoning Code References

- Section 405.250: A-Single Family Residential District
- Chapter 410: Subdivision and Development of Land



REPORT PREPARED BY: BETHANY L. MOORE, AICP, CITY PLANNER

DATE: June 10, 2026

ATTACHMENTS: Revised Improvement Plans submitted on June 5, 2026

**PROJECT BACKGROUND**

The applicant is seeking subdivision improvement plan approval for a 3-lot subdivision, known as BaCon Estates, on the previously unsubdivided 3.6-acre tract of land in the “A” single-family residential zoning district. The lot was previously owned by the B’nai Amoona Congregation to the north of the subject property, who received preliminary and final plat approval in 2024 for the creation of the 3 new lots. The lot also abuts the Holy Mountain Assembly of God church to the south. The 3-lot subdivision does not include any internal roads or shared common ground. Each lot will be entered directly from S. Mason Road.

Typically, the subdivision improvement plans are reviewed between or in tandem with either the preliminary subdivision plat or the final subdivision plat. In this case, both the preliminary subdivision plat and the final subdivision plat were reviewed and approved by the Planning and Zoning Commission prior to the subdivision improvement plans in order to facilitate the sale of the lots to a developer. The final subdivision plat included a condition of approval that building permits and final occupancy permits would not be approved until the subdivision improvement plans were approved. The applicant is seeking subdivision improvement plan approval in order to apply for building permits to construct single family houses on each of the three new lots. Per Section 410.130.C. of the Subdivision and Development of Land code, Planning and Zoning Commission review and approval is required for subdivision improvement plans. City Council action is not required.

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	B’nai Amoona Congregation	A-Single Family Residential	N/A
South	Holy Mountain Assembly of God	A-Single Family Residential	NA
East	B’nai Amoona Congregation/ Holy Mountain Assembly of God	A-Single Family Residential	N/A
West	Single Family Residences	City of Town and Country	N/A

**ANALYSIS**

*Subdivision Improvements*

As shown on the preliminary plat, this is a request is to construct site improvements on a 3-lot subdivision on an existing 3.6-acre tract of land between two existing religious organizations within the “A” Single-Family zoning district. Both B’nai Amoona Congregation and Holy Mountain Assembly of God are conditional uses in the “A” zoning district. Under Section 405.250(E)(4)(f), Lot D is subject to a 40-foot buffer yard along the eastern and southern lot lines due to its location abutting Holy Mountain Assembly of God, 12931 Conway Road, which is a conditional use in the “A” zoning district. Lots B and C are not subject to this buffer yard as Congregation Bnai Amoona is creating the lots within the existing boundaries of the property. The buffer yard shall not contain any impervious surface and shall be landscaped and screened as deemed appropriate by the Planning and Zoning Commission. The submitted improvement plans reflect this requirement. The development has no common ground or shared access road, and each lot will be accessed directly from S. Mason Road. Sidewalks will be provided according to St. Louis County standards as S. Mason Road is maintained as a St. Louis County asset and is not a Creve Coeur city street. The applicant has received a special use permit from St. Louis County in order to conduct the work according to the proposed plans. The stormwater for each lot will be collected via BMP reserve areas on each individual lot for water quality purposes before being piped north offsite to the existing detention basin on the adjacent lot owned by B’nai Amoona. As part of the preliminary and final plat process, an easement was placed on the B’nai Amoona property addressed as 324 S. Mason Road in

order to facilitate such stormwater management measures. The sanitary sewers will be connected to the closest existing connection point, which is located across S. Mason Road in the Conway Estates subdivision in Town and Country. Per Staff request, the applicant has reached out to the City of Town and Country for their review of the proposed sanitary sewer extension. Any permits required by the City of Town and Country will need to be obtained separately by the developer.



Figure 1. Subdivision Improvement Plans.

### Sidewalks

The applicant has provided a 5-foot-wide detached sidewalk along S. Mason Road to connect the three new lots to the existing sidewalk segment along the frontage of the adjacent B’nai Amoona property to the north. The segment will end at the Lot D property line. The sidewalks are within St. Louis County right-of-way.. The plans note that the sidewalks will be built to St. Louis County standards.

### Subdivision Layout

Section 410.220 provides direction regarding lot layout where the lots must be in accordance with the provisions of the zoning district in which the property is located, with the individual lots having a width and depth adequate to provide the necessary front, side and rear yard requirements of the Creve Coeur Zoning Ordinance. The proposed lots comply with the minimum district requirements for the A Single-Family Residential District. Lot D includes the required 40-foot buffer yard for single-family uses adjacent to conditional uses and the landscaping plan shows that this buffer will be landscaped. Staff has reviewed the Subdivision Improvement drawings and find that they are in conformance with the

preliminary and final plats, including the tree preservation requirements with minor changes made to account for the location of the proposed houses on the lots, and they contain adequate and appropriate provisions for stormwater management. All staff comments have been addressed and reflected on the plans.

### Stormwater Management

The City's Stormwater Ordinance provided in Chapter 425 of city code, requires stormwater to be detained on site based upon the amount of additional runoff generated by the development per the MSD design storm event on a per lot basis and that no additional runoff is sent to adjacent properties based on the proposed improvements. The calculations for stormwater management show no increase in stormwater runoff for the designed storm event as compared to pre-development conditions. Department of Public Works staff have reviewed the stormwater management plan and concur with its findings that the proposed plan is likely to comply with the City's Stormwater Requirements. The B'nai Amoona property to the north includes an easement to allow the stormwater from these three lots to be piped to the existing detention basin on site.

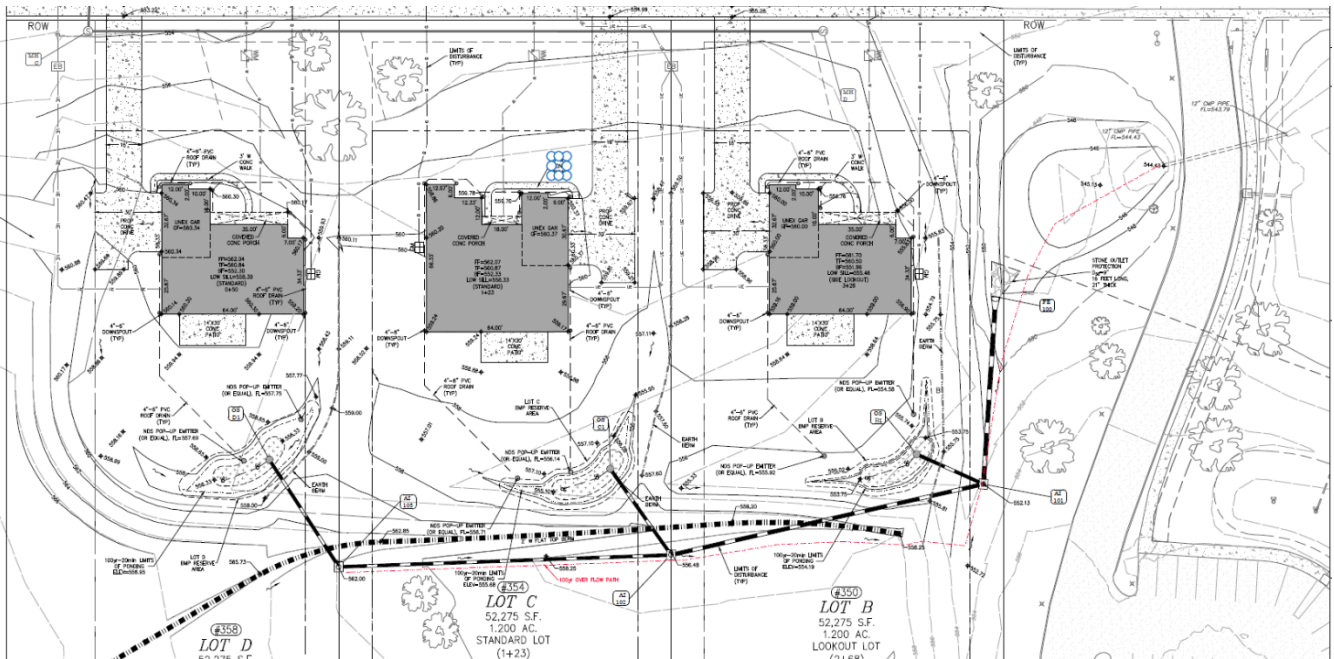


Figure 2. Proposed BMPs on each lot shown piped to existing detention basin within easement on B'nai Amoona property.

### Street Tree and Buffer Yard Landscape Plan

A landscape plan providing the proposed street trees and landscaping is required as part of the subdivision improvement plan submission. Section 410.300 requires street trees to be provided at a ratio of 1 per 30 feet of street frontage. The length of the proposed street frontage is roughly 450 feet and would require approximately 15 street trees. The applicant has provided street trees based on this calculation. The street trees will be located on the lots instead of in the right-of-way in order to comply with the requirements for St. Louis County sidewalk placement.

The landscape plan provides the proposed landscaping for the required 40-foot buffer yard adjacent to Holy Mountain Assembly of God property to the south. Per Section 405.250(E)(4)(f), Lot D is subject to a 40-foot buffer yard along the abutting property lines that shall not contain any impervious surface and shall be landscaped and provided with other screening devices as deemed appropriate by the Planning and Zoning Commission. Per Staff request, the applicant has provided a variety of landscape screening including a mix of eastern redbud and blue spruce trees with lead plant and little bluestem shrubs.

The tree preservation plan is substantially similar to the tree preservation plan approved in 2024 with exceptions for the removal of 3 additional trees to accommodate for the proposed new houses. The plan shows that 6 new trees will be planted to accommodate for the additional removal. According to the plan, of the 23 existing trees in fair or better conditions, 3 are being removed meaning a total of 13% is being removed. Section 410.320 *Tree Conservation* allows for up to 50% of existing trees in fair or better condition to be removed without replacement. Any additional removal before the 50% requires replacement on a 1 to 1 basis or a 2 to 1 basis for trees over 20 inches DBH. Staff has determined that the applicant has met this requirement.

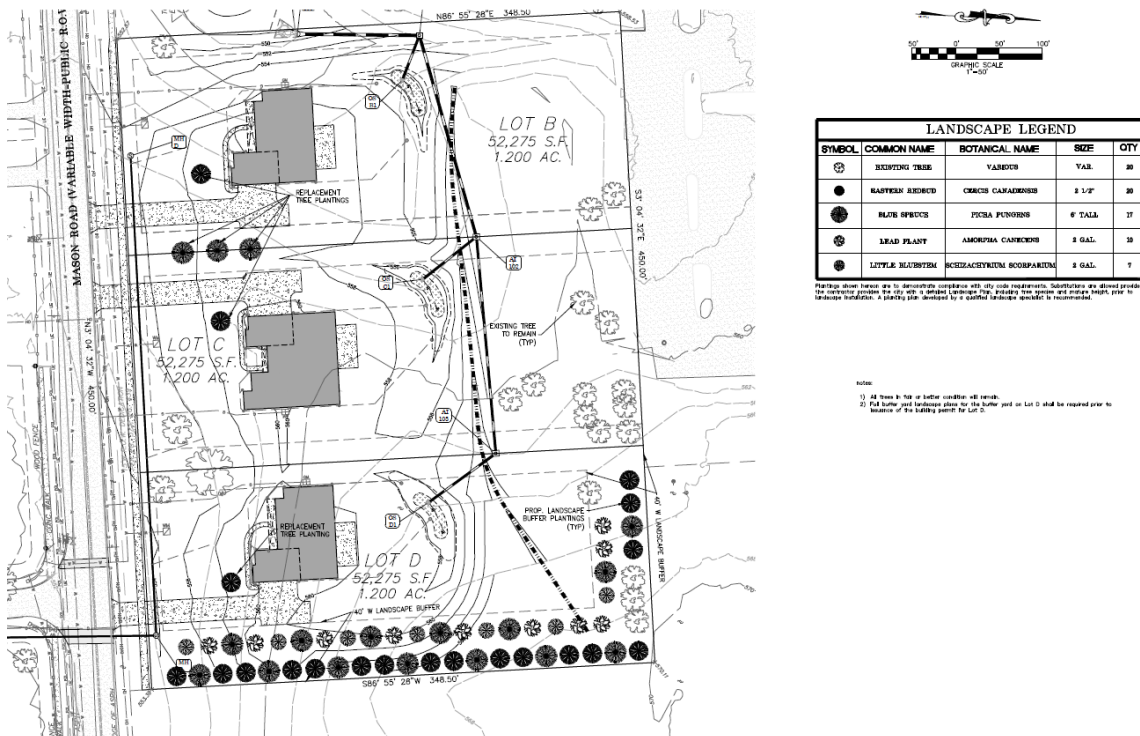


Figure 3. Applicant's submitted landscape plan showing landscaped buffer and replacement trees.

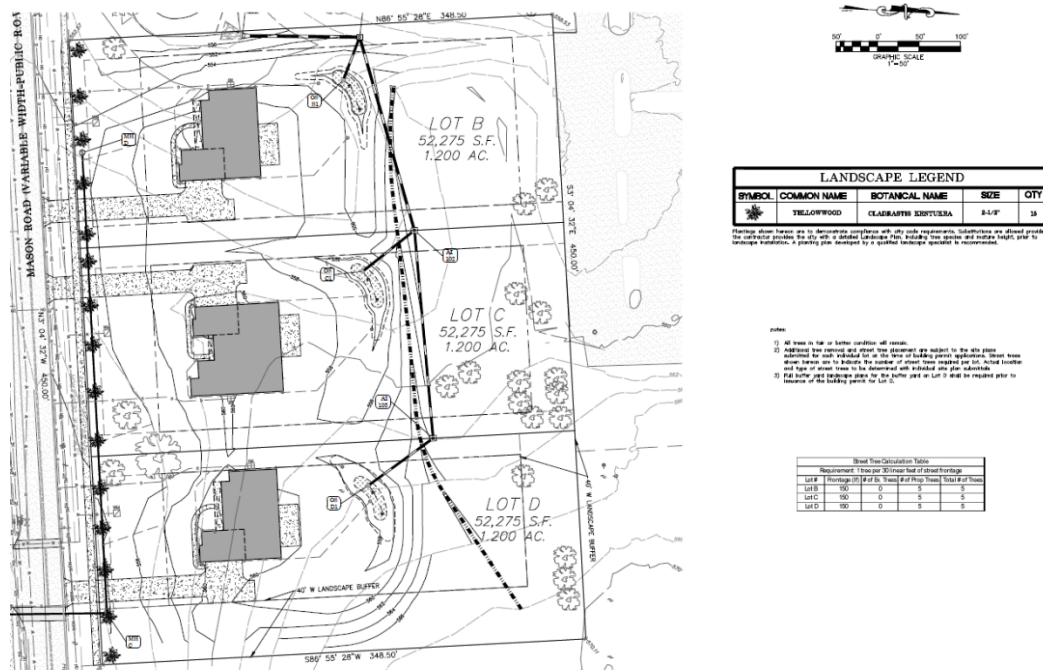


Figure 4. Applicant's submitted landscape plan showing new street trees.

## CONCLUSION AND ACTION

### *Subdivision Improvement Plan*

After approval of the subdivision improvement plans, the applicant will apply for building permits for each of the new homes and site improvement permits to construct the single-family houses, sanitary sewer connections, and BMPs required for each lot. The final plat review by the Planning and Zoning Commission and final approval from City Council was previously granted in 2024 and this application does not require City Council approval. After approval by the City, the final plat was recorded at the County to create the legal lots for the applicant to purchase and subsequently apply for permits to construct the houses with the condition that the subdivision improvement plans be approved by the Planning and Zoning Commission prior to issuance of any building or final occupancy permits.

Review and approval of the subdivision improvement drawings is within the purview of the Planning and Zoning Commission and must be complete to the Commission's satisfaction prior to the issuance of a subdivision improvement permit by City Staff. If the Commission is satisfied that the drawings are suitable for approval, staff recommends the following conditions be placed on the approval of this request:

1. The Residential Development Permit for each new home shall be in substantial compliance with the improvement plans dated June 4, 2026 by THD Design Group, Inc., and with the tree conservation plan with an amendment date of June 4, 2026 and landscape plan with an amendment date of June 4, 2026.
2. Any additional tree removal shall be approved by the Zoning Administrator and replaced as required by Section 410.310 of the Subdivision Ordinance.
3. Required approvals by other authorities having jurisdiction shall be provided to the City prior to the issuance of the subdivision improvement permit.

Assuming agreement with the Staff Report and the above conditions, the following is an example motion for this item:

“I move to approve the subdivision improvement plans for the three-lot subdivision at 350 South Mason Road as shown in the “BaCon Estates Subdivision” drawings prepared by THD Design Group, Inc, and an amendment date of June 4, 2026 by Robert S. Tierman with the conditions recommended by staff as provided in the staff report for the meeting of June 15, 2026” (Other conditions may be added, eliminated, altered, and modified by prior motion).

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### **APPENDIX 1: COMPREHENSIVE PLAN**

Included and attached by reference. See body of report for specific excerpts.

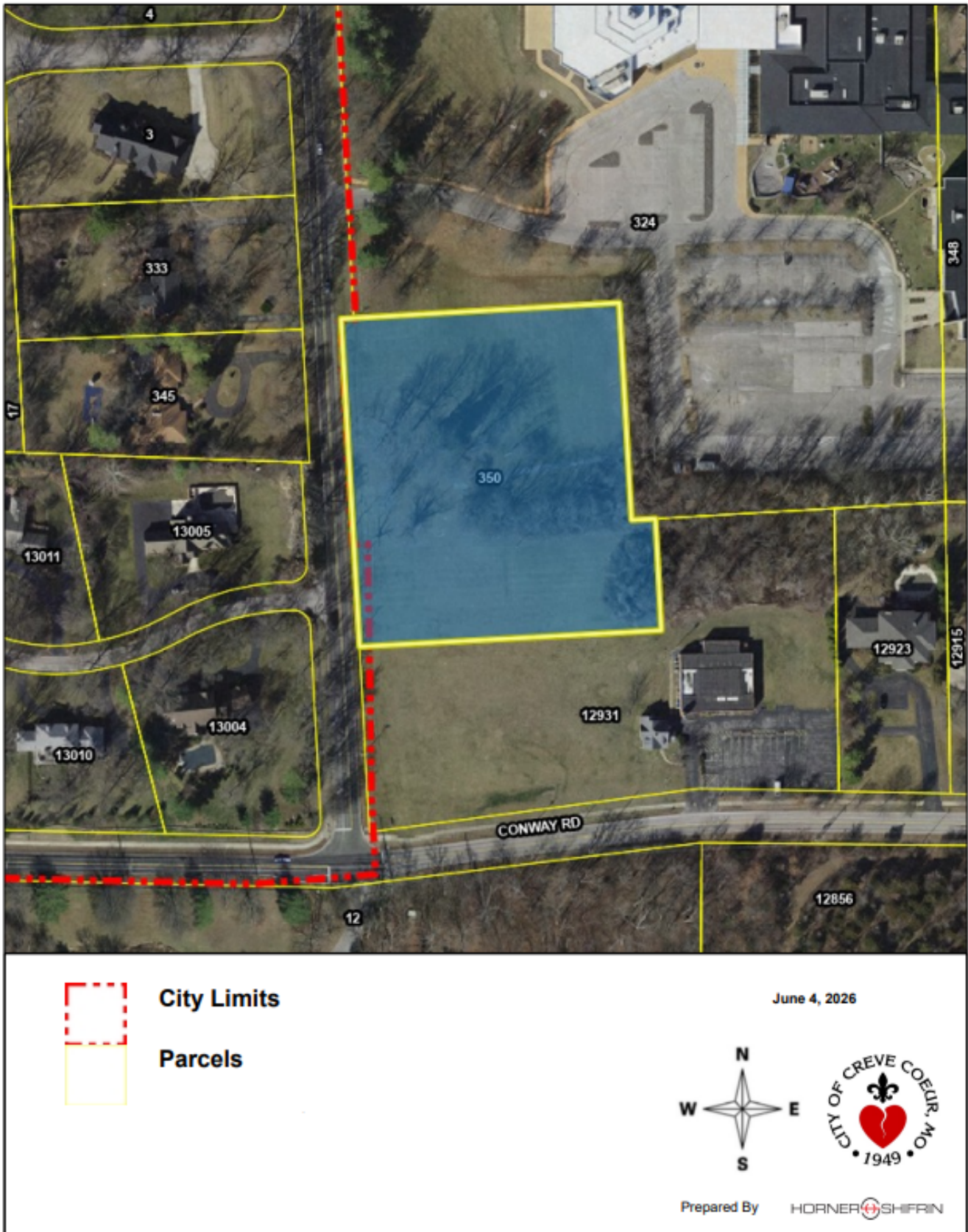
### **APPENDIX 2: ZONING CODE (CHAPTER 405 OF THE CREVE COEUR MUNICIPAL CODE)**

Included and attached by reference. See body of report for specific excerpts.

### **APPENDIX 3: CREVE COEUR SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (CHAPTER 410 OF THE CREVE COEUR MUNICIPAL CODE)**

Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 4: AERIAL MAP**



**APPENDIX 4: SITE PHOTOGRAPHS**



Description:  
Google Street  
view image of  
existing  
conditions.



Description:  
Google Street  
view image  
from S. Mason  
Road of existing  
site conditions.

A SET OF IMPROVEMENT PLANS FOR  
**BaCon Estates**  
 TWO TRACTS OF LAND LOCATED IN  
 SECTION 8, TOWNSHIP 45 NORTH, RANGE 5 EAST,  
 AND AS RECORDED IN D.B. 6503, PG. 755,  
 & D.B. 8026, PG. 1894,  
 CITY OF CREVE COEUR,  
 ST. LOUIS COUNTY, MISSOURI

**DEVELOPMENT NOTES:**

- Site Address: 350, 354, & 358 South Mason Road  
St. Louis, MO 63141  
Loc.# 18P210287
- Owner Information: Lombardo Homes of St. Louis,  
a Michigan Limited Liability Company  
4 Research Park, Suite 130  
St. Charles, MO 63304  
Doc.#2026040400635
- Developer: Lombardo Homes of St. Louis,  
a Michigan Limited Liability Company  
4 Research Park, Suite 130  
St. Charles, MO 63304  
Attn: Ryan Holmes, 816-805-4634
- Area of Tract: 156,825 sq. ft. or 3.60 acres, more or less.
- Present Zoning: "A" Residential District (City of Creve Coeur)  
"A" Residential District Dimensional Requirements  

Front Yard Setback:	50 Feet
Side Yard Setback:	15 Feet
Rear Yard Setback:	30 Feet
Minimum Site Area:	1.0 Acre
Minimum Lot Width:	150 Feet
Maximum Lot Coverage:	25%
Maximum Building Height:	2.5 Stories, or 35 Feet
Minimum Building Footprint:	1,800 Square Feet
Floor Area Ratio:	0.30
- Utility Provider Districts:

Water:	Missouri American Water	Service	Yes
Sewer:	MSD	Service	Yes
Telephone:	AT&T	Service	Yes
Gas:	Spire Energy	Service	Yes
Electric:	Ameren UE	Service	Yes
Fire District:	Creve Coeur		
School District:	Parkway		
- As determined through graphic plotting only and according to the FIRM Flood Insurance Rate Map numbered 29189C0188K, dated February 4, 2015 for St. Louis County, Missouri, this development is located in Zone X Unshaded, areas determined to be outside the 0.2% chance annual floodplain.
- A title commitment or policy has not been provided to the surveyor by the client for the preparation of this document.
- This is not a boundary survey. Property information shown hereon is per the BaCon Estates record plat, a subdivision recorded in Plat Book 373, at Page 439, of the St. Louis County, Missouri Records.
- Property has access to South Mason Road, a publicly dedicated street. The property has full access on the frontage of said street to enter and exit by vehicle at the locations as shown.
- The proposed sidewalks shall be constructed to St. Louis County ADA Requirements.
- The 40 foot wide landscape buffer as shown along the south and west lines of proposed lot "D" of the subdivision is for landscaping purposes under City of Creve Coeur Section 405.250 (E)(4)(f). This area shall be improved under a landscape plan and this area is restricted from building and impervious surfaces.
- The location of the 24" water line along South Mason Road has been shown per field locate markings collected at the time of the survey and utility size and material type were taken from the Missouri American Water Company Facilities Map 18P.
- Reference to Metropolitan St. Louis Sewer District (MSD) structures has been taken from base map 18P.
- Sewer and water utility lines will be provided by available public utility.
- Elevations referenced on drawing are based upon NAVD'88 Datum, in feet.

**PROJECT BENCHMARK:**

This project was performed with the use of Global Positioning System (GPS) equipment and the use of a Continuous Operating Reference Station (CORS) as part of the Missouri Department of Transportation (MoDOT) Virtual Reference System (VRS) Network. Data was obtained with the use of a Trimble R10 GPS Receiver and a TSC7 Data Collector.  
 Horizontal Datum is Grid North, Missouri State Plane Coordinate System NAD'83 (2401), East Zone  
 Vertical Datum is NAVD'88. Horizontal and Vertical data observation tolerance is 0.10 feet.

**ABBREVIATIONS**

AC	ACRE	XSEC	CROSS SECTION	DAI	DOUBLE AREA INLET	GI	GRATE INLET	PVMT	PAVEMENT	TBP	TO BE PROTECTED
AI	AREA INLET	DS	DOWNSPOUT	DS	DOWNSPOUT	HDPHIGH	DENSITY POLYETHYLENE	PDE	PERMANENT DRAINAGE	TBR	TO BE REMOVED
ATG	ADJUST TO GRADE	XING	CROSSING	ESMT	EASEMENT	HW	HIGH WATER	TBR&R	TO BE REMOVED & RELOCATED		
APPROX	APPROXIMATELY	CFS	CUBIC FEET PER SECOND	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	TBR&R	TO BE REMOVED & REPLACED		
ASPH	ASPHALT	CI	CURB INLET	EP	END OF PIPE	HYD	HYDRANT	TW	TOP OF WALL ELEVATION		
BW	BASE OF WALL ELEVATION	CO	CLEANOUT	EX	EXISTING	IMP	IMPROVEMENT	TYP	TYPICAL		
BM	BENCHMARK	C&G	CURB & GUTTER	FPS	FEET PER SECOND	IP	IRON PIPE OR PIN	UIP	USE IN PLACE		
BMP	BEST MANAGEMENT PRACTICE	CO	CLEANOUT	FF	FINISH FLOOR	IP	IRON PIPE OR PIN	VCP	VITRIFIED CLAY PIPE		
BLDG	BUILDING	CMP	CORRUGATED METAL PIPE	FH	FIRE HYDRANT	LS	LAND SURVEYOR	RCP	REINFORCED CONCRETE PIPE		
CATV	CABLE TELEVISION	CONC	CONCRETE	FE	FLARED END	MH	MANHOLE	ROW	RIGHT-OF-WAY		
CALC	CALCULATED	DCI	DOUBLE CURB INLET	FBD	FLAT BOTTOM DITCH	MSD	METROPOLITAN ST. LOUIS SEWER DISTRICT	SCH	SCHEDULE		
CIP	CAST IRON PIPE	DIP	DUCTILE IRON PIPE	FD	FLOOR DRAIN	NTS	NOT TO SCALE	SWPPP	STORMWATER POLLUTION PREVENTION PLAN		
CL	CENTERLINE	DIA	DIAMETER	FL	FLOW LINE	OC	ON CENTER	TBA	TO BE ABANDONED		
CP	CLAY PIPE	Q	DISCHARGE	FTG	FOOTING	OH	OVERHEAD				

**SHEET INDEX**

- TITLE SHEET
- CONSTRUCTION NOTES
- EXISTING CONDITIONS & DEMOLITION PLAN
- FLAT PLAN - 40 SCALE
- FLAT PLAN - 20 SCALE
- INTERIM GRADING PLAN
- FINISH GRADING PLAN
- SANITARY SEWER PROFILES
- STORM SEWER PROFILES
- BMP PLAN - LOT B
- BMP PLAN - LOT C
- BMP PLAN - LOT D
- BMP PLANTING PLAN
- BMP DRAINAGE AREA MAP
- EXISTING DRAINAGE AREA MAP
- PROPOSED DRAINAGE AREA MAP
- STORMWATER POLLUTION PREVENTION PLAN
- SWPPP DETAILS
- SWPPP DETAILS
- SWPPP DETAILS
- SWPPP DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- TREE STUDY REPORT
- TREE STUDY CENSUS
- LANDSCAPE PLAN - STREET PLANTINGS
- LANDSCAPE PLAN - BUFFER PLANTINGS
- M.U.T.C.D. PLAN
- M.U.T.C.D. DETAILS

**METROPOLITAN ST. LOUIS SEWER DISTRICT NOTES:**

**STANDARD CONSTRUCTION 2023 VERSION:**

All storm and sanitary sewer structures and appurtenances to be dedicated to MSD, or to be Private under MSD inspection, shall conform to the Metropolitan St. Louis Sewer District Standard Construction Specifications for Sewers and Drainage Facilities, 2023. That will include Standard Details shown therein, all subsequent changes made thereto, and shall also include the following:

**PART 2 - MATERIALS OF CONSTRUCTION**

**Section G Pipe.**

- Corrugated Polypropylene Pipe.

- Pipe for gravity sewer installations shall be installed in accordance with ASTM D2321. Consolidation by water (jetting or puddling) shall not be used. Consolidation shall be in accordance with MSD Standard Construction Specifications for trench backfill. Price for compacted backfill shall be included in pipe unit cost. For use in sanitary and combined sewer installations, a representative from the pipe manufacturer shall visit the site within the first 100 feet of pipe installation. Coordination of the site visit shall be arranged by the Contractor. The Contractor shall provide the MSD Inspector at least 24 hours' notice of the planned date and time of the manufacturer's site visit.

Following the site visit, the Contractor shall be required to provide a letter from the piping manufacturer summarizing their observations. At a minimum, the letter shall: indicate the date the initial section of pipe was installed; and verify that the installation occurred in accordance with manufacturer's recommended procedures.

- Trench width shall be in accordance with manufacturer's installation recommendations. District standard pipeline widths based on the nominal pipe diameter shall apply.

If Reinforced Concrete Pipe is used for sanitary or combined sewers larger than 27" all pipe AND joints shall conform to ASTM C 361. In addition, if the diameter is larger than 48" the joint type must include a gasket that is confined in a groove in the spigot of the pipe.

For sewer pipe (storm, sanitary and combined) with a design grade less than one percent (1%), verification of the pipe grade will be required for each installed reach of sewer, prior to any surface restoration or installation of any surface improvements. The contractor's field supervisor will be required to provide daily documentation verifying that the as-built pipe grade meets the design grade through the submittal of signed cut sheets to the District Inspector upon request.

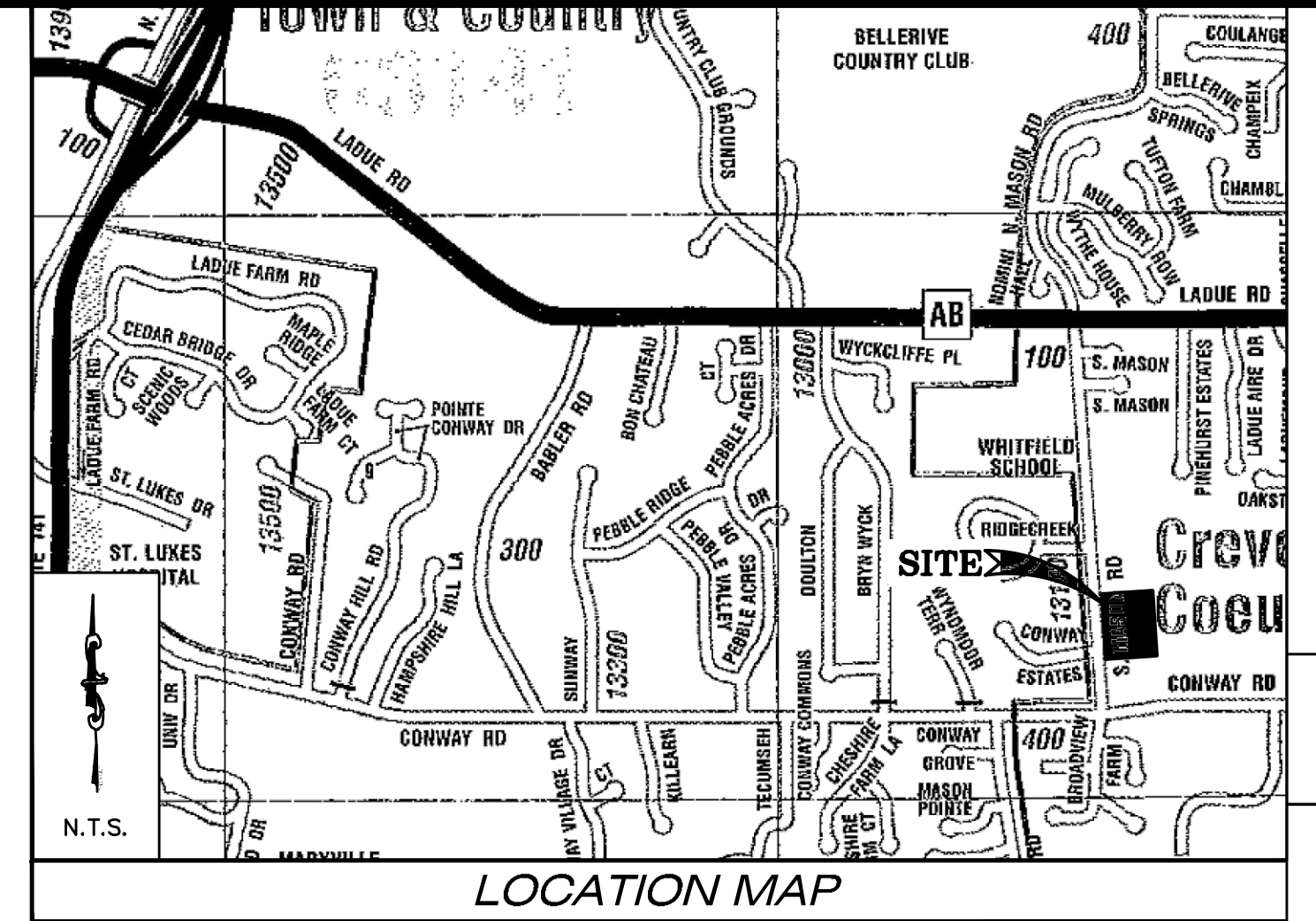
The contractor will be required to remove and replace any sewer reach having an as-built grade flatter than the design grade by more than 0.1%. Sewers with grade greater than the design grade may be left in place provided no other sewer grade is reduced by this variance in the as-built grade.

MSD also reserves the right to require the contractor to remove and replace (at any time prior to construction approval) for which the as-built grade does not comply with the grade tolerance stated in the above paragraphs.

Field surveyed verification must be made under the direction of a licensed land surveyor or registered engineer. The sewer contractor shall be responsible for any cost associated with the field verification of the sewer grade, or removal and replacement of the sewer pipe or associated appurtenances.

**LAND DISTURBANCE STATEMENT**

The developer is aware that any land clearing, construction or development involving the movement of earth shall be in accordance with the Storm Water Pollution Prevention Plan and the applicant will assume and acknowledge responsibility for compliance with this Code and the Storm Water Pollution Prevention Plan.



**GENERAL UTILITY NOTES:**

- UTILITY DATA SOURCES: UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, SURVEYED SURFACE INDICATORS, AND/OR MARKINGS PROVIDED BY MISSOURI ONE CALL (811) AT THE TIME OF SURVEY. THD DESIGN GROUP DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN.
- LOCATIONS ARE APPROXIMATE: THE LOCATIONS, SIZES, AND DEPTHS OF ALL EXISTING UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY. THE ABSENCE OF A UTILITY ON THE PLANS DOES NOT CONSTITUTE A WARRANTY THAT NO UTILITY EXISTS WITHIN THE PROJECT LIMITS.
- CONTRACTOR RESPONSIBILITY & VERIFICATION: IN ACCORDANCE WITH MISSOURI REVISED STATUTES CHAPTER 319, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REQUESTING UTILITY LOCATES THROUGH MISSOURI ONE CALL (1-800-DIG-RITE) AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
- FIELD EXPLORATION (POTHOLING): THE CONTRACTOR SHALL PHYSICALLY VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES BY NON-DESTRUCTIVE METHODS (E.G., HAND DIGGING OR VACUUM EXCAVATION) PRIOR TO THE COMMENCEMENT OF ANY GRADING, TRENCHING, OR CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD FINDINGS AND THESE PLANS MUST BE REPORTED TO THD DESIGN GROUP, INC. AND THE UTILITY OWNER IMMEDIATELY AND BEFORE WORK PROCEEDS IN THE AFFECTED AREA.
- LIABILITY: FAILURE BY THE CONTRACTOR TO VERIFY UTILITY LOCATIONS SHALL BE AT THEIR OWN RISK. THD DESIGN GROUP ASSUMES NO LIABILITY FOR DAMAGES OR DELAYS RESULTING FROM UTILITY DISCREPANCIES OR INTERFERENCE NOT PREVIOUSLY VERIFIED IN THE FIELD BY THE CONTRACTOR.



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

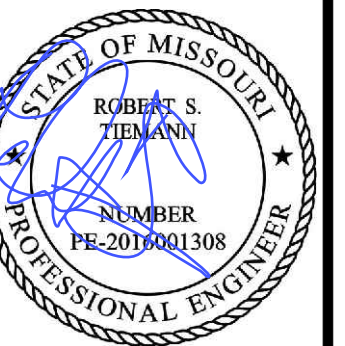
**SYMBOL LEGEND**

EXISTING	PROPOSED	EXISTING	PROPOSED
X	+	TV	CABLE TV BOX
○	●	○	LIGHT STANDARD
○	○	○	CLEAN OUT
⊕	⊕	⊕	SANITARY MANHOLE
X 500	⊕ 500	○	SAMPLING TEE
TS	TS	⊕	SEPTIC TANK ACCESS
□	○	⊕	STORM SEWER MANHOLE
⊕	⊕	⊕	GRATE INLET
○	○	⊕	AREA INLET
⊕	⊕	⊕	DOWNSPOUT
+	+	—516—	DRAINAGE SWALE
○	○	—516—	SURFACE CONTOUR
○	○	—8" PVC—	TREE LINE
○	○	—12" CMP—	SAN. SEWER
⊕	⊕	—12" CMP—	STORM SEWER
⊕	⊕	—OH—	OVERHEAD ELECTRIC LINE
⊕	⊕	—UE—	ELECTRIC METER
⊕	⊕	—G—	UNDERGROUND ELECTRIC
⊕	⊕	—W—	GAS LINE
⊕	⊕	—T—	WATER LINE
⊕	⊕	—T—	TELEPHONE LINE
⊕	⊕	—FOL—	FIBER OPTIC LINE
⊕	⊕	—UTV—	CABLE TV
⊕	⊕	—G—	GUARDRAIL
⊕	⊕	—X—	WIRE FENCE
⊕	⊕	—X—	WROUGHT IRON FENCE
⊕	⊕	—X—	CHAIN LINK FENCE
⊕	⊕	MH A	SANITARY DESIGNATOR
⊕	⊕	CI 204	STORM DESIGNATOR
⊕	⊕	⊕	WELL
⊕	⊕	⊕	TEST HOLE

**26MSD-00179, MAP 18P4**

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 148 CHESTERFIELD INDUSTRIAL BLVD. STE. G, CHESTERFIELD, MO 63005  
 TEL: 636-294-2972  
 FAX: 636-294-3077  
 MISSOURI PROFESSIONAL ENGINEER  
 Corporate Certificate of Authority #2011004415

**BaCon Estates**  
**IMPROVEMENT PLANS**  
**TITLE SHEET**



Date: Jun 04, 2026  
 Robert Tiemann  
 License No. PE-2016001308  
 Civil Engineer

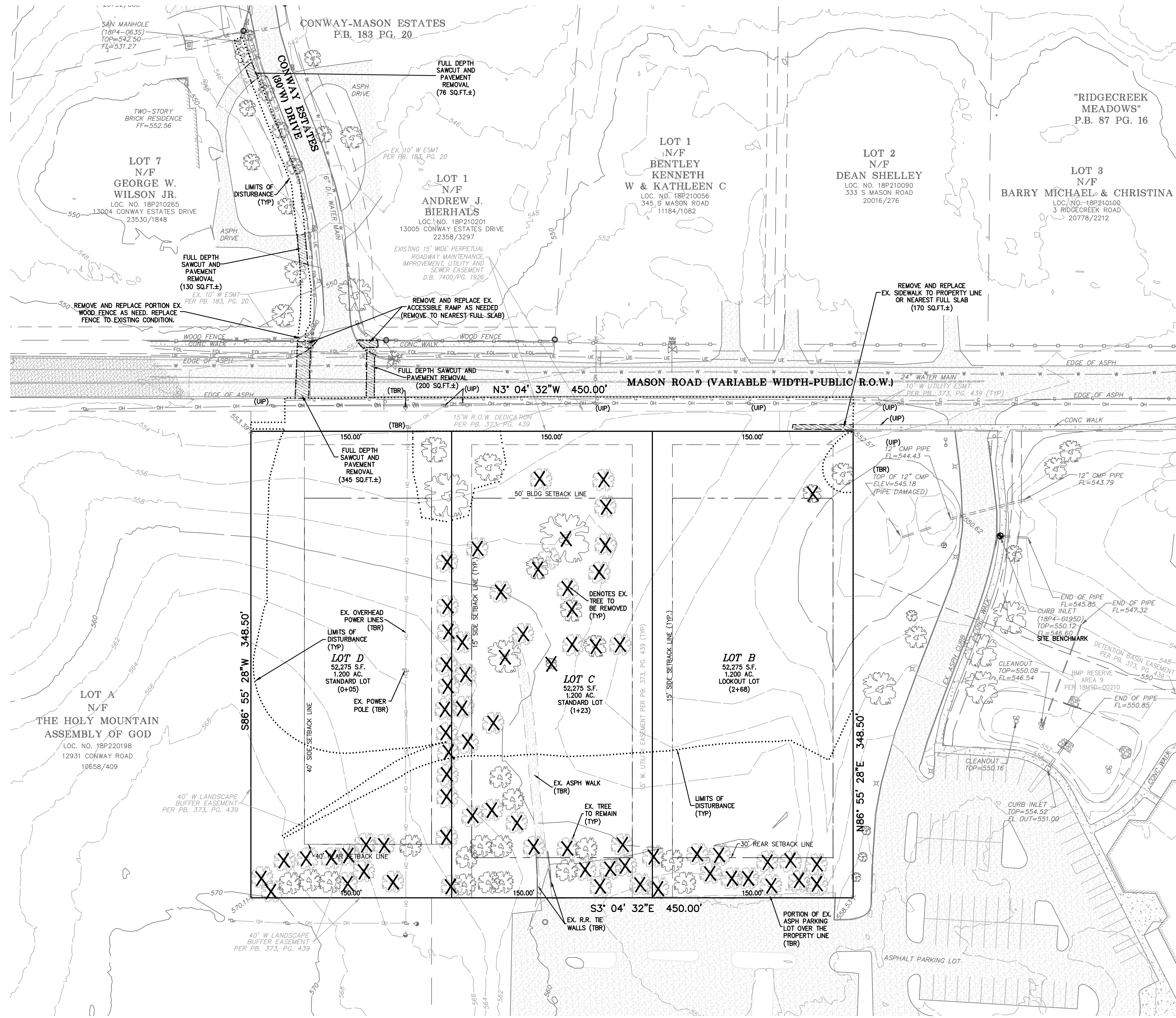
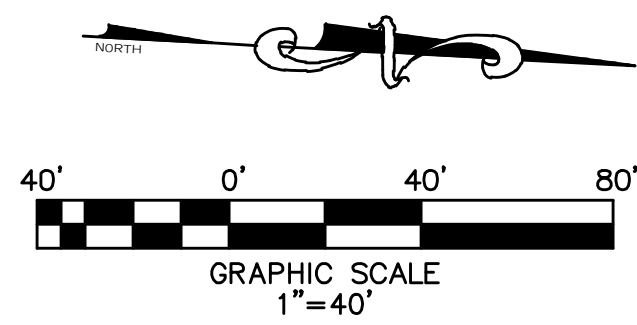
PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF

**1 OF 29**



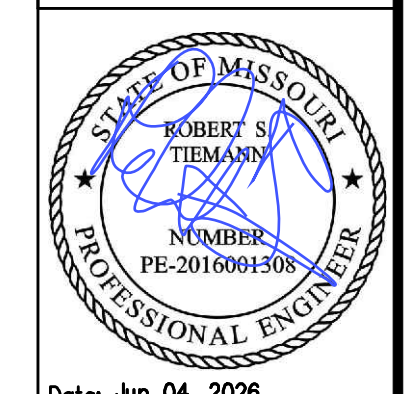


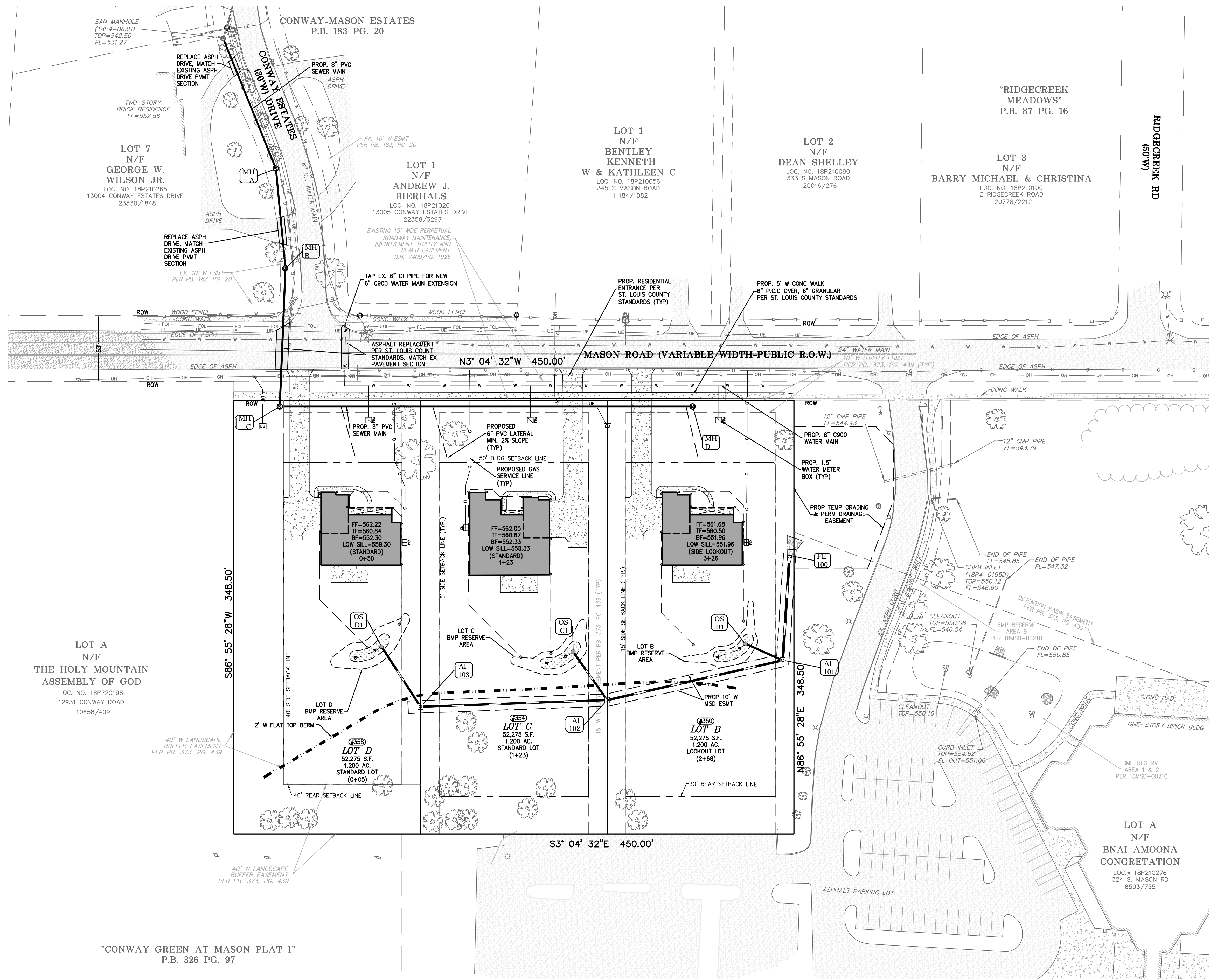
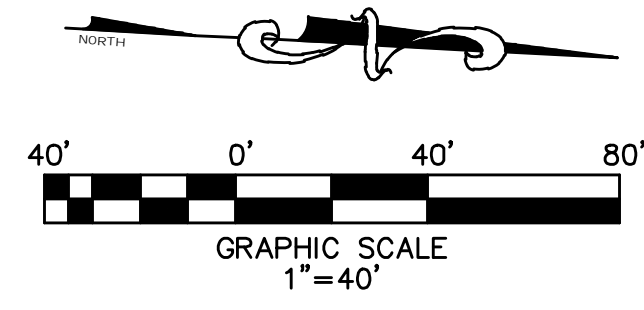

 Call BEFORE you DIG  
 TOLL FREE  
 1-800-344-7483  
 MISSOURI ONE-CALL SYSTEM, INC.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.  
**26MSD-00179, MAP 18P4**

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 Corporate Certificate of Authority #2011004415

**BaCon Estates**  
**IMPROVEMENT PLANS**  
 EXISTING CONDITIONS & DEMO PLAN

  
 Date: Jun 04, 2026  
 Robert Tiemann  
 License No. PE-2016001308  
 Civil Engineer  
 PROJECT NUMBER: 23-1573  
 DATE: 11-24-2023  
 DRAWN BY: BJF



- Notes:**
1. See sheet 6 for Interim Grading Plan.
  2. See sheets 7 for Finish Grading Plan.
  3. See sheets 10-12 for BMP plans.
  4. See sheets 13-17 for Stormwater Pollution & Prevention Plans.

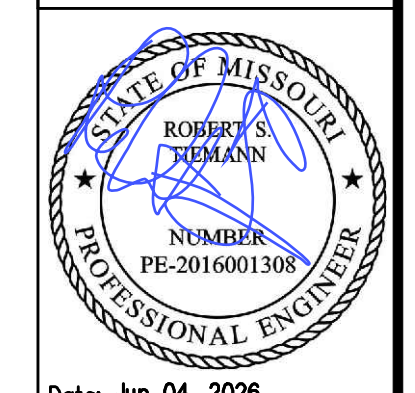
NOTE: ALL DRIVEWAY ENTRANCE APRONS WITHIN MASON ROAD RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF ST. LOUIS COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS FOR RESIDENTIAL ENTRANCES.

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"CONWAY GREEN AT MASON PLAT 1"  
P.B. 326 PG. 97

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WEB: THDDESIGN.COM  
Corporate Certificate of Authority #20110204415

**BaCon. Estates**  
**IMPROVEMENT PLANS**  
FLAT PLAN - 40 SCALE



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

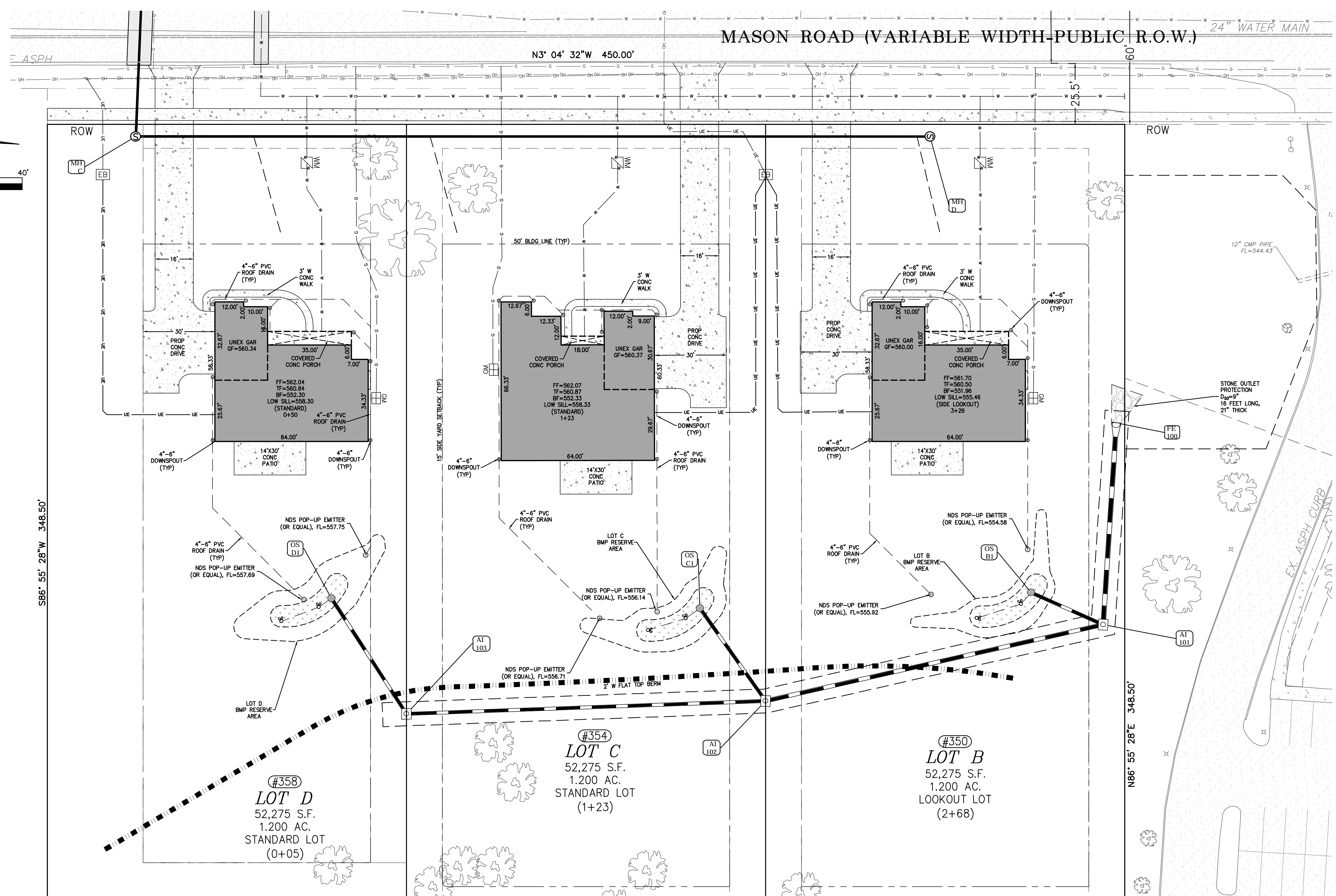
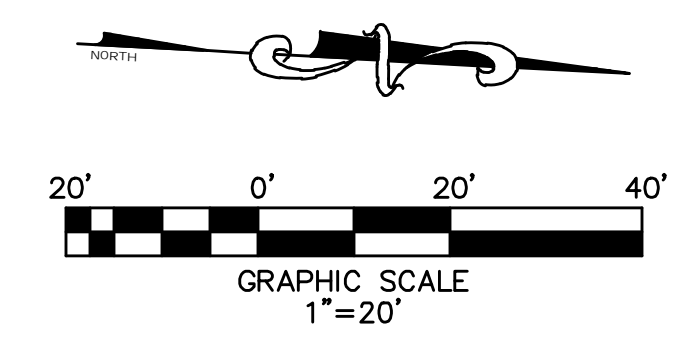
DATE: 11-24-2023

DRAWN BY: EJP

4 OF 29

26MSD-00179, MAP 18P4

MASON ROAD (VARIABLE WIDTH-PUBLIC R.O.W.)



#358  
**LOT D**  
52,275 S.F.  
1.200 AC.  
STANDARD LOT  
(0+05)

#354  
**LOT C**  
52,275 S.F.  
1.200 AC.  
STANDARD LOT  
(1+23)

#350  
**LOT B**  
52,275 S.F.  
1.200 AC.  
LOOKOUT LOT  
(2+68)

Lot Coverage Table					
Lot	Lot Area (SF)	Building (SF)	Pavement (SF)	Total (SF)	% of Lot Covered
B	52275	3,114	1,262	4,376	8.4%
C	52275	3,811	1,445	5,256	10.1%
D	52275	3,114	1,411	4,525	8.7%

- Note:**
- See sheet 6 for Interim Grading Plan.
  - See sheets 7 for Finish Grading Plan.
  - See sheets 10-12 for BMP plans.
  - See sheets 13-17 for Stormwater Pollution & Prevention Plans.

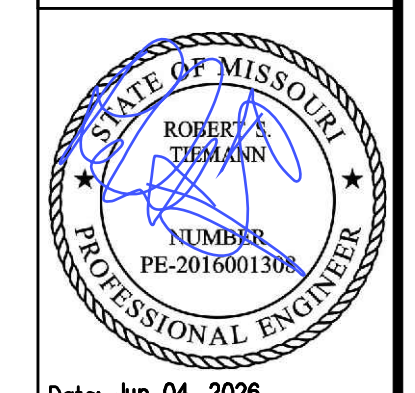
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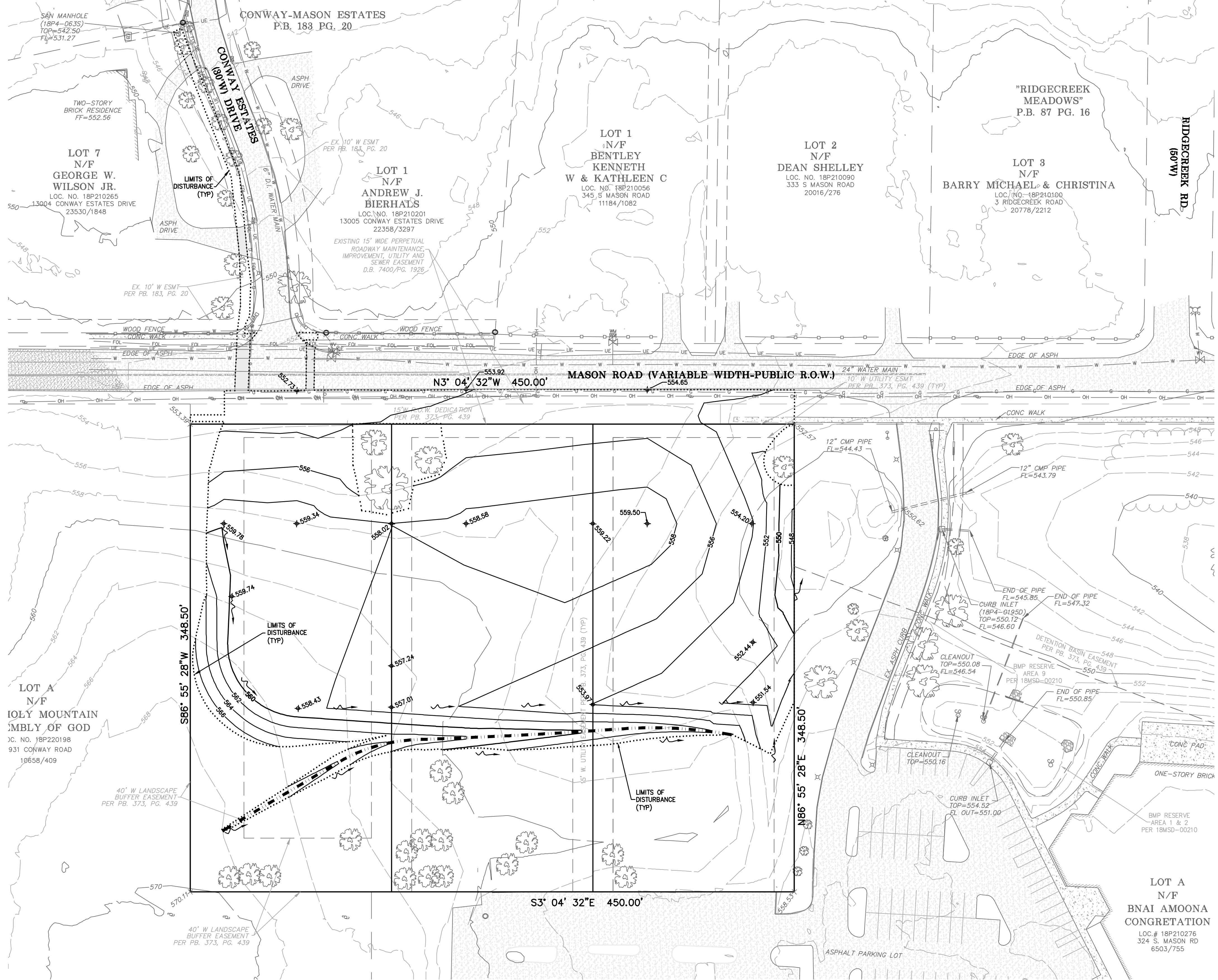
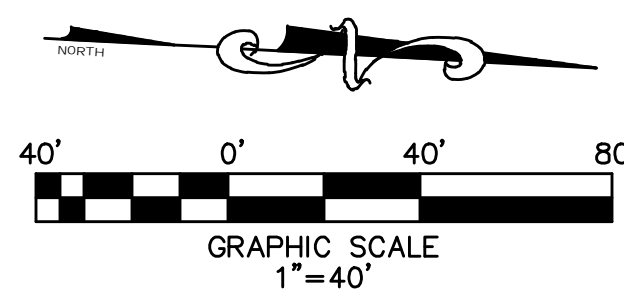
**BaCor. Estates**  
**IMPROVEMENT PLANS**  
FLAT PLAN - 20 SCALE



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer  
PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: EJP

5 OF 29

26MSD-00179, MAP 18P4



- Note:**
1. A separate MoDNR Land Disturbance Permit is required prior to commencement of any demolition, clearing, grading or construction activities.
  2. A Major Land Disturbance Permit from St. Louis County Department of Transportation & Public Works is required for this development.
  3. See sheets 7 for Finish Grading Plan.
  4. See sheets 10-12 for BMP plans.
  5. See sheets 13-17 for Stormwater Pollution & Prevention Plans.


**GRADING QUANTITIES:**  
 4,930 C.Y. CUT  
 3,410 C.Y. FILL (includes 15.0% shrinkage)  
 1,520 C.Y. CUT

The above yardage is an approximation only, NOT FOR BIDDING PURPOSES.  
 Contractors shall verify quantities prior to construction.

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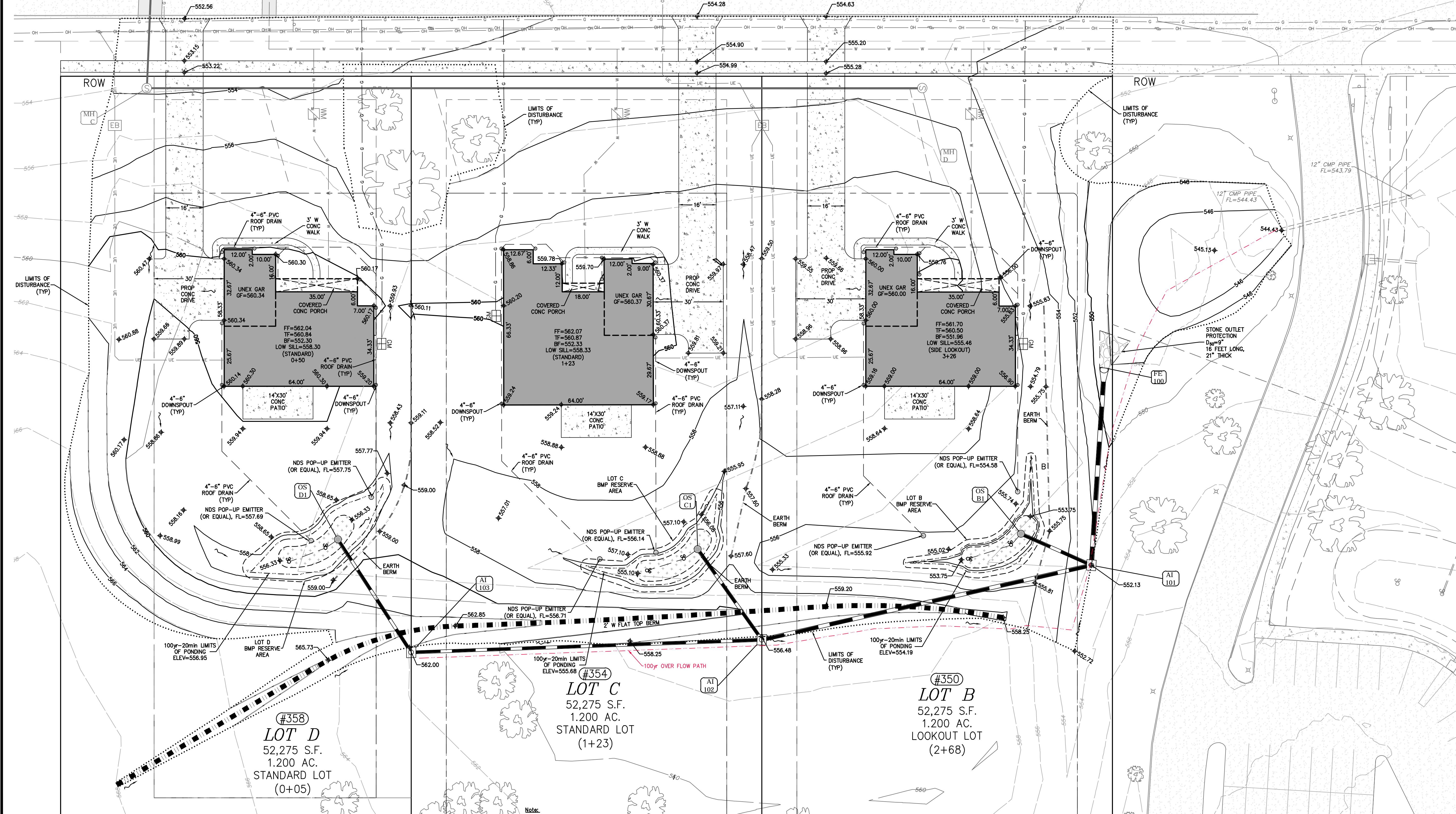
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26MSD-00179, MAP 18P4

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<p><b>BaCon Estates</b>  <b>IMPROVEMENT PLANS</b>          INTERIM GRADING PLAN</p>	
<p>          Date: Jun 04, 2026          Robert Tiemann          License No. PE-2016001308          Civil Engineer</p>	
<p>PROJECT NUMBER: 23-1573          DATE: 11-24-2023          DRAWN BY: EJP</p>	
<p>6 OF 29</p>	

MASON ROAD (VARIABLE WIDTH-PUBLIC R.O.W.)

24" WATER MAIN

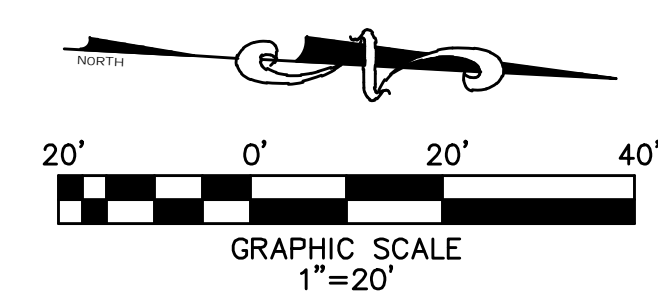


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MISSOURI ONE-CALL SYSTEM, INC.

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  3. See sheets 10-12 for BMP plans.
  4. See sheets 13-17 for Stormwater Pollution & Prevention Plans.
  5. The quantities shown here are to sub-grade elevation. Sub-grade elevation within the building footprints are calculated at 1 foot below the basement floor and garage floor elevation. Sub-grade elevations within the bioretention filter bed area are to bottom of bioretention cross section. Sub-grade elevations within pavement areas are calculated 1 foot below finish grade elevation.

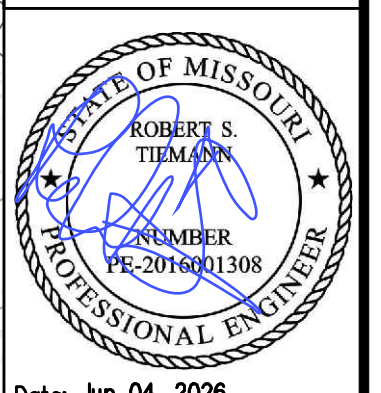
**GRADING QUANTITIES:**  
2,470 C.Y. CUT  
3,240 C.Y. FILL (includes 15.0% shrinkage)  
770 C.Y. FILL

The above yardage is an approximation only, NOT FOR BIDDING PURPOSES.  
Contractors shall verify quantities prior to construction.

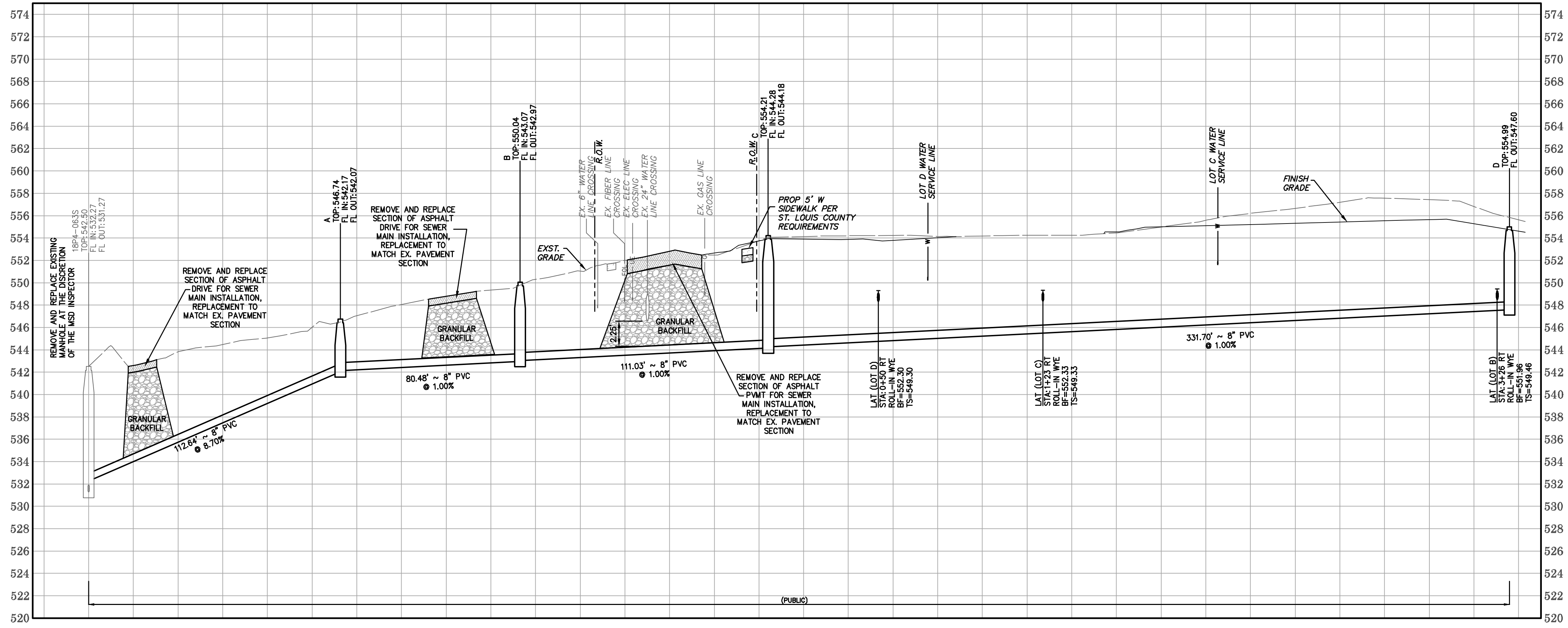


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**BaCon Estates**  
**IMPROVEMENT PLANS**  
FINISH GRADING PLAN

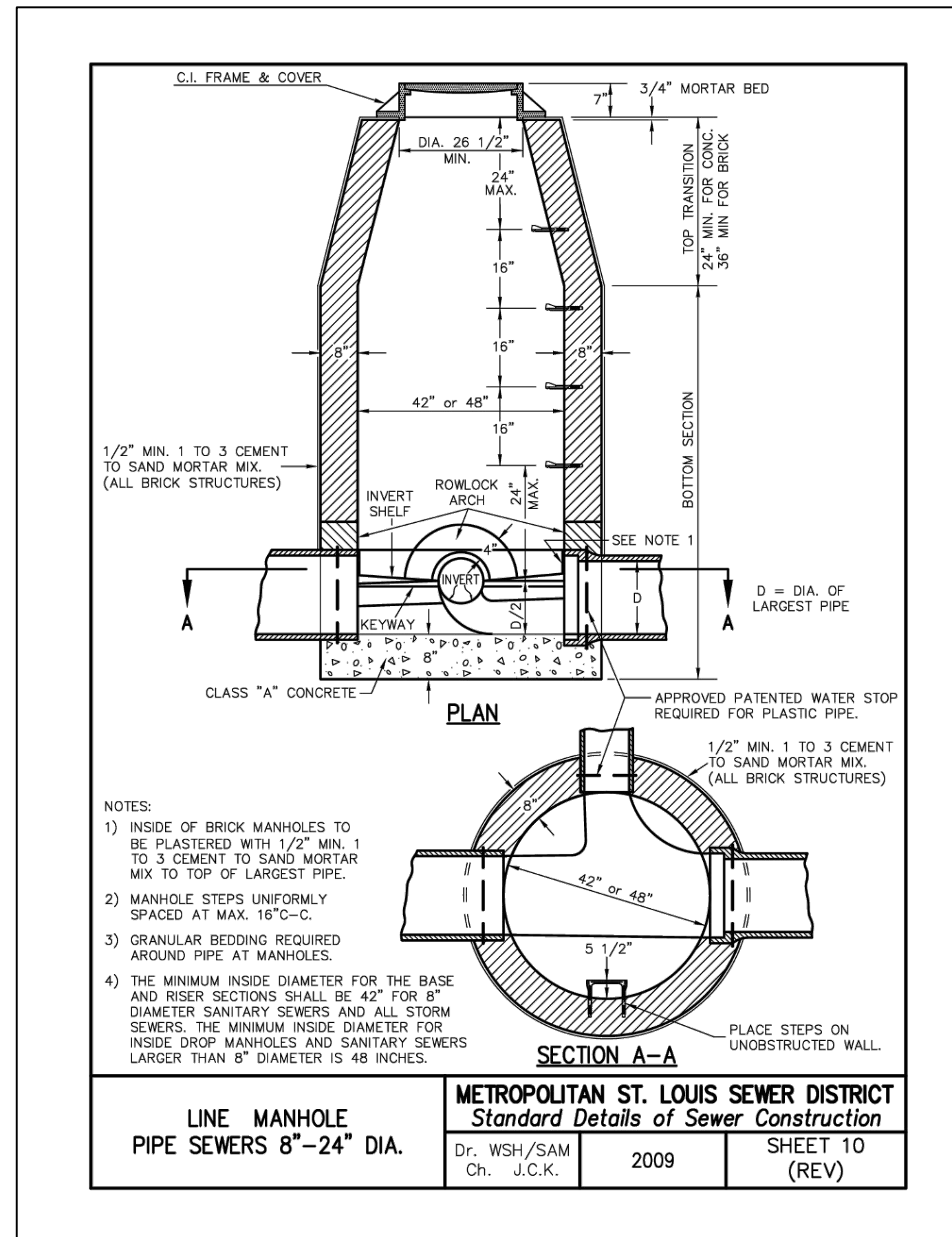
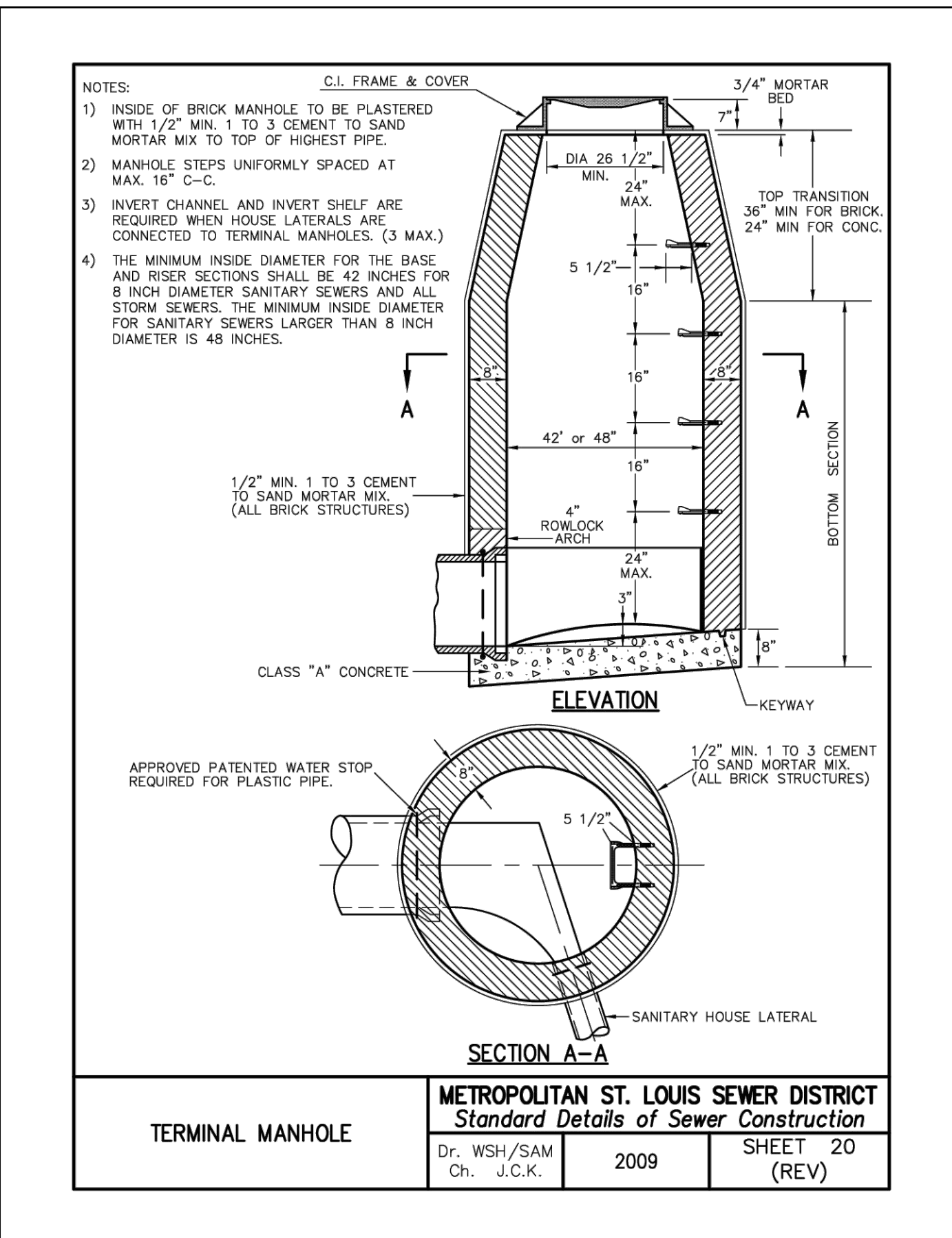


Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer  
PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF



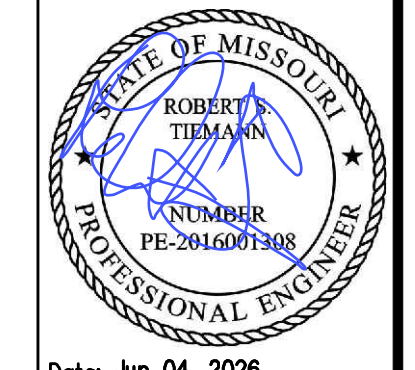
\*NOTE: EXISTING UTILITY CROSSINGS SHOWN HEREON ARE SHOWN AT AN ASSUMED DEPTH OF 42 INCHES FROM EXISTING GRADE TO TOP OF UTILITY. DEPTHS OF UTILITIES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IF SUBSURFACE EXPLORATION IDENTIFIES ANY CONFLICTS WITH EXISTING UTILITIES PRIOR TO CONSTRUCTION.

VERT. 1"=5'  
HORIZ. 1"=30'  
SCALE:

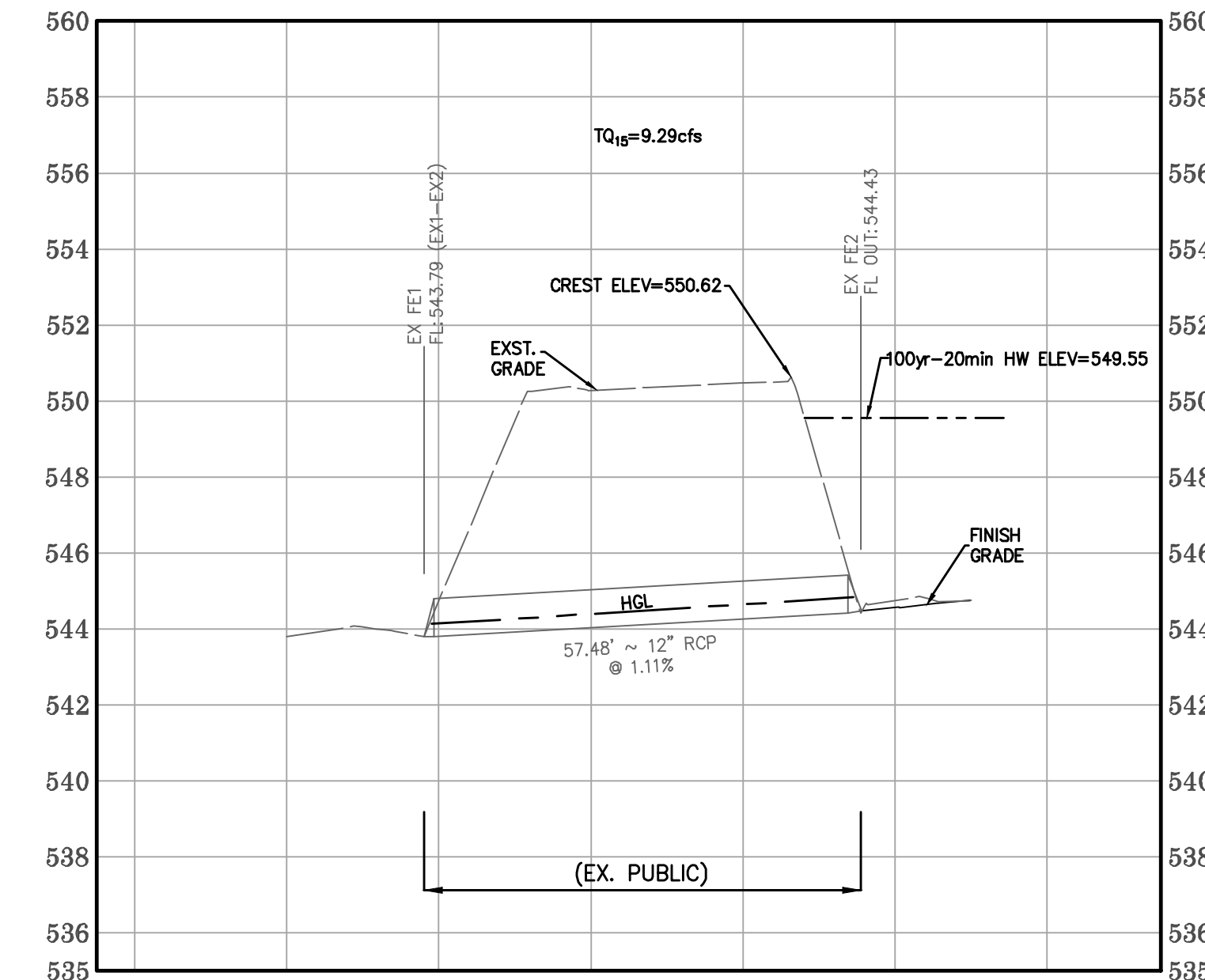
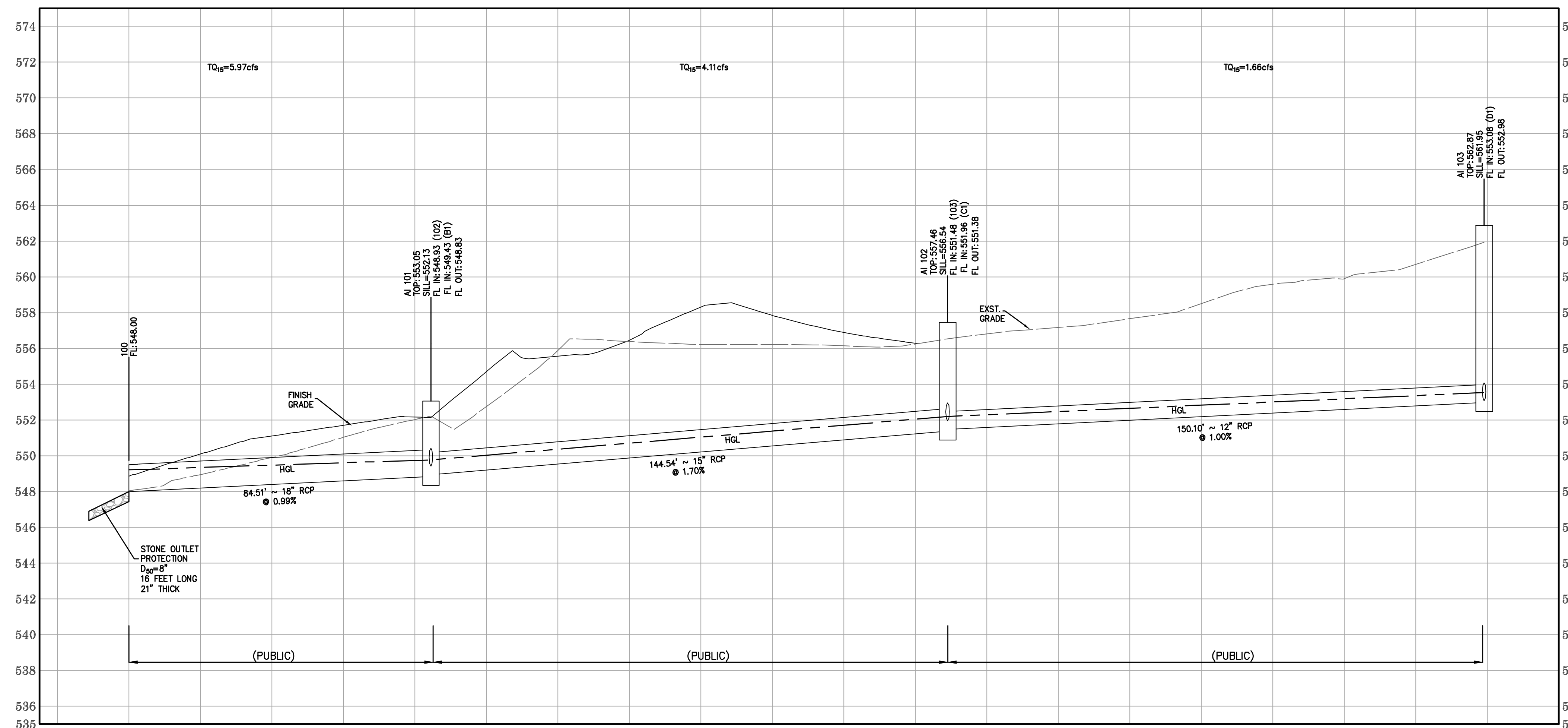


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**BaCon Estates**  
**IMPROVEMENT PLANS**  
SANITARY SEWER PROFILE



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer  
PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF

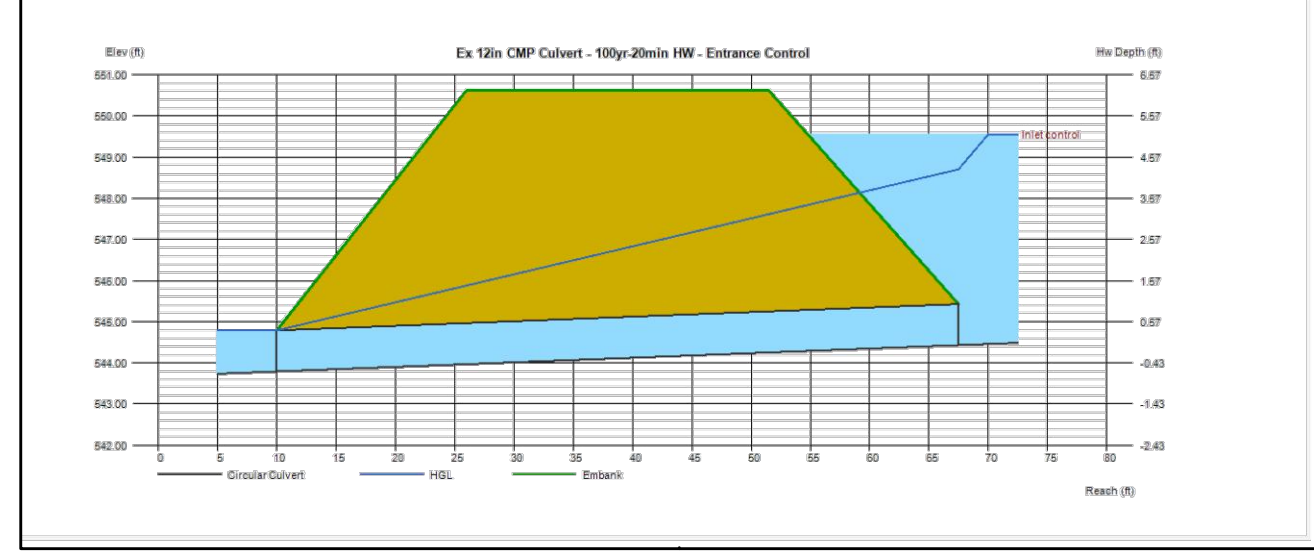


### Culvert Report

Hydrflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Friday, Apr 17 2026

**Ex 12in CMP Culvert - 100yr-20min HW - Entrance Control**

Invert Elev Dn (ft)	= 543.79	<b>Calculations</b>	
Pipe Length (ft)	= 57.48	Qmin (cfs)	= 9.29
Slope (%)	= 1.11	Qmax (cfs)	= 9.29
Invert Elev Up (ft)	= 544.43	Tailwater Elev (ft)	= Normal
Rise (in)	= 12.0	<b>Highlighted</b>	
Shape	= Circular	Qtotal (cfs)	= 9.29
Span (in)	= 12.0	Qpipe (cfs)	= 9.29
No. Barrels	= 1	Qovertop (cfs)	= 0.00
n-Value	= 0.013	Veloc Dn (ft/s)	= 11.83
Culvert Type	= Circular Concrete	Veloc Up (ft/s)	= 11.83
Culvert Entrance	= Groove end projecting (C)	HGL Dn (ft)	= 544.79
Coeff. K,M,c,Y,k	= 0.0045, 2, 0.0317, 0.69, 0.2	HGL Up (ft)	= 548.70
<b>Embankment</b>		Hw Elev (ft)	= 549.55
Top Elevation (ft)	= 550.62	Hw/D (ft)	= 5.12
Top Width (ft)	= 25.00	Flow Regime	= Inlet Control
Crest Width (ft)	= 25.00		



Dso Rip-Rap Calculator (Isbash Equation)  
Pipe Run FE100-AI101

V: Water Velocity	5.97	Ft/Sec (15yr-20min)
C: Flow Type	0.85	High Turbulence
S: Rock Constant	2.65	Rock Specific Gravity
G: Gravity	32.1741	Ft/Sec

$$Dia = \frac{V \times 2}{2 \times G \times C \times (S-1)} = \text{Feet}$$

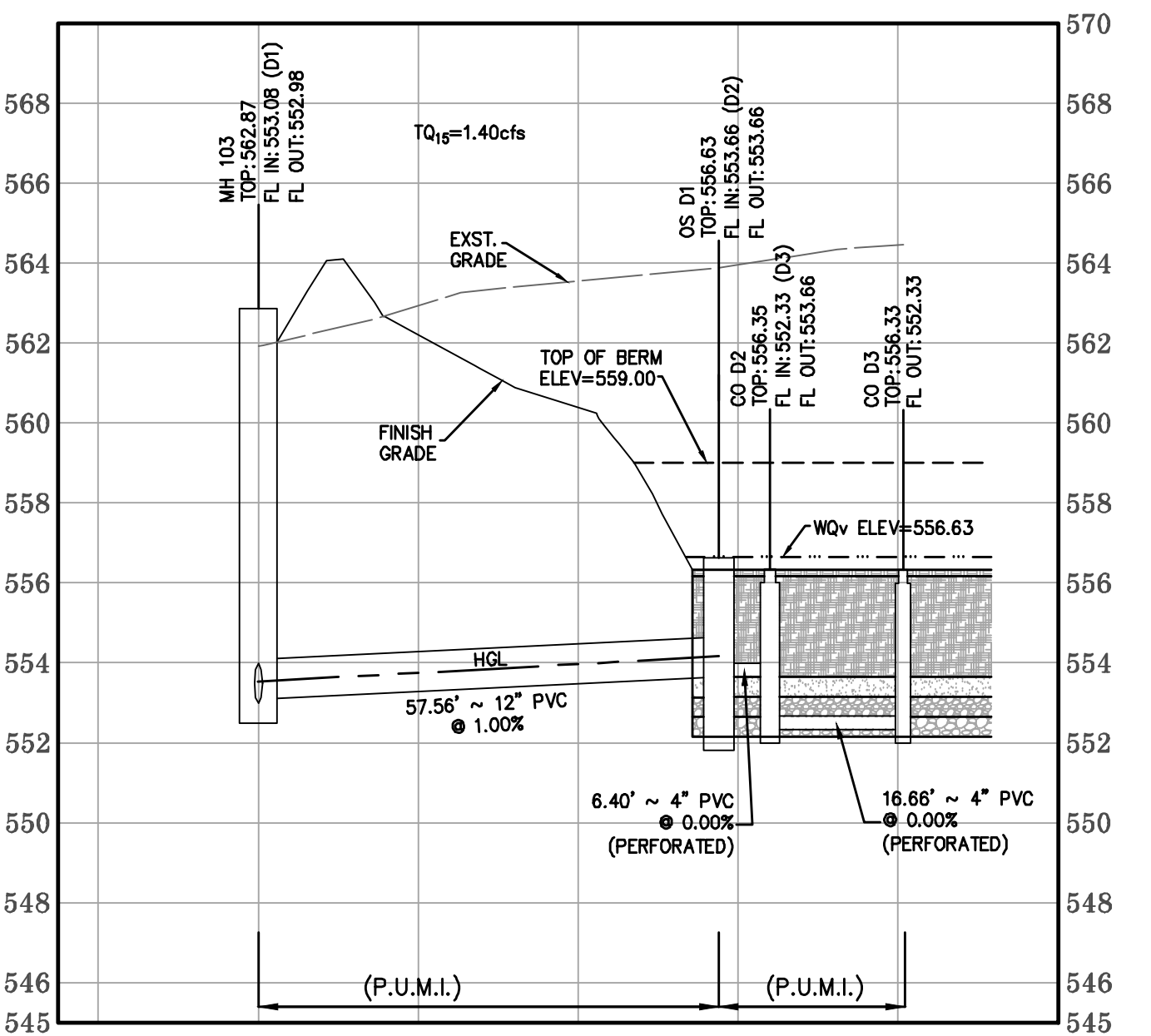
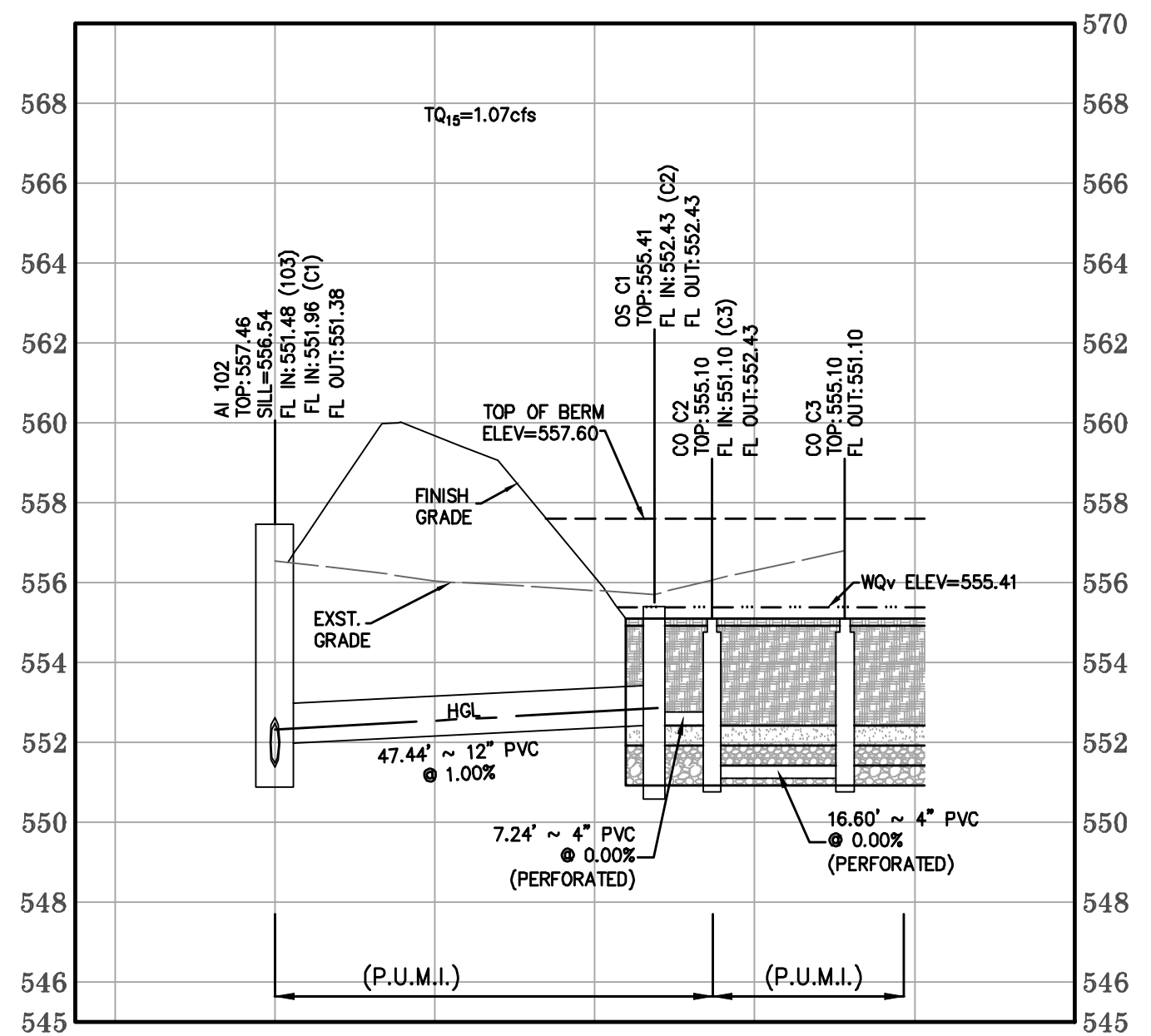
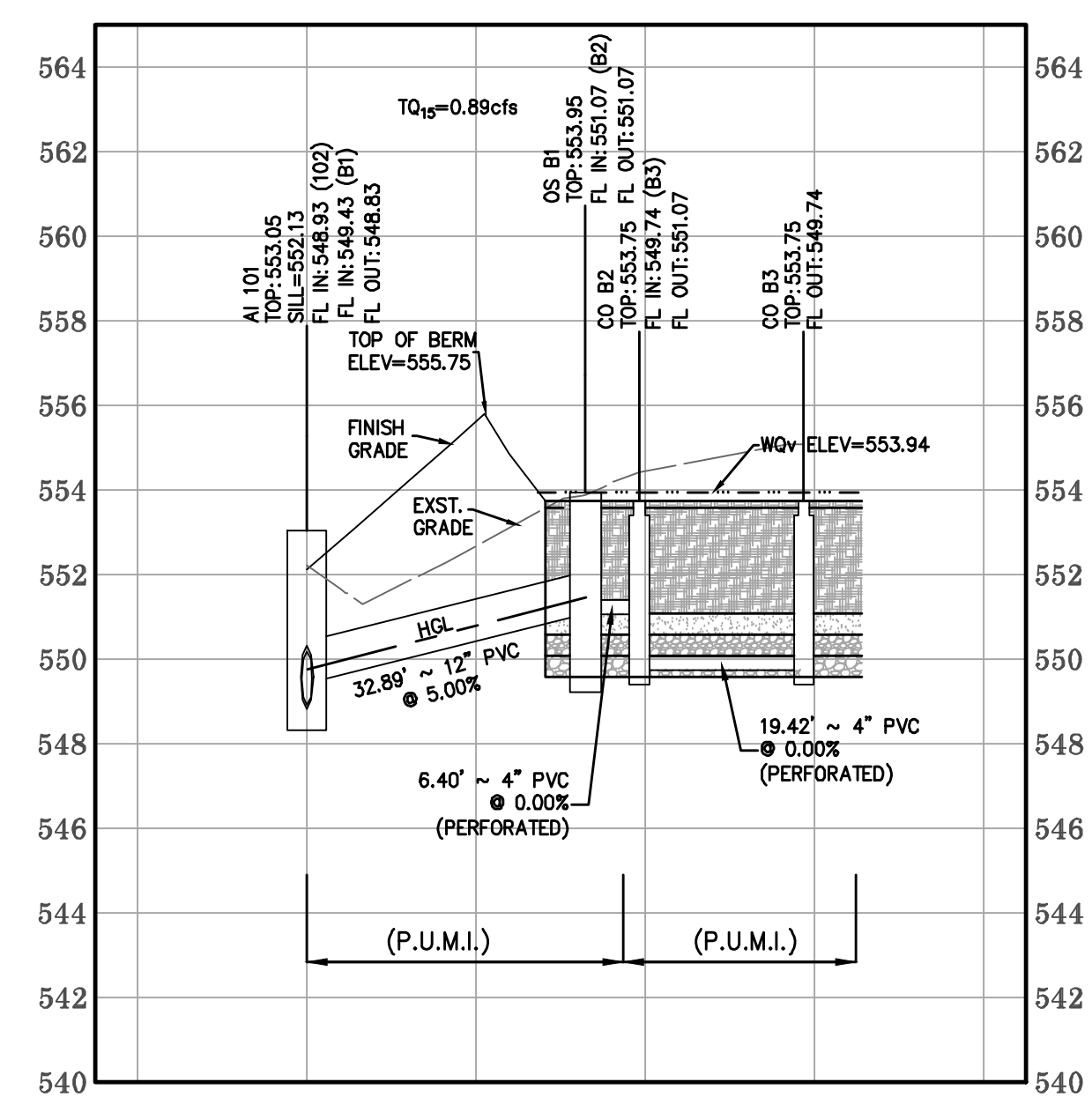
$$Dia = \frac{5.85 \times 2}{2 \times 32.1741 \times 0.85 \times (2.65-1)} = \text{Feet}$$

$$Dia = \frac{35.64}{78.569} = 0.454 \text{ Feet}$$

Dia (in) = 0.454 x 12 = 5.443 inches

Safety Factor: 1.5 x 5.443 = 8.165 inches

Dso Selection: 8 inch



VERT. 1"=4'  
1"=20' HORIZ.  
SCALE:

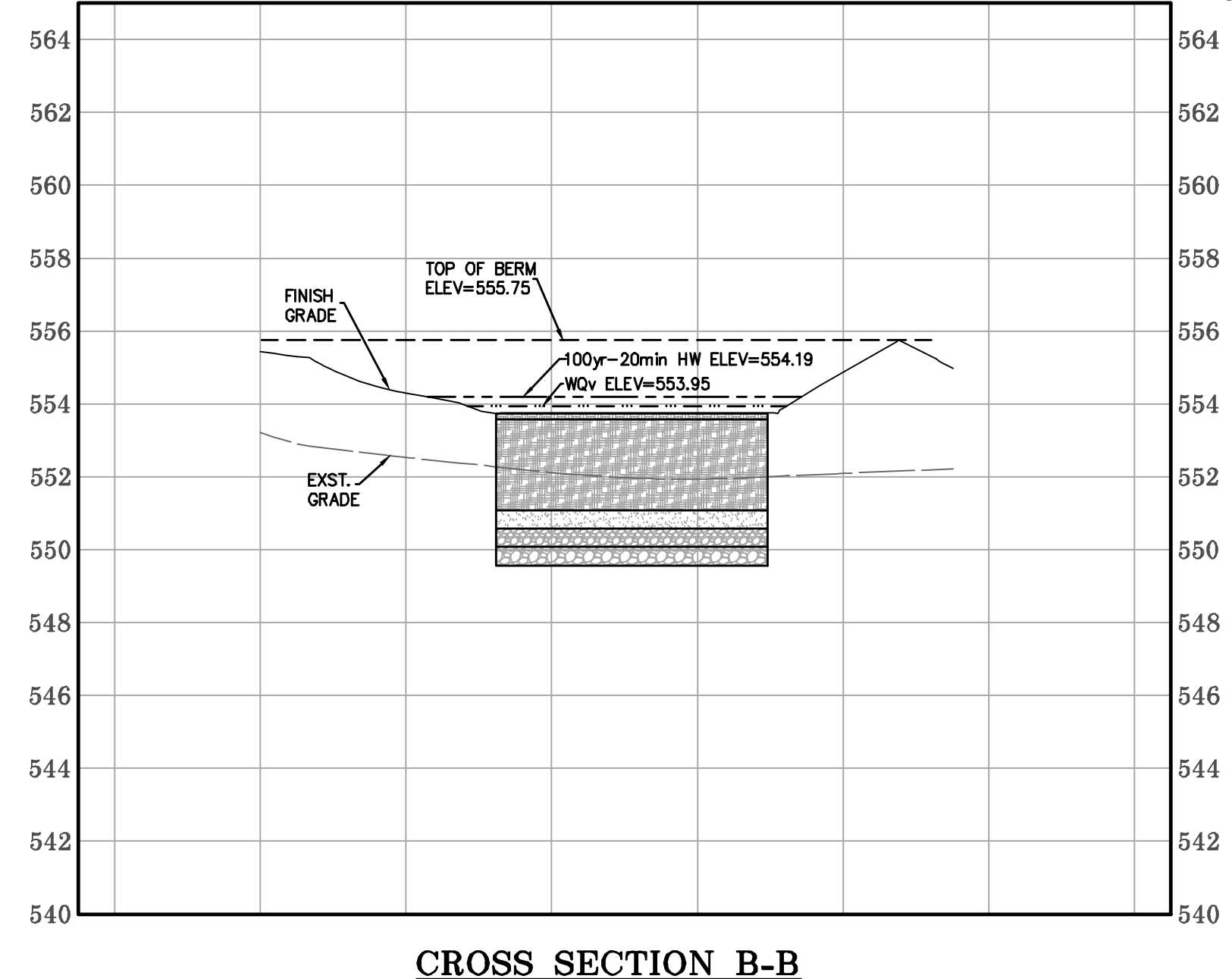
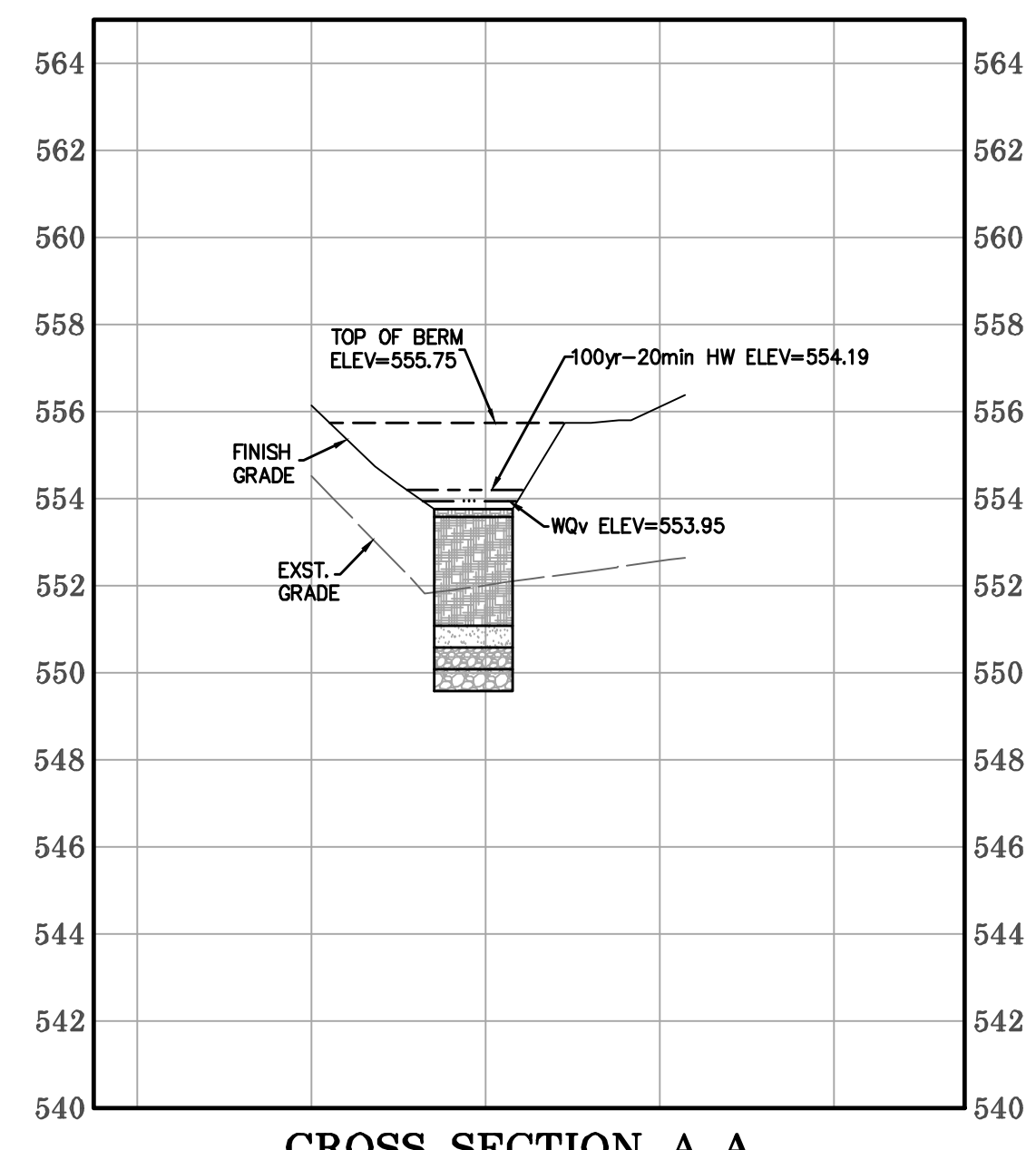
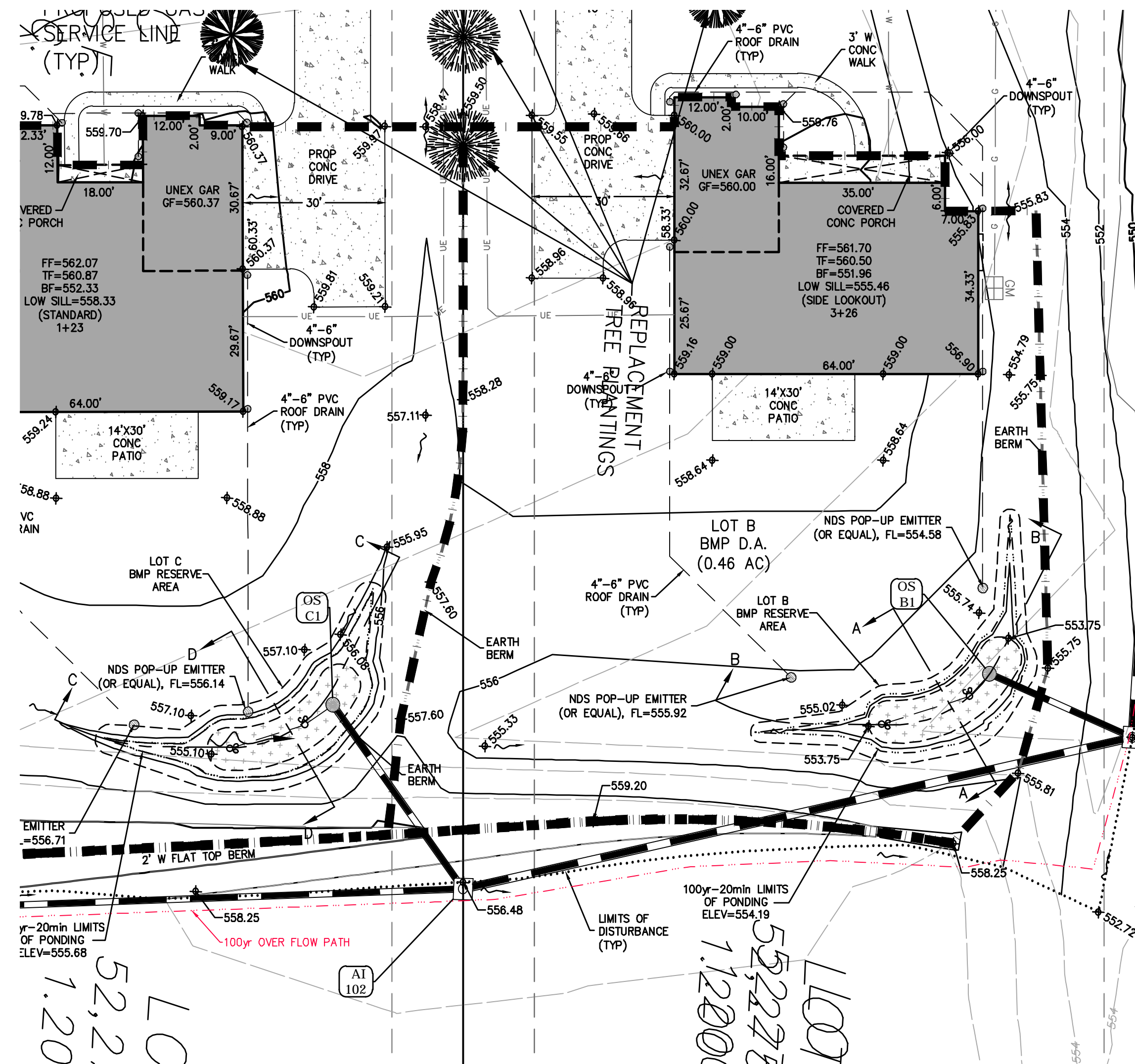
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**BaCon. Estates**  
**IMPROVEMENT PLANS**  
STORM SEWER PROFILES

Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF

**9 OF 29**



Stormwater Filtering System Calculations  
Bio-retention Cell Lot B

- Compute Volumetric runoff Coefficient
  - Site Area= 0.41 Acres
  - Impervious Area= 0.10 Acres
  - I= 0.241 (Percent Impervious)
  - R= 0.267 (Volumetric Runoff Coefficient)
  - S= 0.130 (Soil Group C)
- Compute Required WQv
  - P= 1.14 inches
  - Rv= 0.267
  - A= 0.414 Acres
  - WQv= 0.011 ac-ft = 458 cu. ft.
  - Urban BMP Group 4 Stormwater Filtering Systems shall temporarily hold at least 75% of the WQ prior to filtration
  - 75% = 344 cu. ft.
  - Check Minimum: 0.007 ac-ft = 301 cu. ft.
- Compute Af (Required filter bed area)
  - k= 2.0 ft/day (Coefficient of Permeability)
  - h= 0.10 ft (Average Height of Water above Filter Bed)<sup>2</sup>
  - t= 2 days (Design Filter Bed Drain Time)
  - d= 2.50 ft (Filter Bed Depth)
  - Af= 110.1 sq. ft. (Required Filter Bed Area)
  - Actual Filter Bed Area AF= 320.0 sq. ft. Filter Bed Elevation 553.75
- Compute Provided WQv
  - Provided WQv= 374 cu. ft.
  - Required WQv= 344 cu. ft.
- WQv Elevation: 553.95 (from table below)
- Stage-Storage

Stage	Elevation	Contour Area	Incremental Volume	Cumulative Volume
Bottom BioMedia	-2.67	551.08	320	0
Bottom Mulch	-0.17	553.58	320	280
Basin Surface	0.00	553.75	320	299
	0.10	553.85	379	334
	0.20	553.95	437	374
	0.30	554.05	496	421
	0.40	554.15	554	474
	0.50	554.25	613	532
	0.60	554.35	671	598
	0.70	554.45	729	674
	0.80	554.55	787	760
	0.90	554.65	845	856
	1.00	554.75	903	961
	1.10	554.85	961	1,080
	1.20	554.95	1,020	1,216
	1.30	555.05	1,078	1,370
	1.40	555.15	1,137	1,541
	1.50	555.25	1,195	1,729

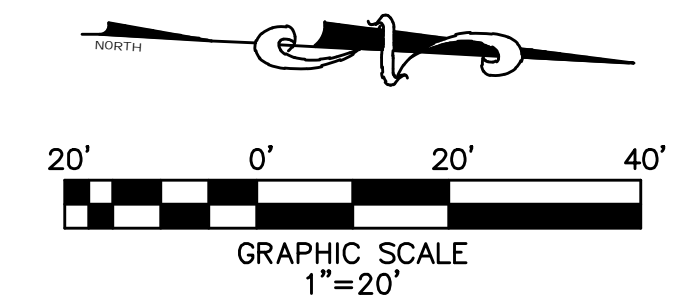
- 100-yr High Water Calculation
  - Site Area= 0.41 Acres
  - Impervious Area= 0.10 Acres
  - TQ= 1.20 cfs
  - d= 12 in
  - r= 0.5 ft
  - A= 0.79 sq. ft.
  - L= 3.14 ft
  - h= 0.24 ft
  - Sill of inlet = 553.95 ft
  - Top of Inlet = 554.87 ft
  - HW= 554.19 ft
  - Top of dam= 555.75 ft
  - Freeboard= 1.56 ft
- BMP Material Layer Elev's
  - Top of Mulch Layer: 553.75
  - Top of Bio Media: 551.08
  - Top of Thick Sand Layer: 550.58
  - Top of 6" thick 3/8" Gravel Layer: 550.08
  - Top of Pea Gravel Layer: 550.08
  - Bottom of BMP: 549.58

**BMP SHOP DRAWING NOTE**  
MSD shop drawing submittal required for BMP and its components prior to construction.  
MSD Contact: Brian Dunn 314-335-2072

**LIMITS OF DISTURBANCE:**  
The contractor shall stay within the limits of disturbance as shown on the plans and minimize disturbance within the work area wherever possible.

**CONSTRUCTION SITE RUNOFF:**  
Construction site runoff shall not flow into BMP areas. All stormwater flow to BMP areas shall be diverted, plugged or disconnected until the construction site is stable AND the MSD Dedication Inspector provides approval to place the BMP on-line.

**DETAIL DRAWINGS**  
THE DETAIL DRAWINGS SHOWN HEREON ARE ONLY FOR PRIVATE CONSTRUCTION THAT IS NOT UNDER MSD PERMITS. REFER TO MSD STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARD DETAILS FOR PUBLIC SEWER CONSTRUCTION OR PRIVATE CONSTRUCTION UNDER MSD PERMITS.

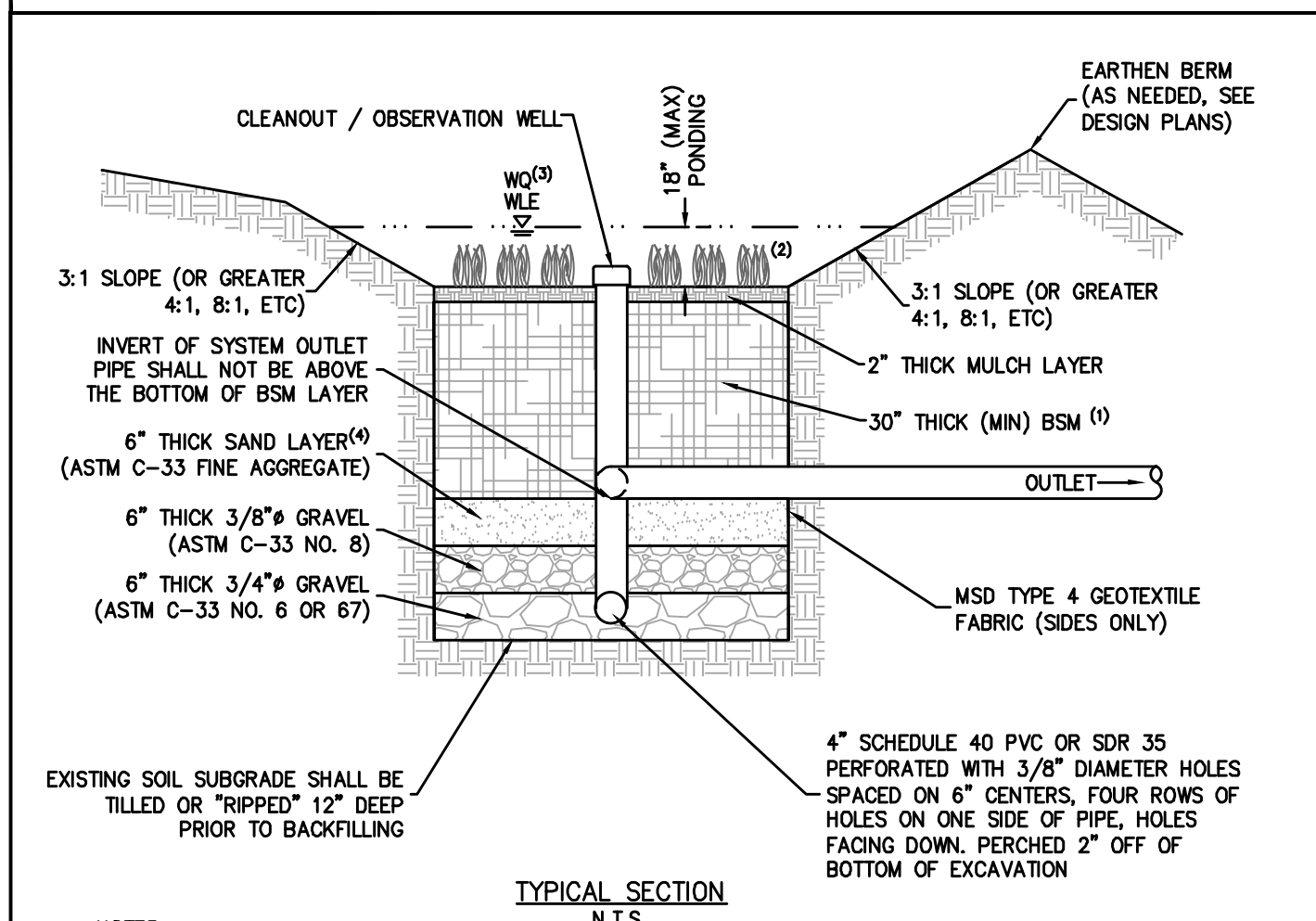


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UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

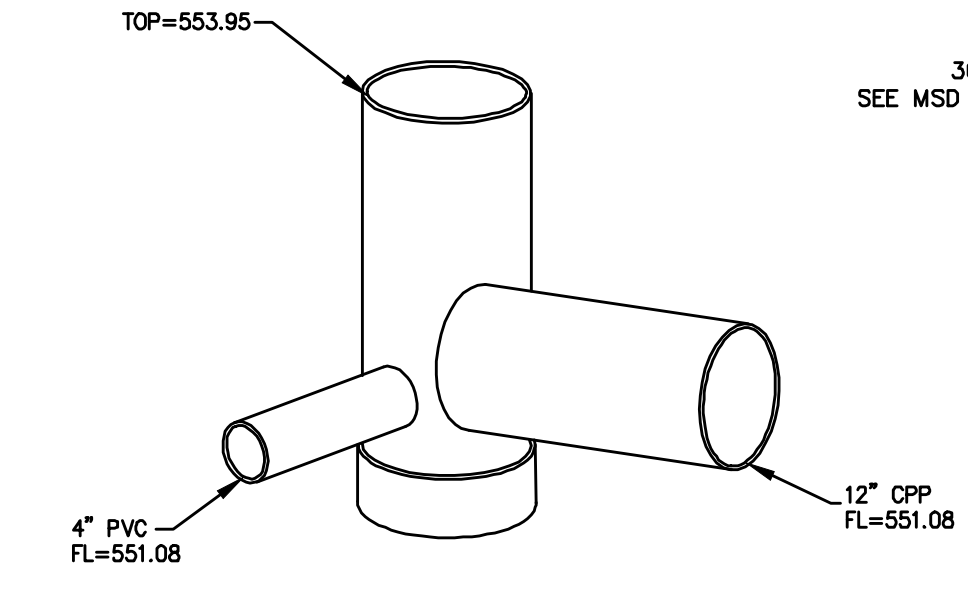
26MSD-00179, MAP 18PA

**TYPICAL RESIDENTIAL BIORETENTION FACILITY**

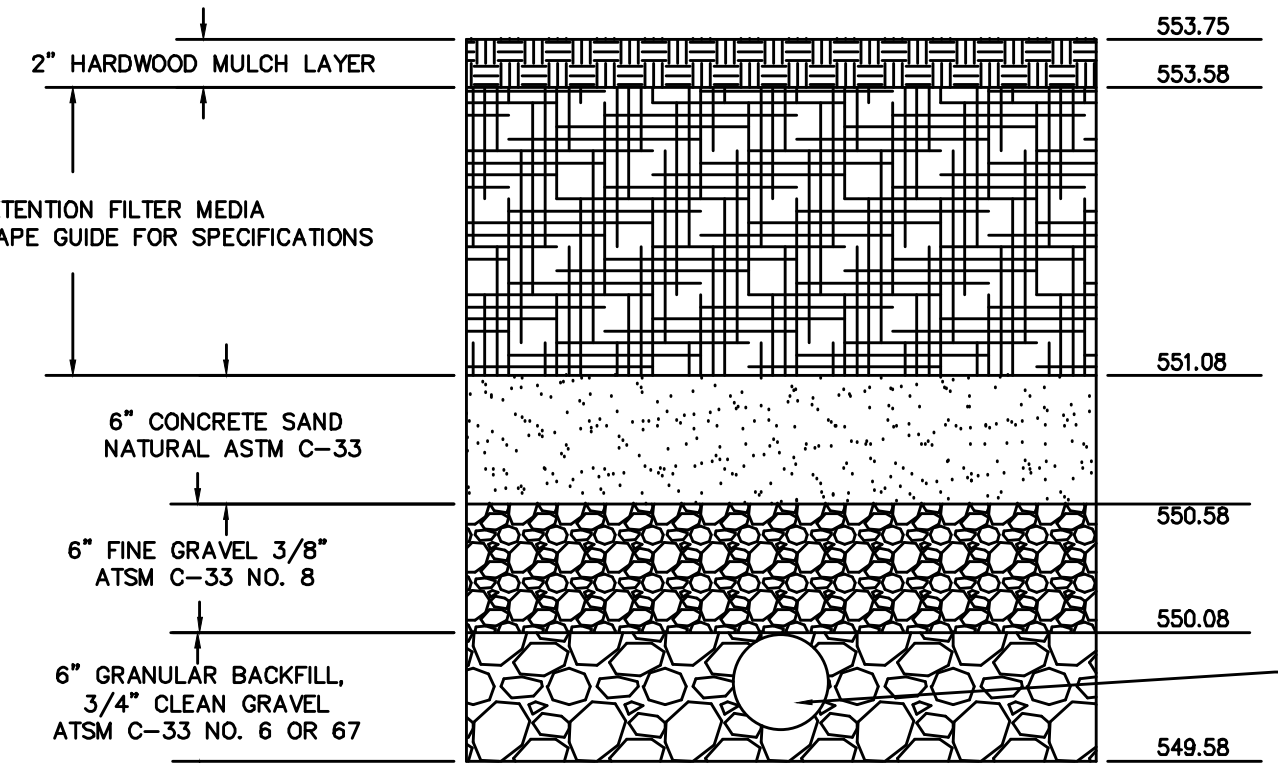


**NOTES:**

- BIORETENTION SOIL MIX (BSM) = 80% SAND, 10% FINE GROUND MULCH, 10% TOPSOIL, OR MIX PER MSD LANDSCAPE GUIDE FOR BMPs.
- SEE MSD LANDSCAPE GUIDE FOR MULCH & VEGETATION. TREES PLANTED IN BSM SHOULD BE ANCHORED.
- 90TH PERCENTILE (P=1.14") RAINFALL EVENT. 1-YR 24-HR & GREATER STORMS MAY BE PONDED ABOVE THIS, UP TO 36" HIGH.
- OPTIONAL WHERE SAND CONTENT OF BSM IS HIGH (>80%)



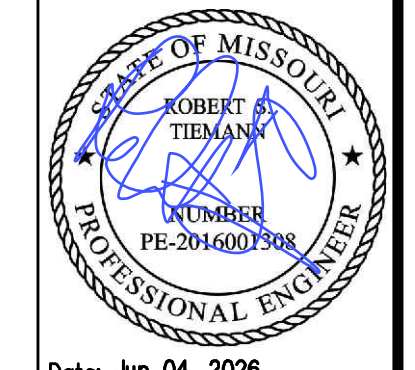
**12" NDS DRAIN BASIN DETAIL**



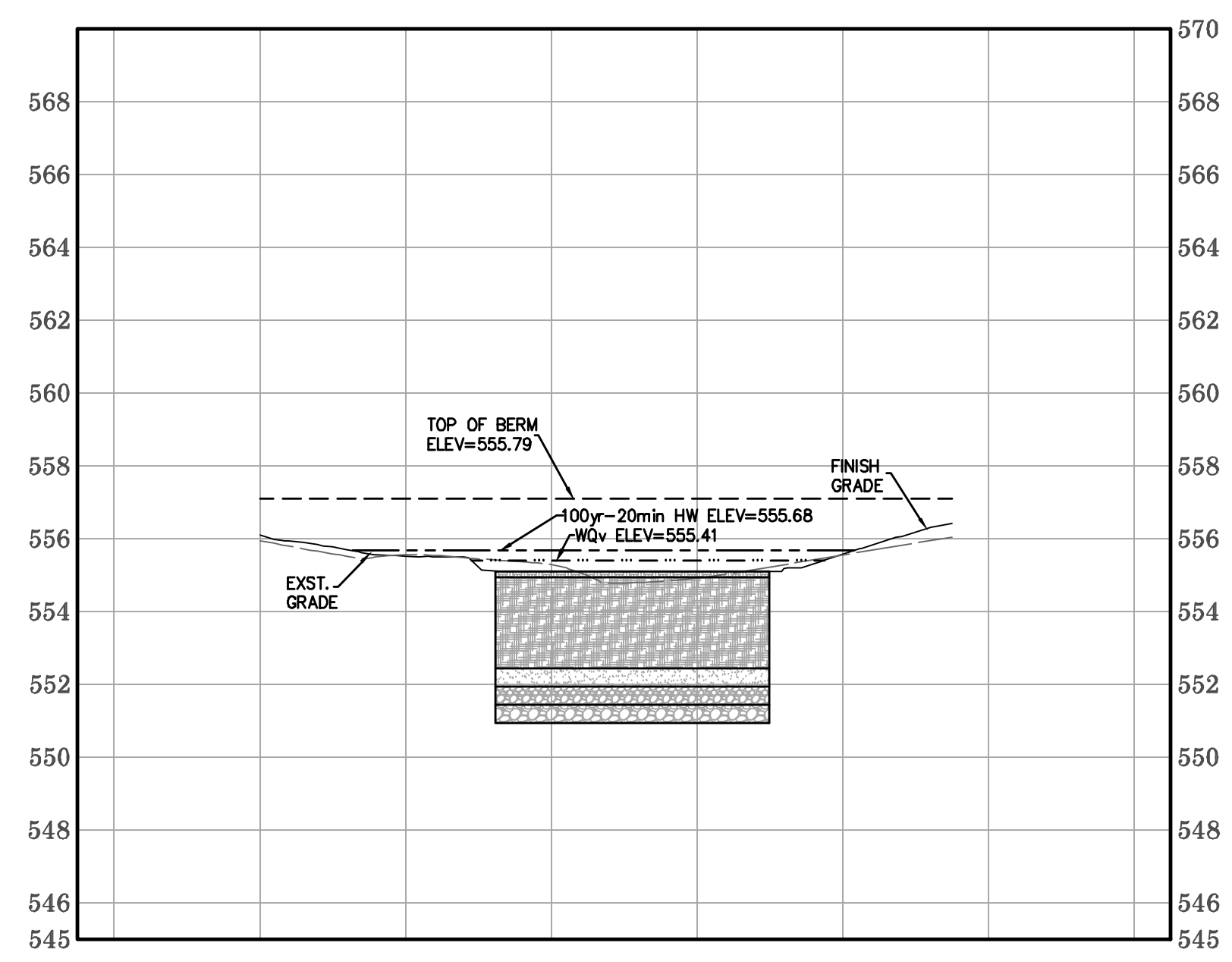
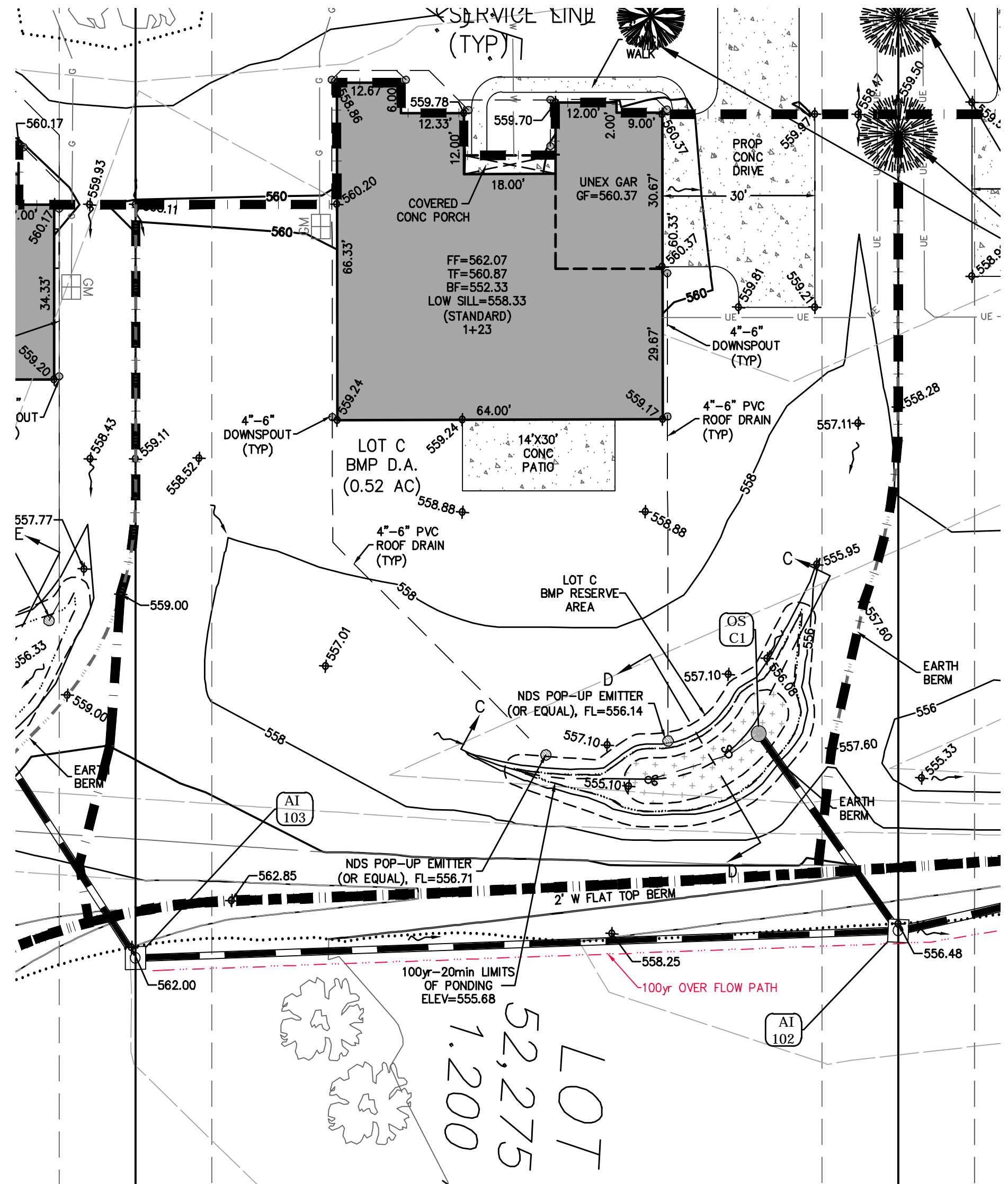
**BIORETENTION ELEVATION DETAIL**

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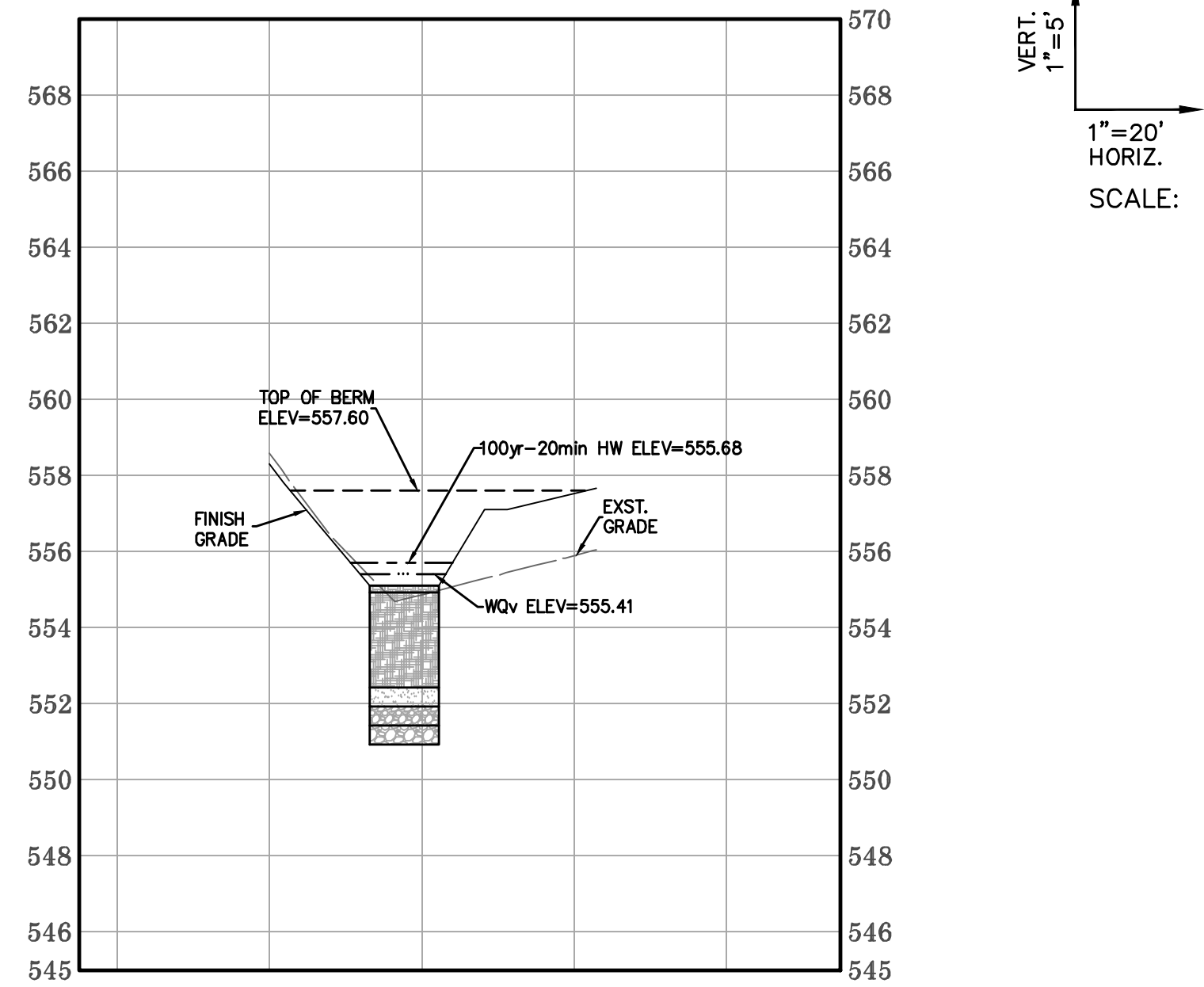
**BaCor. Estates**  
**IMPROVEMENT PLANS**  
BMP PLAN - LOT B



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer  
PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF



CROSS SECTION C-C



CROSS SECTION D-D

Stormwater Filtering System Calculations  
Bio-retention Cell Lot C

1) Compute Volumetric runoff Coefficient

Site Area= 0.52 Acres  
Impervious Area= 0.12 Acres  
I= 0.231 (Percent Impervious)  
Rv= 0.258 (Volumetric Runoff Coefficient)  
S= 0.130 (Soil Group C)

2) Compute Required WQV

P= 1.14 inches  
Rv= 0.258  
A= 0.520 Acres  
WQV= 0.013 ac-ft = 555 cu. ft.  
Urban BMP Group 4 Stormwater Filtering Systems shall temporarily hold at least 75% of the WQ prior to filtration  
75% = 416 cu. ft.  
Check Minimum: 0.009 ac-ft = 378 cu. ft.

4) Compute Af (Required filter bed area)

P= 2.0 ft/day (Coefficient of Permeability)  
h= 0.15 ft (Average Height of Water above Filter Bed)<sup>2</sup>  
t= 2 days (Design Filter Bed Drain Time)  
d= 2.50 ft (Filter Bed Depth)  
Af= 130.5 sq. ft. (Required Filter Bed Area)

Actual Filter Bed Area AF= 320.0 sq. ft. Filter Bed Elevation 555.10

5) Compute Provided WQV

Provided WQV= 416 cu. ft. Required WQV= 416 cu. ft.

6) WQV Elevation 555.41 (from table below)

7) Stage-Storage

Stage	Elevation	Contour Area	Incremental Volume	Cumulative Volume
Bottom BioMedia	-2.67	552.43	320	0
Bottom Mulch	-0.17	554.93	320	280
Basin Surface	0.00	555.10	320	299
0.10	555.20	366	34	333
0.20	555.30	412	39	372
0.30	555.40	457	43	415
0.40	555.50	503	48	463
0.50	555.60	549	53	516
0.60	555.70	617	58	574
0.70	555.80	685	65	639
0.80	555.90	754	72	711
0.90	556.00	822	79	790
1.00	556.10	890	86	876
1.10	556.20	993	94	970
1.20	556.30	1,096	104	1,074
1.30	556.40	1,199	115	1,189
1.40	556.50	1,302	125	1,314
1.50	556.60	1,405	135	1,449

8) 100-yr High Water Calculation

Site Area= 0.52 Acres  
Impervious Area= 0.12 Acres  
TQ= 1.49 cfs  
d= 12 in  
t= 0.5 ft  
A= 0.79 sq. ft.  
L= 3.14 ft  
h= 0.27 ft  
Sill of inlet= 555.41 ft  
Top of Inlet= 556.33 ft  
HW= 555.68 ft  
Top of dam= 557.60 ft  
Freeboard= 1.92 ft

9) BMP Material Layer Elev's

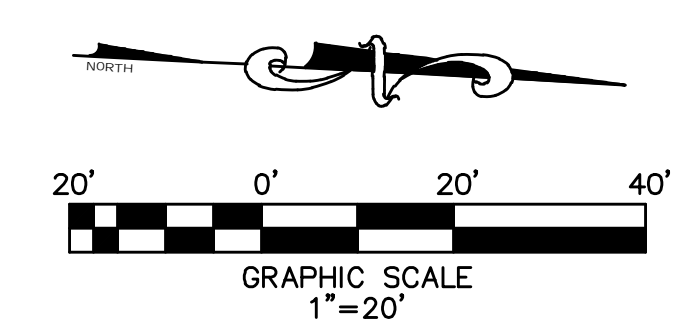
Top of Mulch Layer 555.10  
Top of Bio Media 554.93  
Top of Thick Sand Layer 552.43  
Top of 6" thick 3/8" Gravel Layer 551.93  
Top of Pea Gravel Layer 551.43  
Bottom of BMP 550.93

BMP SHOP DRAWING NOTE  
MSD shop drawing submittal required for BMP and its components prior to construction.  
MSD Contact: Brian Dunn 314-335-2072

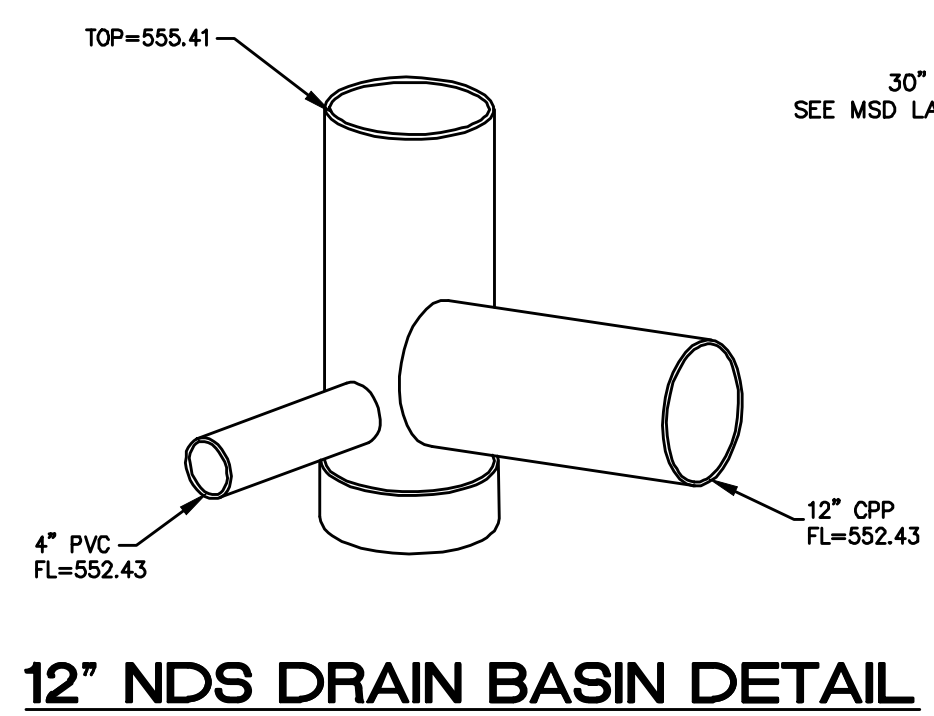
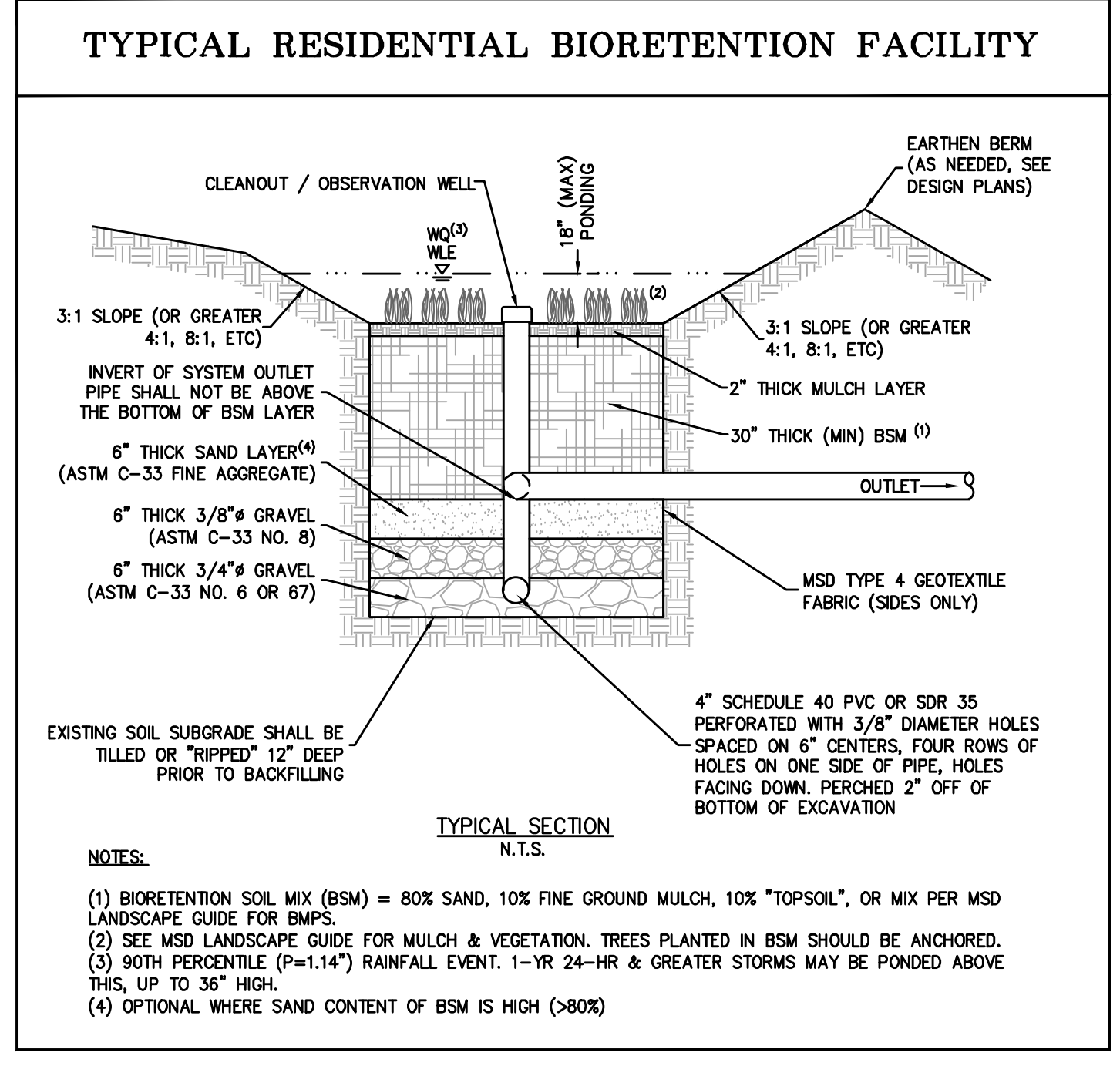
LIMITS OF DISTURBANCE:  
The contractor shall stay within the limits of disturbance as shown on the plans and minimize disturbance within the work area wherever possible.

CONSTRUCTION SITE RUNOFF:  
Construction site runoff shall not flow into BMP areas. All stormwater flow to BMP areas shall be diverted, plugged or disconnected until the construction site is stable AND the MSD Dedication Inspector provides approval to place the BMP on-line.

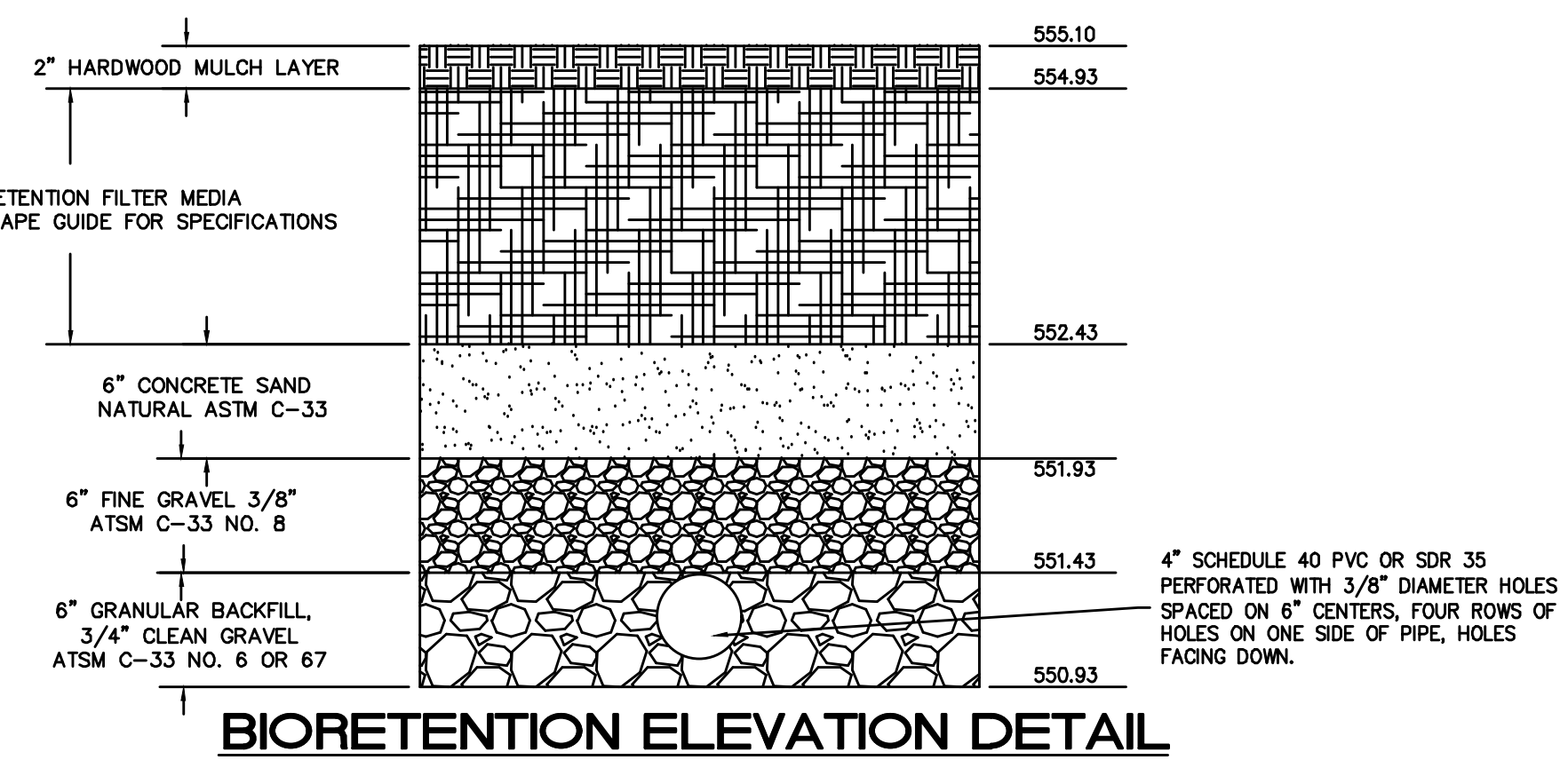
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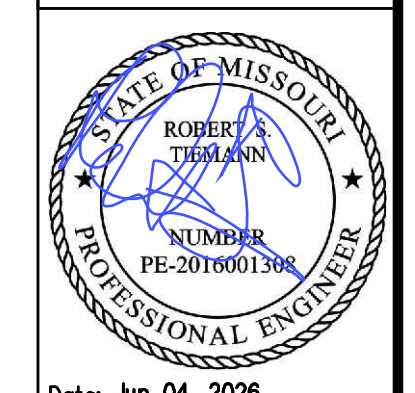
12" NDS DRAIN BASIN DETAIL



BIORETENTION ELEVATION DETAIL

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BaCor. Estates  
IMPROVEMENT PLANS  
BMP PLAN - LOT C

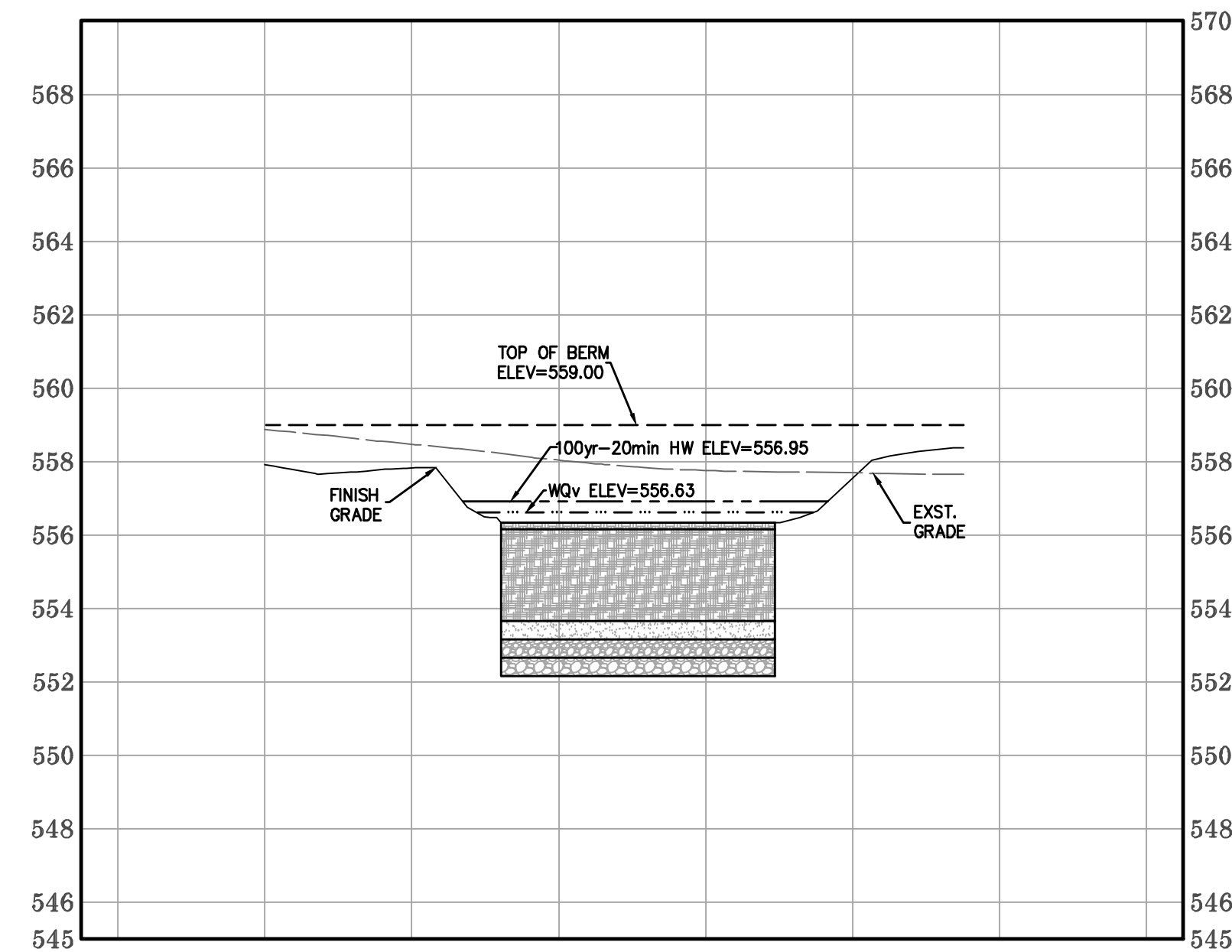
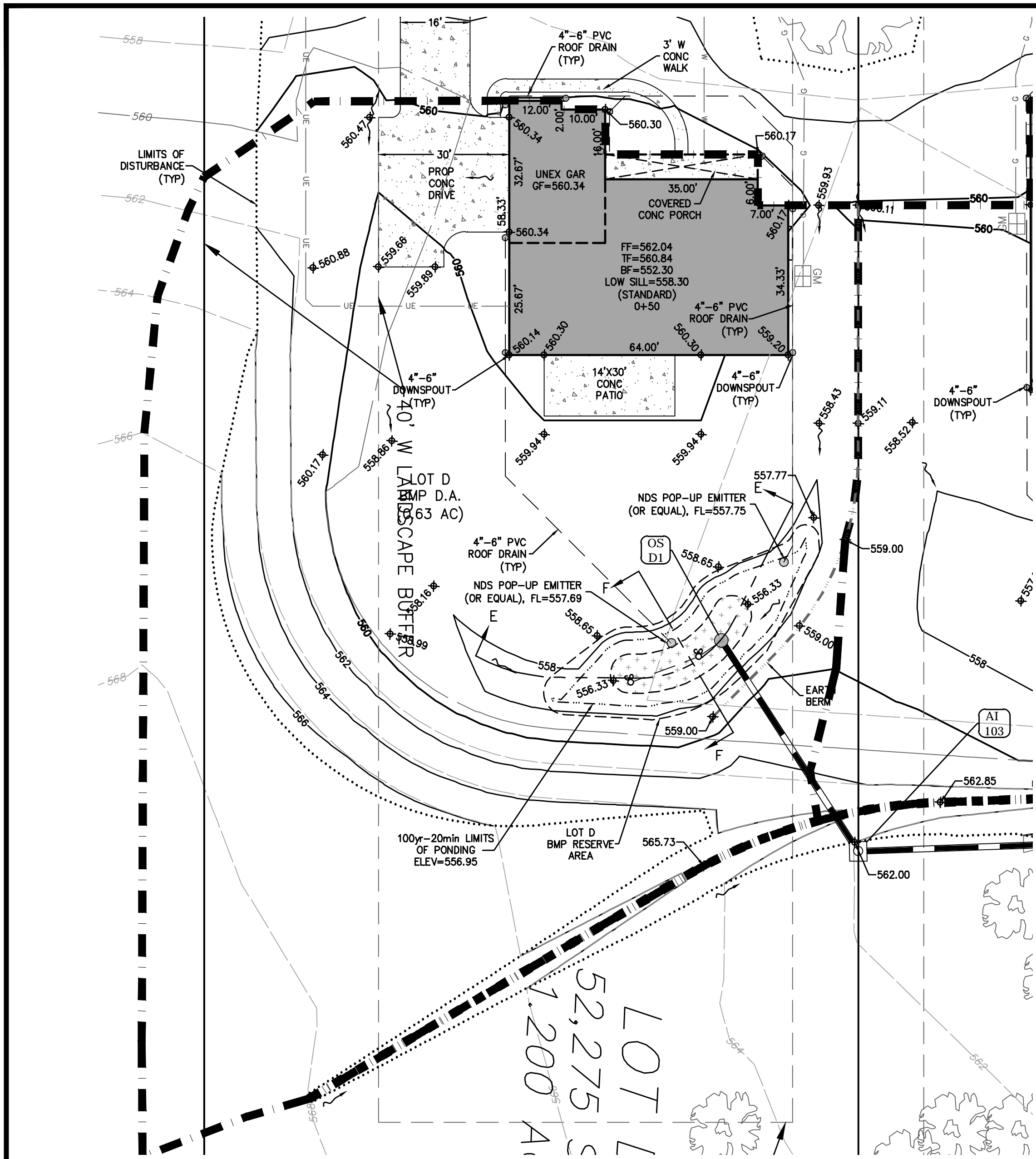


Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

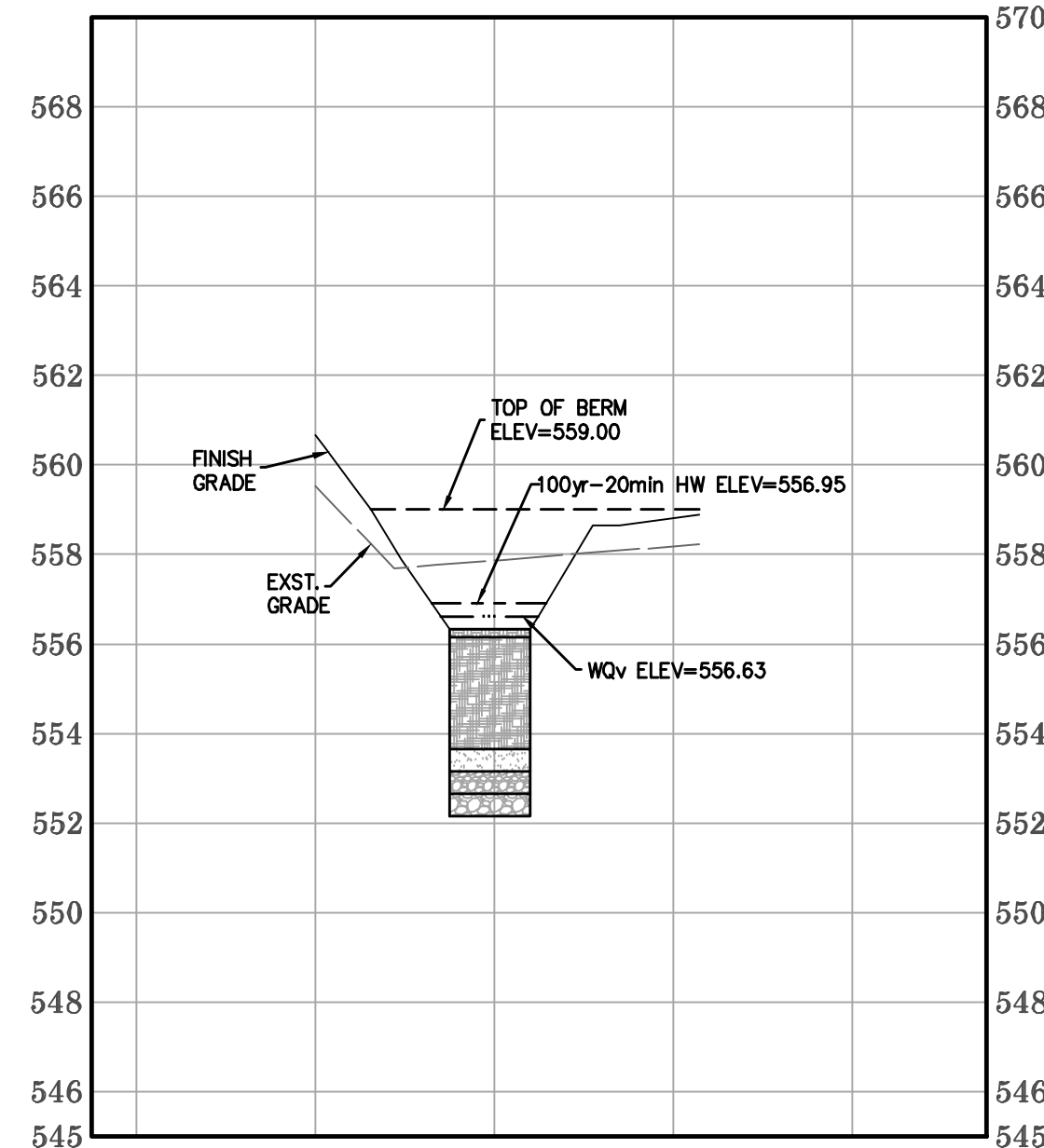
PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: EJP



CROSS SECTION E-E



CROSS SECTION F-F

Stormwater Filtering System Calculations  
Bio-retention Cell Lot D

- 1) Compute Volumetric runoff Coefficient
  - Site Area= 0.71 Acres
  - Impervious Area= 0.10 Acres
  - I= 0.140 (Percent Impervious)
  - Rv= 0.176 (Volumetric Runoff Coefficient)
  - S= 0.130 (Soil Group C)
- 2) Compute Required WQv
  - P= 1.14 inches
  - Rv= 0.176
  - A= 0.712 Acres
  - WQv= 0.012 ac-ft = 520 cu. ft.
  - Urban BMP Group 4 Stormwater Filtering Systems shall temporarily hold at least 75% of the WQ prior to filtration
  - 75% = 390 cu. ft.
  - Check Minimum: 0.012 ac-ft = 517 cu. ft.
- 4) Compute Af (Required filter bed area)
  - k= 2.0 ft/day (Coefficient of Permeability)
  - h= 0.15 ft (Average Height of Water above Filter Bed)/2
  - t= 2 days (Design Filter Bed Drain Time)
  - d= 2.50 ft (Filter Bed Depth)
  - Af= 122.6 sq. ft. (Required Filter Bed Area)
- Actual Filter Bed Area Af= 320.0 sq. ft. Filter Bed Elevation 556.33
- 5) Compute Provided WQv
  - Provided WQv= 424 cu. ft.
  - Required WQv= 390 cu. ft.
- 6) WQv Elevation 556.63 (from table below)
- 7) Stage-Storage

Stage	Elevation	Contour	Incremental Volume	Cumulative Volume
Bottom BioMedia	-2.67	553.66	320	0
Bottom Mulch	-0.17	556.16	320	280
Basin Surface	0.00	556.33	320	299
0.10	556.43	385	35	334
0.20	556.53	450	42	376
0.30	556.63	516	48	424
0.40	556.73	581	55	479
0.50	556.83	646	61	540
0.60	556.93	743	69	610
0.70	557.03	840	79	689
0.80	557.13	936	89	778
0.90	557.23	1,033	98	876
1.00	557.33	1,130	108	984
1.10	557.43	1,316	122	1,106
1.20	557.53	1,502	141	1,247
1.30	557.63	1,688	159	1,407
1.40	557.73	1,874	178	1,585
1.50	557.83	2,060	197	1,782

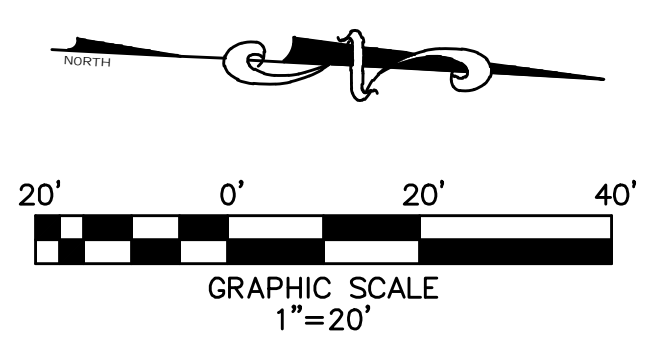
- 8) 100-yr High Water Calculation
  - Site Area= 0.71 Acres
  - Impervious Area= 0.10 Acres
  - TQ= 1.88 cfs
  - d= 12 in
  - r= 0.5 ft
  - A= 0.79 sq. ft.
  - L= 3.14 ft.
  - h= 0.32 ft
  - Sill of inlet = 556.63 ft
  - Top of Inlet = 557.55 ft
  - HW= 556.95 ft
  - Top of dam= 559.00 ft
  - Freeboard= 2.05 ft
- 9) BMP Material Layer Elev's
  - Top of Mulch Layer 556.33
  - Top of Bio Media 556.16
  - Top of Thick Sand Layer 553.66
  - Top of 6" thick 3/8" Gravel Layer 553.16
  - Top of Pea Gravel Layer 552.66
  - Bottom of BMP 552.16

**BMP SHOP DRAWING NOTE**  
MSD shop drawing submittal required for BMP and its components prior to construction.  
MSD Contact: Brian Dunn 314-335-2072

**LIMITS OF DISTURBANCE:**  
The contractor shall stay within the limits of disturbance as shown on the plans and minimize disturbance within the work area wherever possible.

**CONSTRUCTION SITE RUNOFF:**  
Construction site runoff shall not flow into BMP areas. All stormwater flow to BMP areas shall be diverted, plugged or disconnected until the construction site is stable AND the MSD Dedication Inspector provides approval to place the BMP on-line.

**DETAIL DRAWINGS**  
THE DETAIL DRAWINGS SHOWN HEREON ARE ONLY FOR PRIVATE CONSTRUCTION THAT IS NOT UNDER MSD PERMITS. REFER TO MSD STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARD DETAILS FOR PUBLIC SEWER CONSTRUCTION OR PRIVATE CONSTRUCTION UNDER MSD PERMITS.

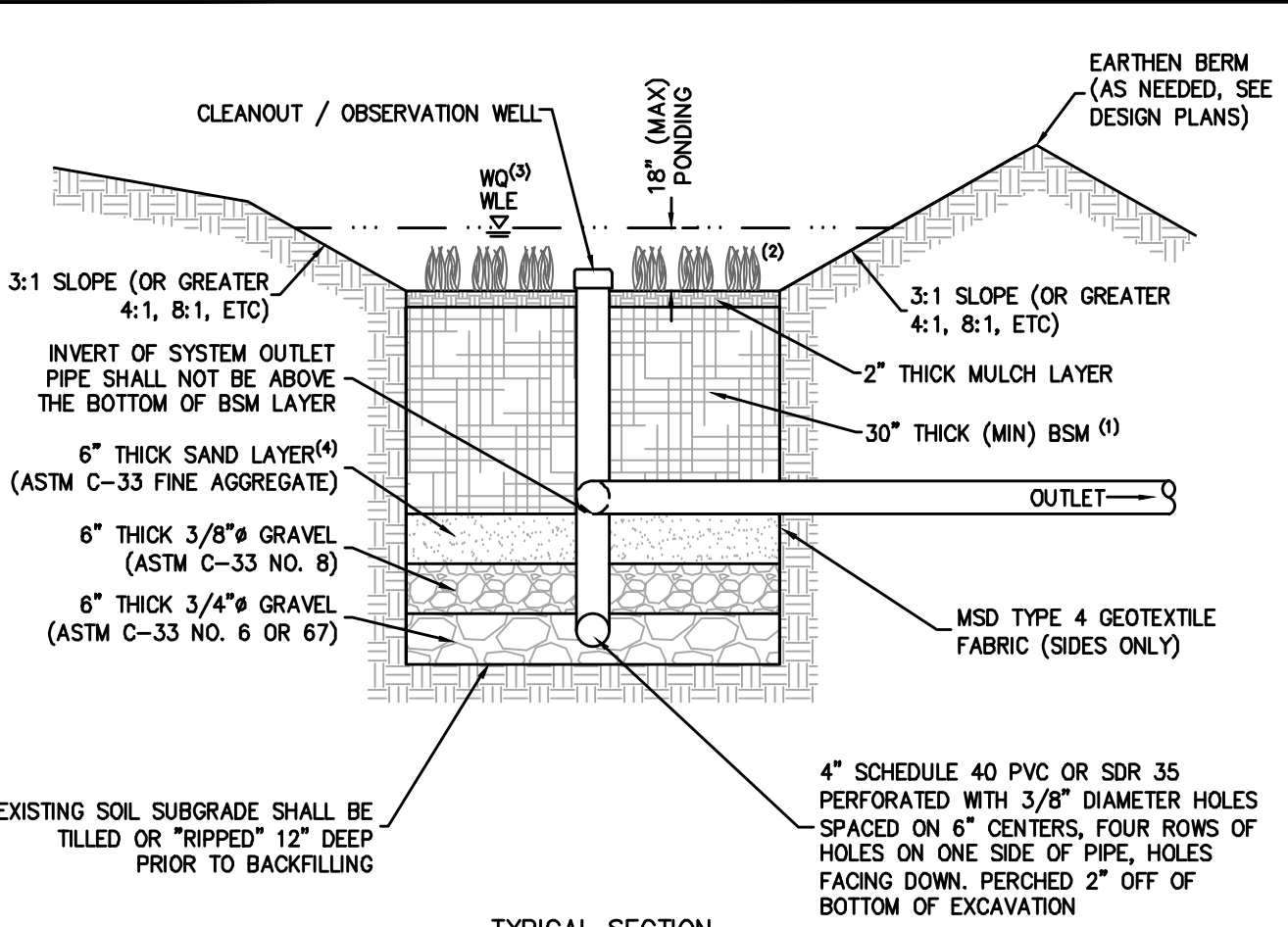


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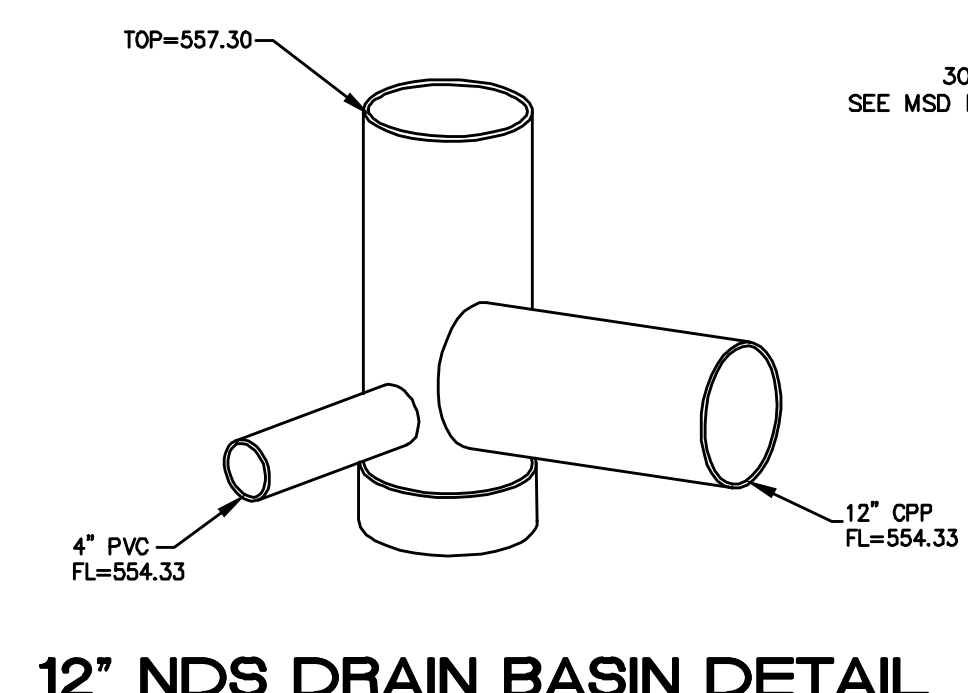
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26MSD-00179, MAP 18PA

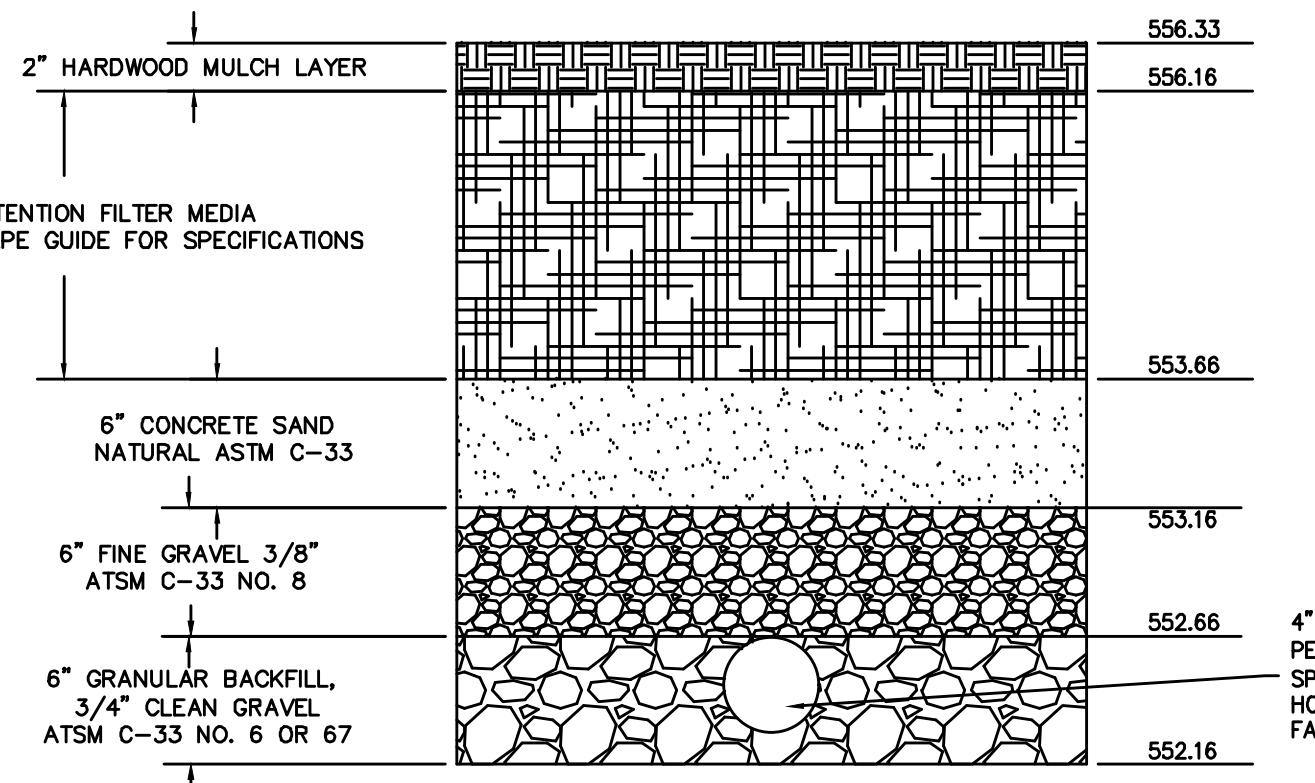
TYPICAL RESIDENTIAL BIORETENTION FACILITY



- NOTES:
- (1) BIORETENTION SOIL MIX (BSM) = 80% SAND, 10% FINE GROUND MULCH, 10% "TOPSOIL", OR MIX PER MSD LANDSCAPE GUIDE FOR BMP'S.
  - (2) SEE MSD LANDSCAPE GUIDE FOR MULCH & VEGETATION. TREES PLANTED IN BSM SHOULD BE ANCHORED.
  - (3) 90TH PERCENTILE (P=1.14\*) RAINFALL EVENT. 1-YR 24-HR & GREATER STORMS MAY BE PONDED ABOVE THIS, UP TO 36" HIGH.
  - (4) OPTIONAL WHERE SAND CONTENT OF BSM IS HIGH (>80%)



12" NDS DRAIN BASIN DETAIL



BIORETENTION ELEVATION DETAIL

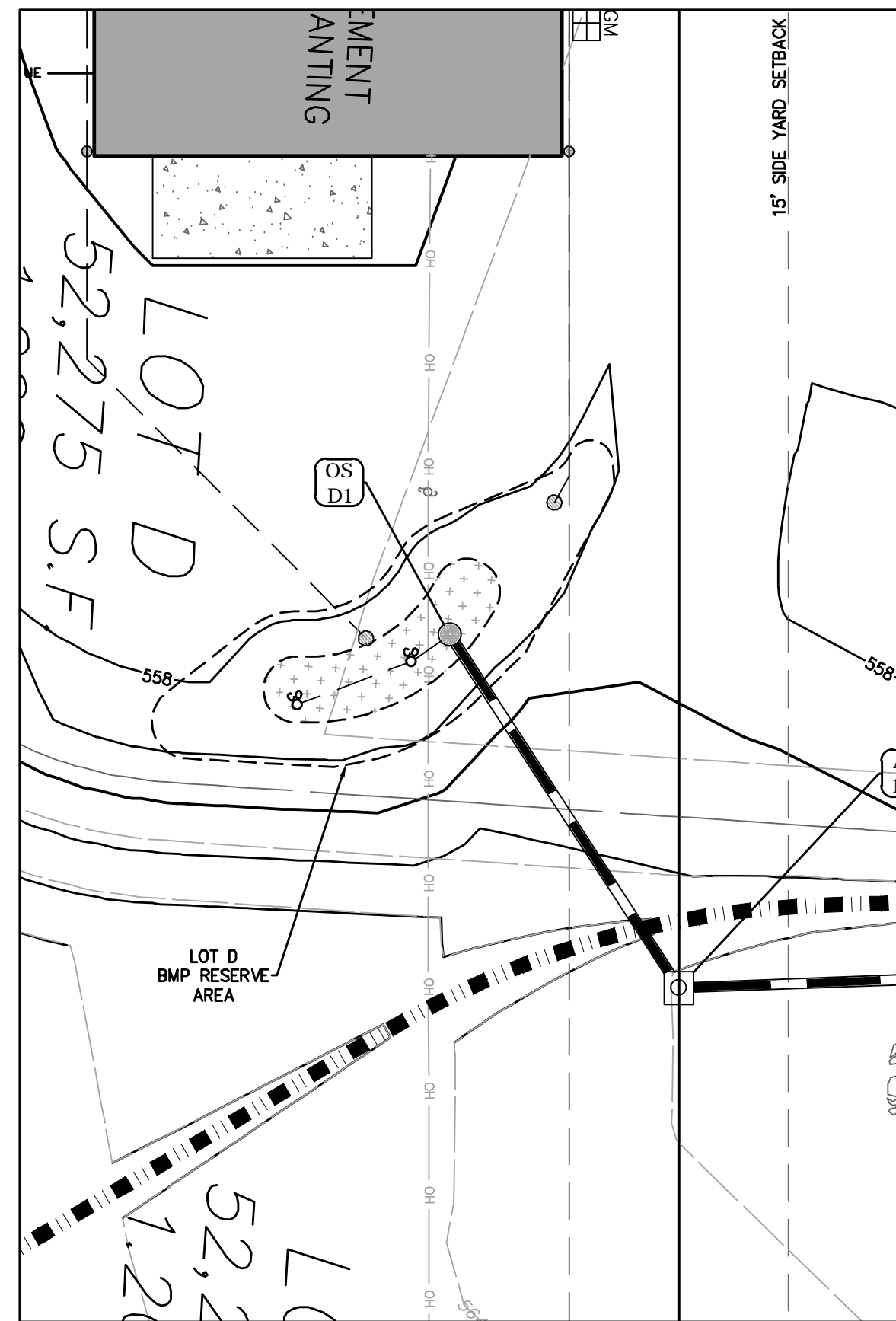
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**BaCor. Estates**  
**IMPROVEMENT PLANS**  
 BMP PLAN - LOT D



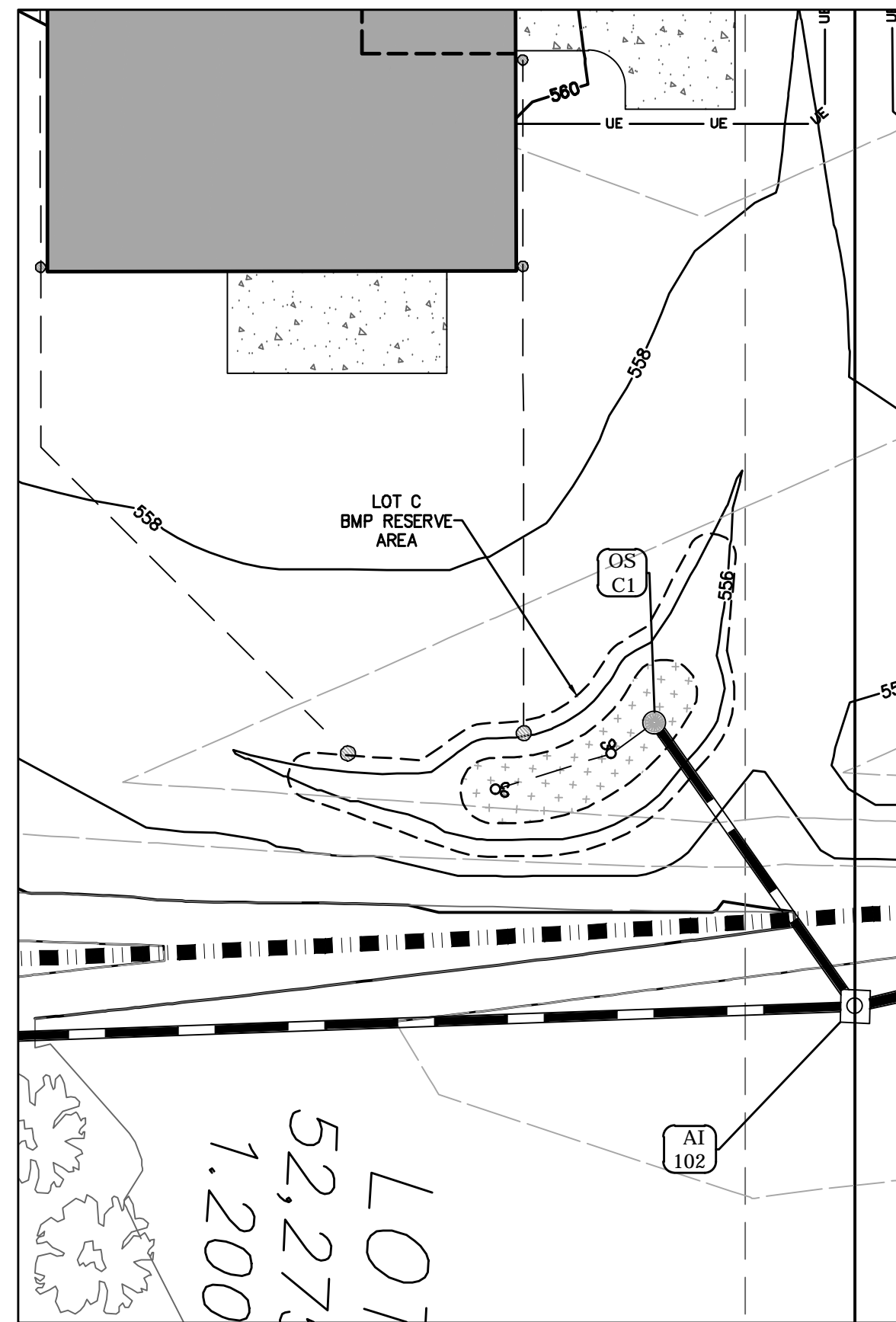
Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF



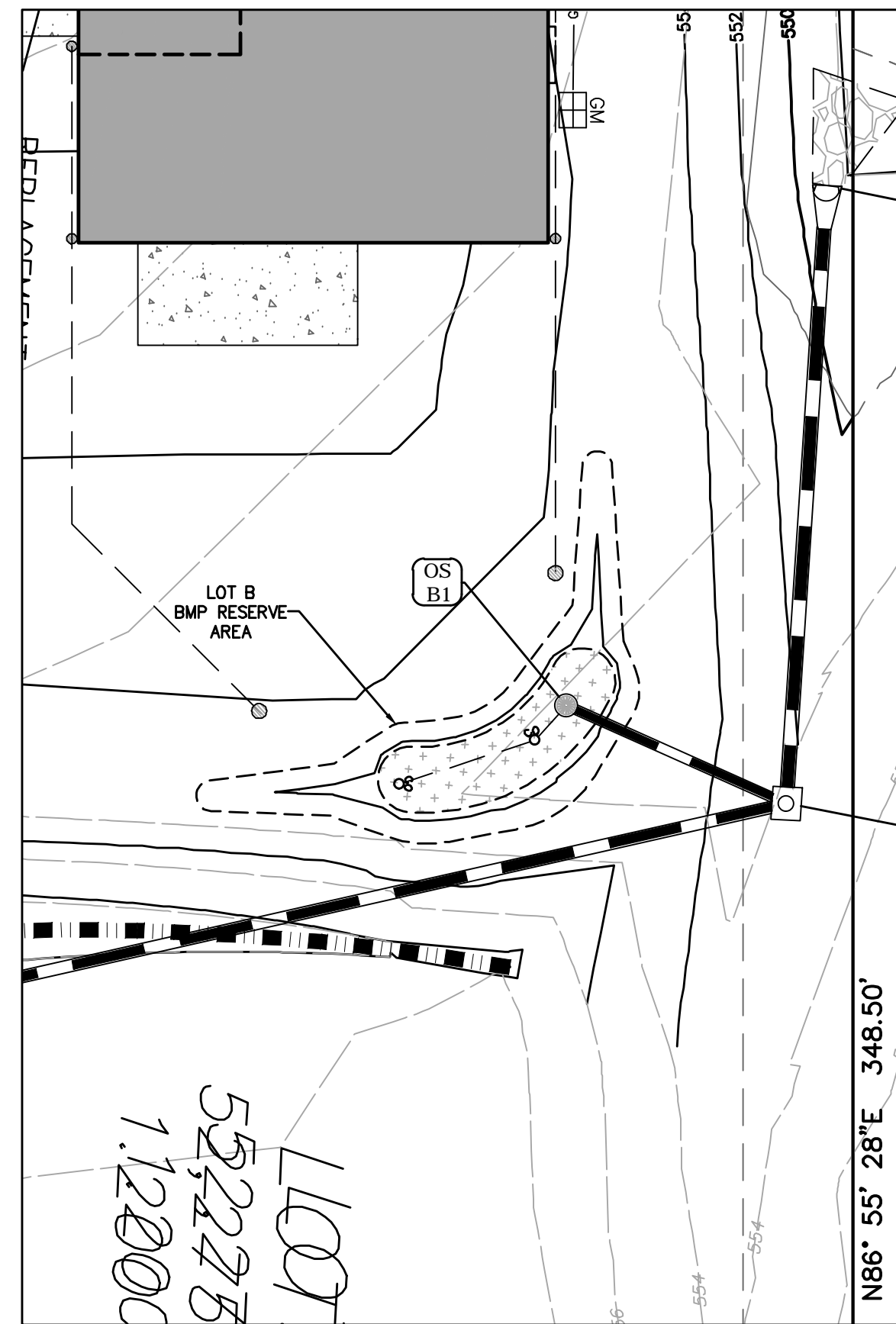
LOT B - BMP PLANTING AREA

Lot B BMP Area - Planting Schedule				
QUANTITY	COMMON NAME	SIZE	SPACING	BOTANICAL NAME
25	Rose Turtlehead	2.5" DCP	2.00 Feet	Chelone Obliqua
16	Orange Coneflower	2.5" DCP	2.00 Feet	Rudbeckia Fulgida
54	Short's Sedge	2.5" DCP	1.50 Feet	Carex Shortiana
Total 95				



LOT C - BMP PLANTING AREA

Lot C BMP Area - Planting Schedule				
QUANTITY	COMMON NAME	SIZE	SPACING	BOTANICAL NAME
25	Rose Turtlehead	2.5" DCP	2.00 Feet	Chelone Obliqua
16	Orange Coneflower	2.5" DCP	2.00 Feet	Rudbeckia Fulgida
54	Short's Sedge	2.5" DCP	1.50 Feet	Carex Shortiana
Total 95				



LOT D - BMP PLANTING AREA

Lot D BMP Area - Planting Schedule				
QUANTITY	COMMON NAME	SIZE	SPACING	BOTANICAL NAME
25	Rose Turtlehead	2.5" DCP	2.00 Feet	Chelone Obliqua
16	Orange Coneflower	2.5" DCP	2.00 Feet	Rudbeckia Fulgida
54	Short's Sedge	2.5" DCP	1.50 Feet	Carex Shortiana
Total 95				

The planting soil should be a sandy loam or loamy sand (should contain a minimum of 60 percent sand, by volume). The clay content for these soils should be less than 10 percent by volume. A saturated hydraulic conductivity of at least 1.0 feet per day (0.5 inches per hour) is required. (Without post-construction verification, a conservative default value of 0.5 feet per day is acceptable. The design rate may be increased to 2 feet/day if field observation, post-construction infiltration testing, or other equivalent testing (as determined by the District) is provided to confirm the design rate is achieved.) The soil should be free of stones, stumps, roots, or other woody material over 1 inch in diameter. For best results, brush or seeds from noxious weeds, such as Johnson grass, mugwort, nutsedge and Canadian thistle should not be present in the soils. Placement of the planting soil should be in lifts of 12 to 18 inches, loosely compacted (rubber wheeled heavy equipment and mechanical tamping devices are not recommended for compaction). The specific characteristics are presented in the following table.

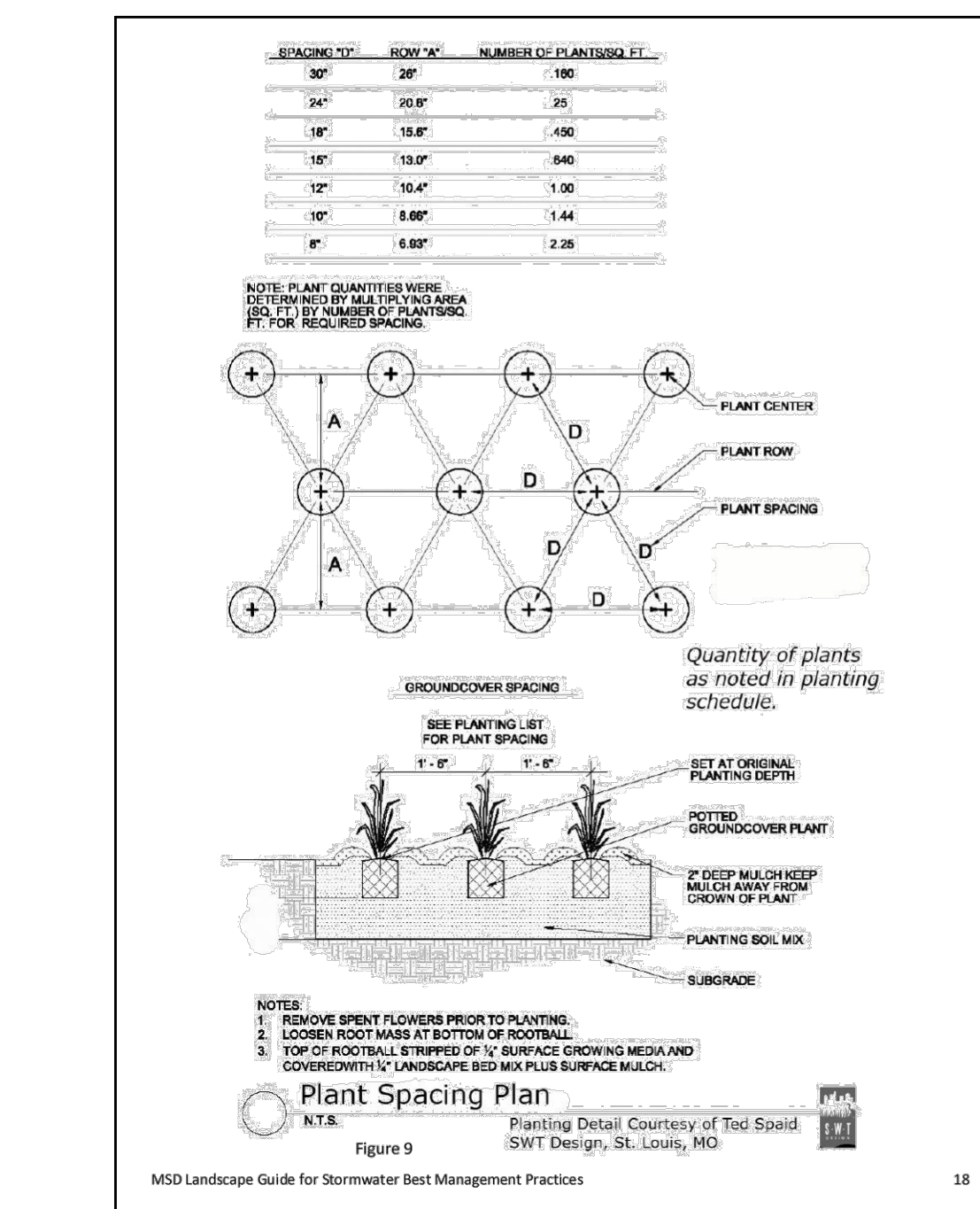
Table 1: Planting Soil Characteristics. Source: Maryland Stormwater Manual

Parameter	Value
pH range	5.2 to 8.00
Organic matter	1.5 to 5.0%
Magnesium	35 lbs. per acre, minimum
Phosphorus (P <sub>2</sub> O <sub>5</sub> )	75 lbs. per acre, minimum
Potassium (K <sub>2</sub> O)	85 lbs. per acre, minimum
Soluble salts	≤ 500 ppm

Table 3: Planting, Water and Mulch Requirements

Water Availability	Required Planting Period	Minimum Container Size	Water Requirement First 3 Weeks*	Water Requirement After 3 Weeks*	Maximum Mulch Depth****
No ability to water after	Late Feb. - April only	2.25" x 3.75" or larger	Water each plug immediately	1" (60 min) every 7 days until plants established**	1.5" for plugs
Manual watering with standard sprinkler	Late Feb. - Early June Sept. - October	4.5" x 5" (quart) or larger in summer & fall	1" (60 min) every 4 days	1" (60 min) every 7 days until plants established**	1.5" for plugs 2.5" for quarts
Automatic irrigation (set to water more frequently than normal during first two months after planting)	Late Feb. - Early Oct.	2.25" x 3.75" (plug) or larger in spring 4.5" x 5" (quart) or larger in summer & fall	1" (60 min) every 4 days in spring and fall 1" (60 min) every 3 days in summer	1" (60 min) every 7 days until plants established***	1.5" for plugs 2.5" for quarts

\*This water amount includes natural rainfall. If you get a 1/8 inch of natural rain then you will need to add a 1/8 inch of water to meet the 1 inch requirement.  
\*\*Requires transport of water to the planting site in large containers and pouring enough water onto each plant (after planting) to moisten the entire planting pit.  
\*\*\*Plants are established when roots have grown out of the container soil and into the native soil by 3-5 inches. This normally takes 3-4 months for most perennials and grasses and up to 6-7 months for trees and shrubs.  
\*\*\*\*Shredded leaf compost is recommended for use with perennials and grasses. Shredded bark mulch is recommended for tree and shrub plantings at a depth of 3 inches.



**BMP SHOP DRAWING NOTE:**  
MSD Shop drawing submittal required for the bioretention facility prior to construction.

MSD Contact: Please contact the District's Construction Management Division at (314) 335-2072 for questions.

**LIMITS OF DISTURBANCE:**  
The contractor shall stay within the limits of disturbance as shown on the plans and minimize disturbance within the work area whenever possible.

**INFILTRATION TESTING - FOR WHEN USING ONSITE SOILS AND/OR MIXING ONSITE FOR PLANTING SOIL**

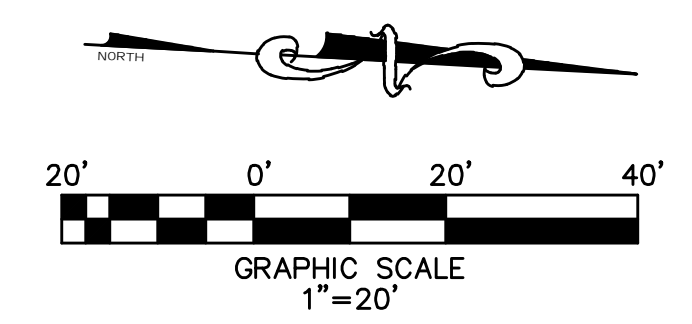
The in-place permeability of the planting soil shall be 2.0 to 3.5 ft/day, and verified by an infiltration test performed per the Maryland Stormwater Manual, Appendix D.1. Infiltration Testing Requirements (Field Testing Required). A minimum of one percolation test shall be performed per facility. The MSD Field Inspector shall be allowed to select the locations of percolation tests. The MSD Field Inspector shall be provided a copy of all test results, signed and sealed by a Missouri Professional Engineer. Test results shall report in units of ft/day. Results shall demonstrate acceptable permeability prior to construction approval. Note, these test are not required if utilizing premixed planting soil supplied by a local MSD approved soils supplier.

☐ DENOTES BMP PLANTING AREA

**WET AREA MIX**

Grasses/Sedges	Plant Name	Height	Color	Flower	Notes
Carex americana	Yellow fringed sedge	2-3	1.5	tan	
Carex grisea	Blue sedge	1-2	1.5	tan	
Carex muskugurghensis	Palm sedge	2-3	1.5	tan	
Carex shortiana	Short's sedge	2	1.5	brown	
Chasmanthium latifolium	River oats	2-4	1.5	green	
Elymus virginicus	Virginia wild rye	2-3	1.5	yellow	
Panicum virgatum	Switchgrass	3-6	2.5	pink	
Scirpus atrovirens	Great green bullrush	2-3	1.5	green	
<b>Forbs</b>					
Achillea incanata	Meadow milkweed	3-5	1.5	pink	
Chelone obliqua	Rose turtlehead	3-4	2	rose/purple	
Equisetum arvense	Horsetail	1-2	1.5	green/brown	
Helianthus autumnalis	Sneezeweed	3-4	2	yellow	
Iris virginica	Southern blueflag iris	2-3	2	blue	
Lobelia siphilitica	Blue lobelia	2-3	1.5	blue	
Ludwigia alternifolia	Spotted dock	2-3	1	yellow	
Pennisetum digitata	Smooth beard tongue	2-3	1.5	white	
Physalis virginiana	Obnoxious Plant	2-3	1.5	pink	
Rudbeckia fulgida	Orange coneflower	2	2	yellow	
<b>Annuals (Optional)</b>					
Bidens biternata	Bur marigold	3-6	1.5	yellow	

**Requirements:**  
Local Ecotype Rule: Plants of Missouri or Southern Illinois ecotype are required.  
P.L.S. means pure live seed; or seed that has been tested for purity and viability. This is done by most seed nurseries and should be included in your seed order.  
City denotes an area above the 1 year ponding or bank flow elevation.  
W.M. denotes an area that is at or below the 1 year ponding or bank flow elevation.  
Must use a minimum of 6 grass/sedge species and 8 forb species for each BMP. It is recommended that this list be provided to landscape contractors/buyers in case substitutions are required.



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BMP PLANTING PLAN

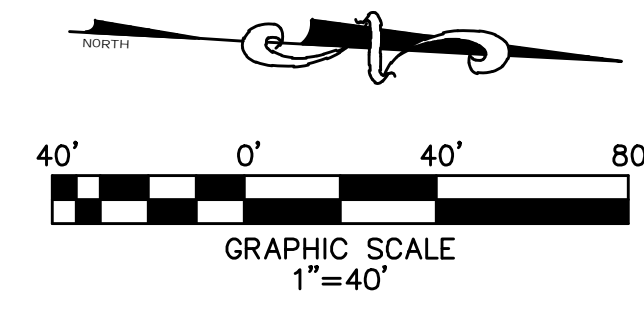
**STATE OF MISSOURI**  
**ROBERT TIEMANN**  
PROFESSIONAL ENGINEER  
NUMBER PE-2016001308

Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF

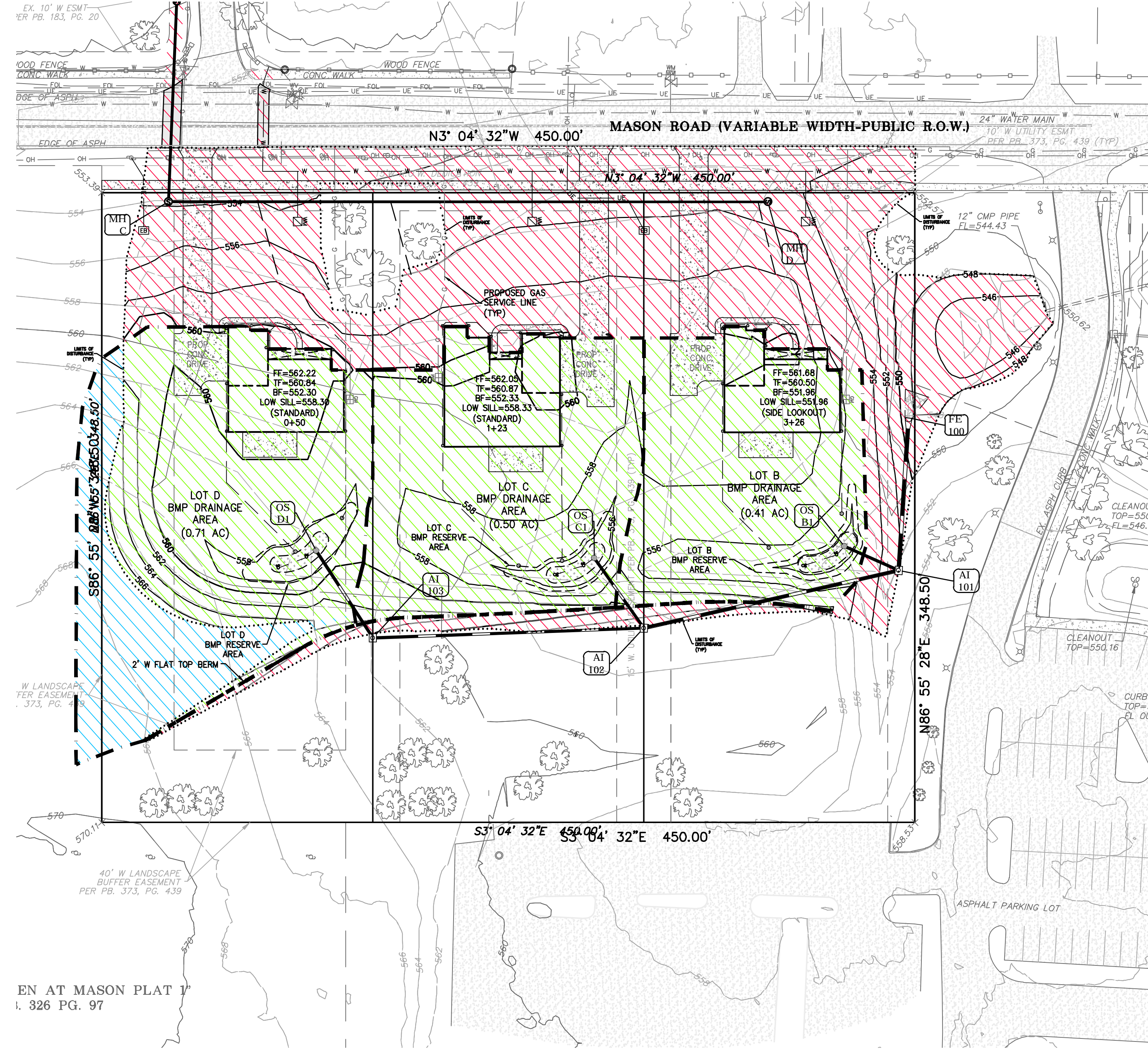
**13 OF 29**

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.  
**26MSD-00179, MAP 18P4**



- DENOTES DISTURBED AREA TREATED BY BIORETENTION
- DENOTES DISTURBED AREA UNTREATED BY BIORETENTION
- DENOTES UNDISTURBED AREA TREATED BY BIORETENTION

AREA DESCRIPTION	TOTAL ACRES	IMPERVIOUS ACRES	PERVIOUS ACRES	BMP AREA DESCRIPTION	BMP AREA TYPE
<b>Disturbed Treated</b>					
	0.410	0.100	0.310	B	Bio-Retention
	0.500	0.120	0.380	C	Bio-Retention
	0.710	0.100	0.610	D	Bio-Retention
<b>TOTAL TREATED</b>	<b>1.620</b>	<b>0.320</b>	<b>1.300</b>		
<b>Undisturbed Treated</b>					
	0.210	0.000	0.210		
<b>TOTAL TREATED</b>	<b>0.210</b>	<b>0.000</b>	<b>0.210</b>		
<b>Disturbed Untreated</b>					
	1.086	0.090	0.996		
<b>TOTAL UNTREATED</b>	<b>1.086</b>	<b>0.090</b>	<b>0.996</b>		
<b>TOTAL DISTURBED AREA</b>	<b>2.706</b>	<b>0.100</b>	<b>1.306</b>		
<b>TOTAL TREATMENT AREA</b>	<b>1.830</b>	<b>0.320</b>	<b>1.510</b>		



BMP AREA	DRAINAGE AREA	CAPTURED AREA	PRE-DEV IMP	POST-DEV IMP	IMP CAPTURED	IMPERVIOUS AREA (ft <sup>2</sup> )	WQv REQUIRED (cf)	WQv PROVIDED (cf)
B	0.460	0.460	0.000	0.100	0.100	4,376	344	374
C	0.500	0.500	0.000	0.120	0.120	5,256	413	416
D	0.714	0.714	0.000	0.100	0.100	4,525	390	424

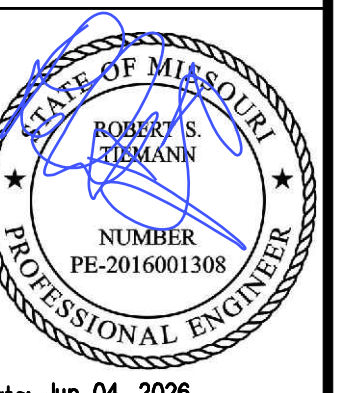
EN AT MASON PLAT 1  
i. 326 PG. 97



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**26MSD-00179, MAP 18P4**

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**BaCor. Estates**  
**IMPROVEMENT PLANS**  
BMP DRAINAGE AREA MAP

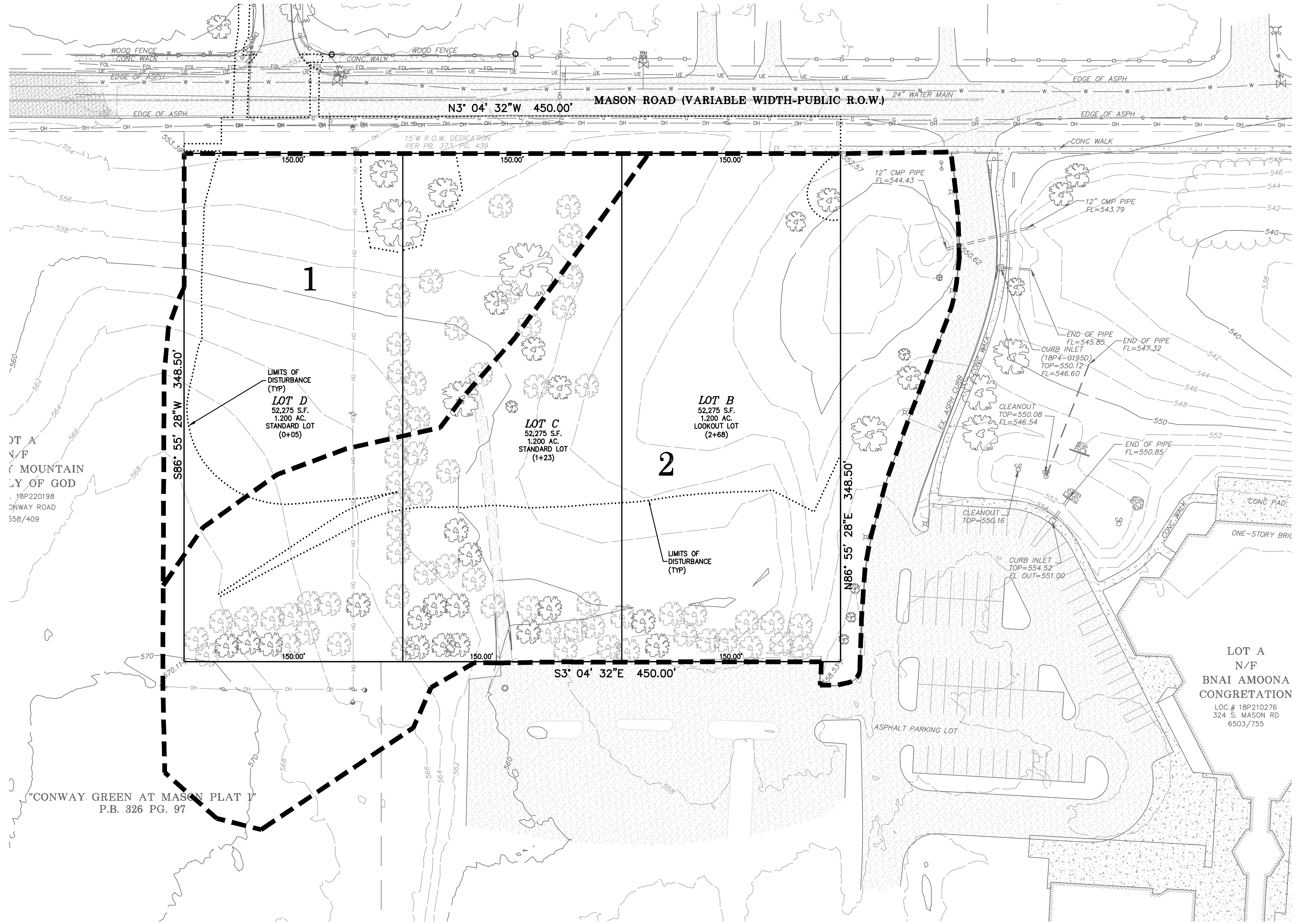
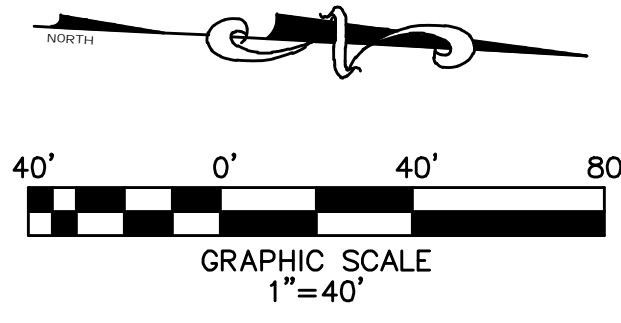


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Robert Tiemann  
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Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

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DA	Existing Drainage Areas				RUNOFF				Discharge Location
	square Feet	Acres	impervious area	Greenspace	P.I. Imperv	P.I. Greenspace	15yr cfs	Total	
1	54,355	1.248	0	54,355	3.54	1.70	0.000	2.121	MASON ROAD
2	139,141	3.194	1,370	137771	3.54	1.70	0.111	5.488	EX. 12" CMP
							TOTAL	7.609	

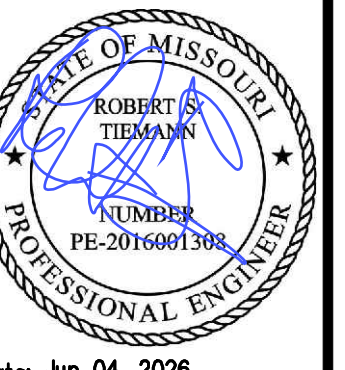
\*Runoff volume shown above is calculated using the rational method, time of concentration is 20min, with rainfall intensities for the 15 year

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**26MSD-00179, MAP 18P4**

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EXISTING DRAINAGE AREA MAP

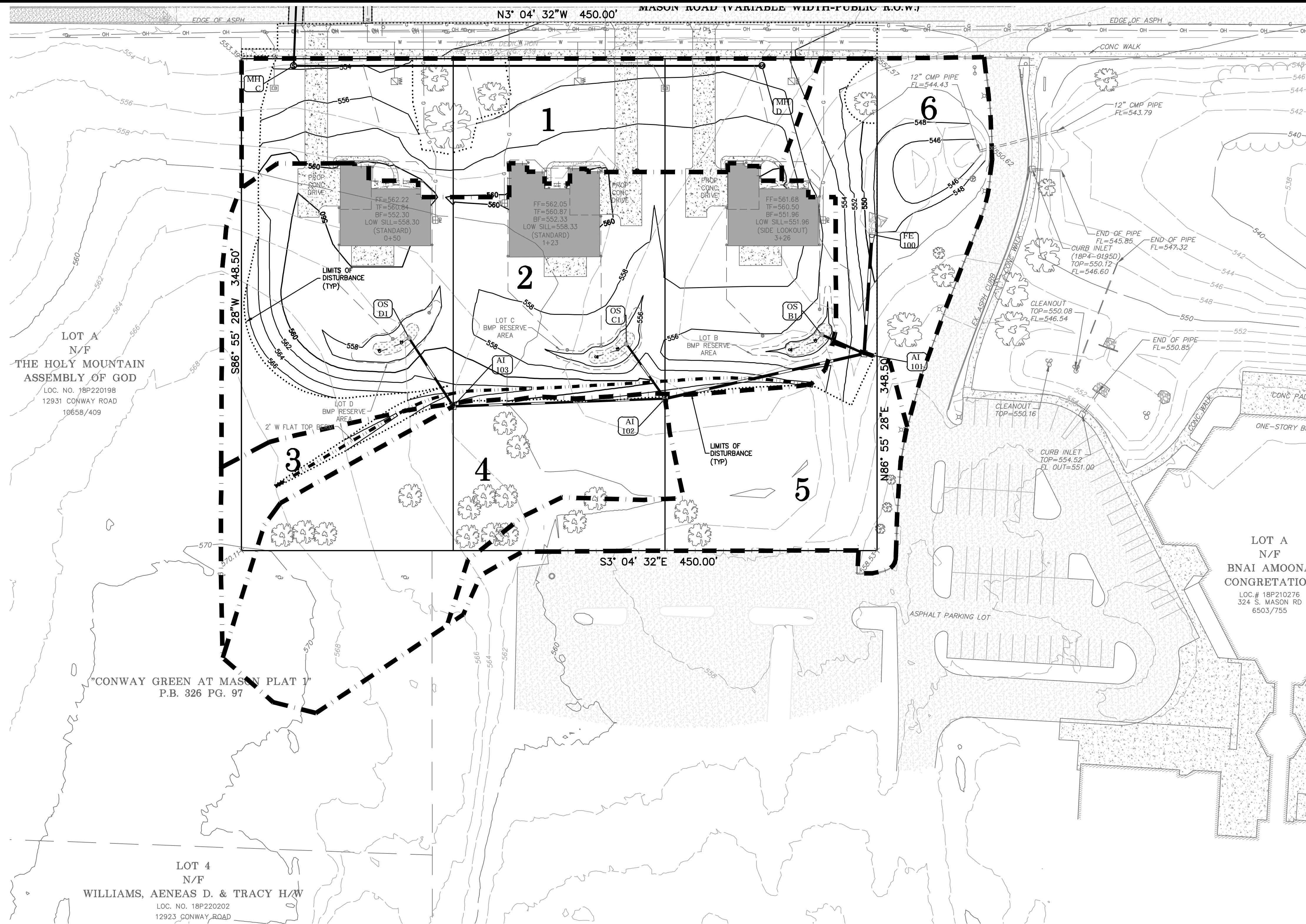
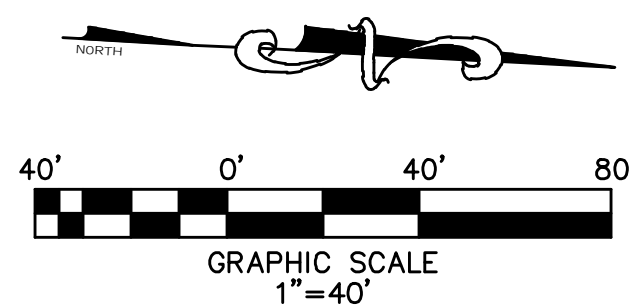


Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF



DAM	Proposed Drainage Areas				RUNOFF			Discharge Location		
	square Feet	Acres	Impervious Area	Greenspace	P.I. Impvr	P.I. Greenspace	15yr		Total	
1	32,862	0.754	4,285	28,577	3.54	1.70	0.348	1.463	MASON ROAD	
2	70,172	1.611	14,729	55,443	3.54	1.70	1.115	3.361	BMPs	
3	6,564	0.151	0	6,564	3.54	1.70	0.000	0.256	AI103	
4	35,436	0.813	0	35,436	3.54	1.70	0.256	1.383	AI102	
5	24,926	0.572	0	24,926	3.54	1.70	0.000	0.973	AI101	
6	23,575	0.541	0	23,575	3.54	1.70	0.000	0.920	Ex 12" CMP Culvert	
TOTAL								8.356		

\*Runoff volume shown above is calculated using the rational method, time of concentration is 20min, with rainfall intensities for the 15 year rain event.

DRAINAGE AREA DISCHARGE POINT SUMMARY - EXISTING			
DRAINAGE AREA (ACRES)	ACRES	RUNOFF	
1	1.25	2.121	c.f.s.
2	3.19	5.488	c.f.s.
TOTAL	4.44	7.609	c.f.s.

DRAINAGE AREA DISCHARGE POINT SUMMARY - PROPOSED			
DRAINAGE AREA (ACRES)	ACRES	RUNOFF	
1	0.75	1.463	c.f.s.
2	1.61	3.361	c.f.s.
3	0.15	0.256	c.f.s.
4	0.81	1.383	c.f.s.
5	0.57	0.973	c.f.s.
6	0.54	0.920	c.f.s.
TOTAL	2.52	8.356	c.f.s.

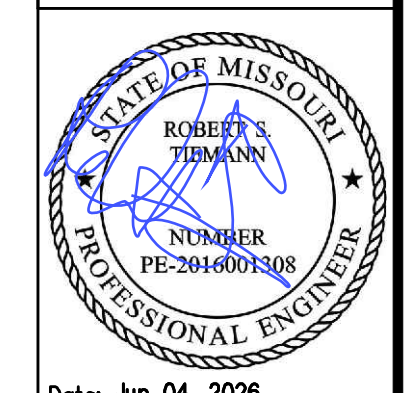
RUNOFF MITIGATION TABLE		
EXISTING RUNOFF	7.609	c.f.s.
PROPOSED RUNOFF	8.356	c.f.s.
RUNOFF DIFFERENTIAL	0.747	c.f.s.

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**BaCon Estates**  
**IMPROVEMENT PLANS**  
PROPOSED DRAINAGE AREA MAP



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF

16 OF 29



**SILTATION CONTROL NOTES:**

1. Siltation control shall be installed prior to any grading or construction operation and shall be inspected and maintained as necessary to insure their proper function until sufficient vegetation has been established to prevent erosion control.
2. The maintenance of all siltation controls shall be the responsibility of the developer.
3. Additional siltation control may be required as directed by the local governing authority.
4. All grading areas shall be protected from erosion by erosion control devices and/or seeding and mulching as required by the local governing authority.
5. Additional siltation control devices may be required as directed by the local governing authority.

**CONSTRUCTION SCHEDULE OF BMP'S:**

1. Install construction entrance, parking and washdown area. Construction parking area to be utilized as designated equipment, maintenance and fuel area. Remove when vehicles no longer access unpaved areas.
2. Prior to clearing, siltation fences are to be installed at the perimeter of the land as shown. Remove when permanent vegetation of slope is established and approved by the local governing authority.
3. Install inlet protection around existing area inlet prior to land disturbance. Remove after contributing drainage areas have been adequately stabilized and approved by the local governing authority.
4. Construct rock check dams once drainage swale is constructed. Remove when upstream areas are stabilized with vegetation and approved by the local governing authority.
5. Seed and mulch all disturbed areas when grading operations are completed.

**EROSION CONTROL REQUIREMENTS:**

1. Soil stabilization shall be completed with five days of clearing or inactivity in construction.
2. If seeding or another vegetative erosion control method is used it shall become established within two weeks or the local governing authority may require the site to be reseeded or a non-vegetative option employed.
3. Techniques shall be employed to ensure stabilization on steep slopes and in drainage ways.
4. Soil stockpiles must be stabilized or covered at the end of each workday, or perimeter controls must be in place to prevent silt from the stockpile from leaving the site.
5. The entire site must be stabilized, using a heavy mulch layer or another method that does not require germination to control erosion, at the close of the construction season.
6. Techniques shall be employed to prevent the blowing of dust or sediment from the site.
7. Techniques shall be employed to divert upland runoff past disturbed slopes.

**SEEDING SCHEDULE:**

Vegetation shall be established on exposed soil after a phase of rough or finished grading has been completed or areas where no activity will occur for 30 days. See seeding rates on sheet 16 of this plan.

**ROUTINE INSPECTIONS & MAINTENANCE:**

BMP's & Site are to be inspected on a regular schedule (once per week minimum) and within 48 hours of a rain event that causes storm water runoff to occur onsite. Written inspection reports shall be submitted to the St. Louis County Public Works.

**CONTAINMENT FAILURE PLAN:**

In the event of any loss of contained sediment:

1. Repair any damaged siltation fences.
2. Clean up any necessary silted areas.
3. Restore any necessary silted areas.
4. Provide documentation of actions & mandatory reporting to St. Louis County Public Works.

**ESTIMATED BMP QUANTITIES:**

Item	Quantity	Unit
Siltation fences:	700	L.F.
Parking & Washdown area:	1	Ea.
Seeding, mulch and fertilizer areas:	2.63	Ac.
Fiber Roll:	6	L.F.
Inlet Protection:	4	Ea.

**CONTROL REQUIREMENTS FOR CONSTRUCTION MATERIALS:**

1. Spill prevention and control facilities for materials such as paint, solvents, petroleum products, chemicals, toxic or hazardous substances, substances regulated under the Resource Conservation and Recovery Act (RCRA) or the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA), and any waters generated from the use of such materials and substances, including their containers. Any containment systems employed to meet this requirement shall be constructed of materials compatible with the substances contained and shall be adequate to protect both surface and ground water.
2. Collection and disposal of discarded building materials and other construction site wastes.
3. Litter control.
4. Control of concrete truck washouts.
5. Assurance that on-site fueling facilities will adhere to applicable federal and state regulations concerning storage and dispensers.
6. Provision of sufficient temporary toilet facilities to serve number of workers.

**PERMITTEE(OWNER/DEVELOPER) SHALL AMEND THE SWPPP WHENEVER:**

1. Design, operation or maintenance of BMP's is changed.
2. Design of the construction project is changed that could significantly affect the quality of the storm water discharges.
3. Site operator's inspections indicate deficiencies in the SWPPP or any BMP.
4. Inspections by the local governing authority or by the Missouri Department of Natural Resources indicate deficiencies in the SWPPP or any BMP.
5. The SWPPP is determined to be ineffective in significantly minimizing or controlling erosion or excessive sediment deposits in streams or lakes.
6. The SWPPP is determined to be ineffective in preventing pollution of waterways from construction wastes, chemicals, fueling facilities, concrete truck washouts, toxic or hazardous materials, site litter or other substances or wastes likely to have an adverse impact on water quality.
7. Total settleable solids from a storm water outfall exceeds 0.5 mL/L/hr if the discharge is within the prescribed proximity of a "Valuable Resource Water" as defined by the MDNR.
8. Total settleable solids from a storm water outfall exceeds 2.5 mL/L/hr for any other outfall.
9. The local governing authority or Missouri Department of Natural Resources determines violations of water quality standards may occur or have occurred.

**PERMITTEE (OWNER/DEVELOPER) SHALL:**

1. Notify all contractor and other entities (including utility crews, government employees, or their agents) who will perform work at the site, of the existence of the SWPPP and what actions or precautions shall be taken while onsite to minimize the potential for erosion and the potential for damaging any BMP.
2. Determine the need for and establish training programs to ensure that all site workers have been trained, at a minimum, in erosion control, material handling & storage and housekeeping.
3. Provide copies of the SWPPP to all parties who are responsible for installation, operation or maintenance of any BMP..
4. Maintain a current copy of the SWPPP on the site at all times

**ESTIMATED SCHEDULE OF OPERATIONS:**

Proposed start of operations – June, 2026  
Approximate durations:

Install construction parking and washdown area	1 day	(June 2026)
Install perimeter silt fence	2 days	(June 2026)
Clearing	5 days	(June 2026)
Rough Grading	3 weeks	(June–July 2026)
Sewer Installation	2 weeks	(July 2026)
Final grading & vegetation	52 week	(July–July 2027)
Removal of BMP's		When conditions are met

Note: Schedule durations are subject to change due to weather conditions. Some operations will have overlapping time frames.

**GENERAL NOTES:**

1. All existing improvements are to remain unless otherwise noted.
2. See sheet 1 and 2 for additional notes, legend and abbreviations.
3. Maximum slope permitted on the project is 3:1.
4. Existing elevations shown are approximate and shall be confirmed by the contractor prior to construction.

**EARTHWORK QUANTITIES: (Finish Grade Volume)**

CUT	FILL	
5,875 CU. YDS.	4,670 CU. YDS.	1,205 CU. YDS. CUT

Note: the above yardage is an approximation only, NOT FOR BIDDING PURPOSES. Contractor shall verify quantities prior to construction.

\*Volume above includes earthwork quantities for sediment basin construction.

**HAUL ROUTE:**

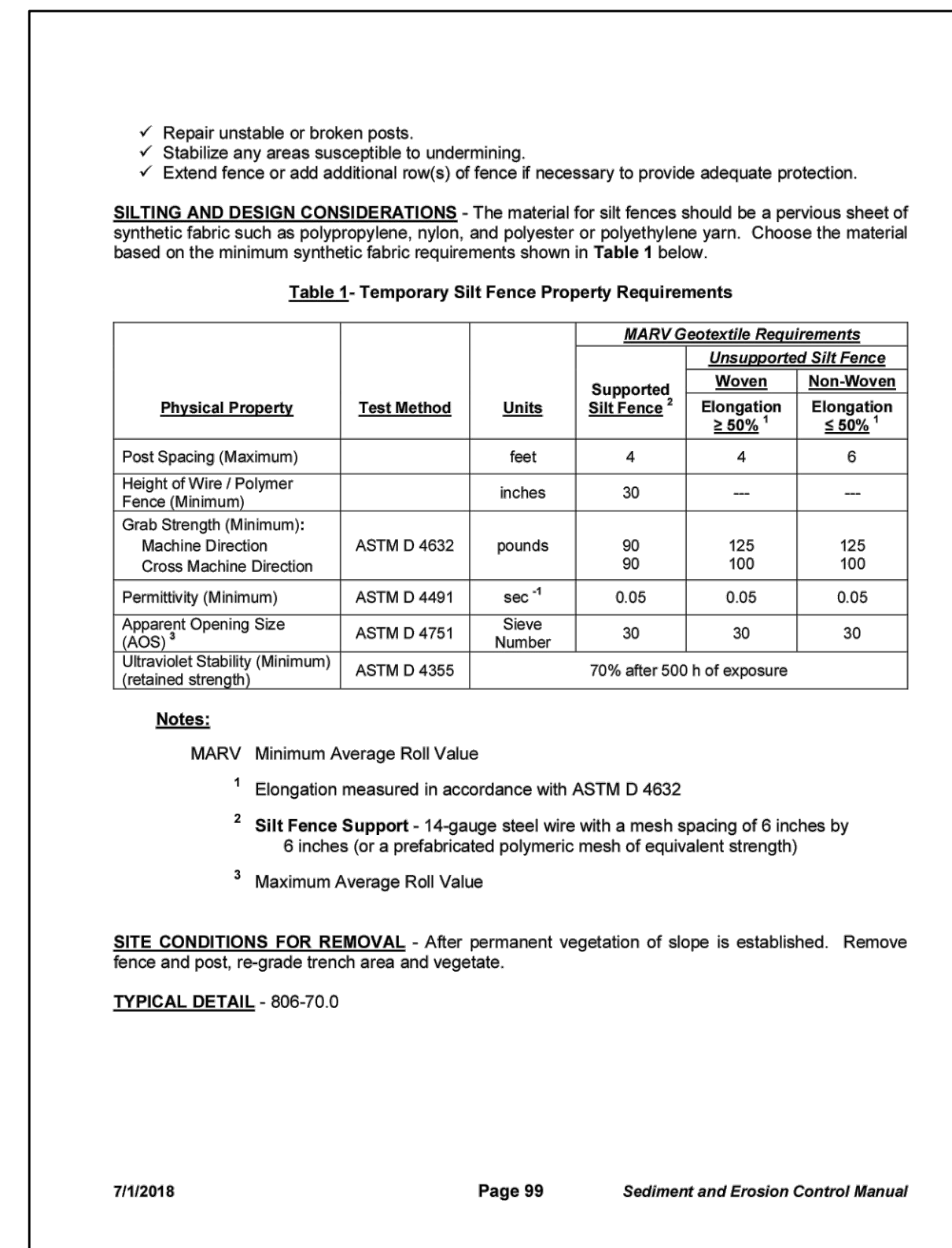
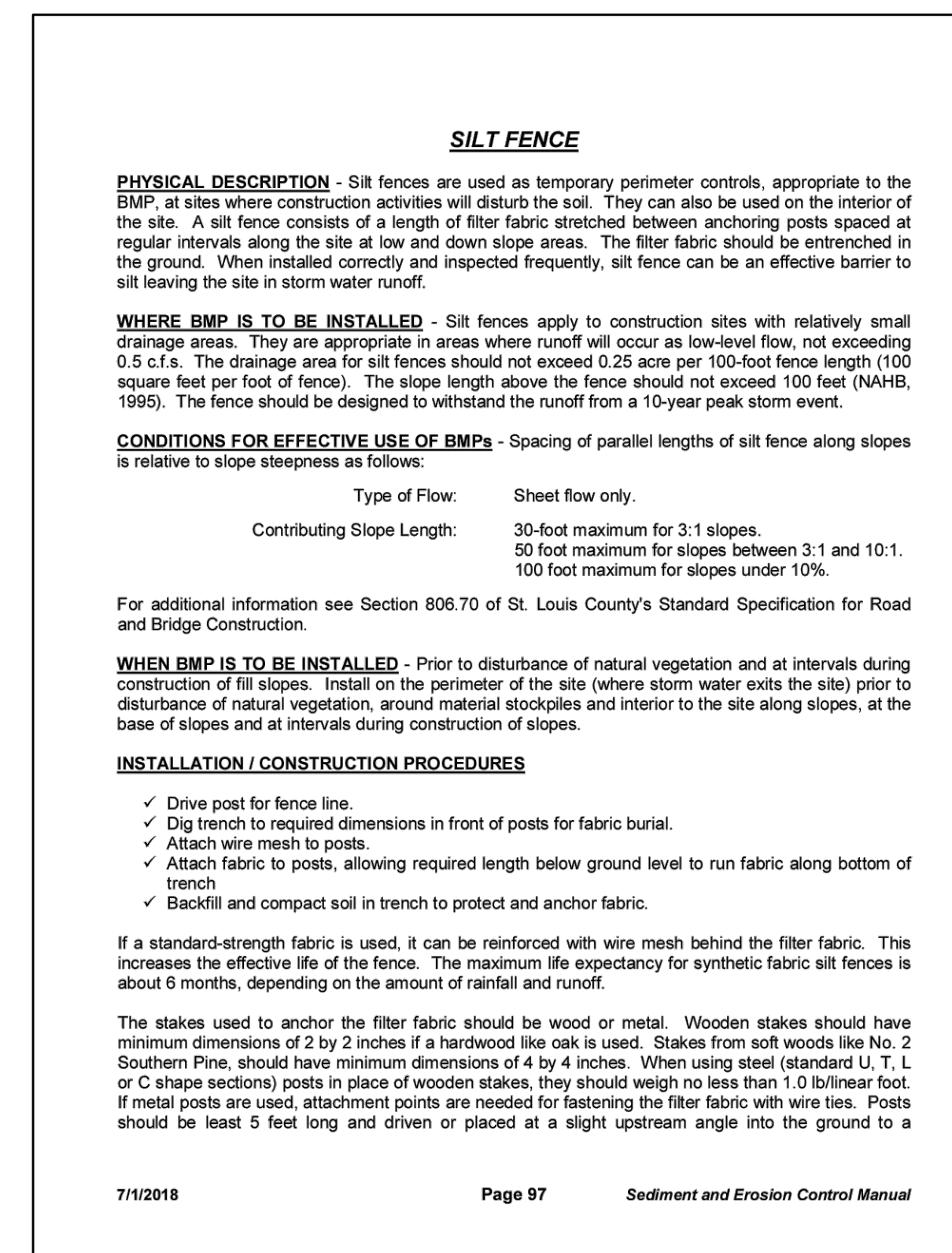
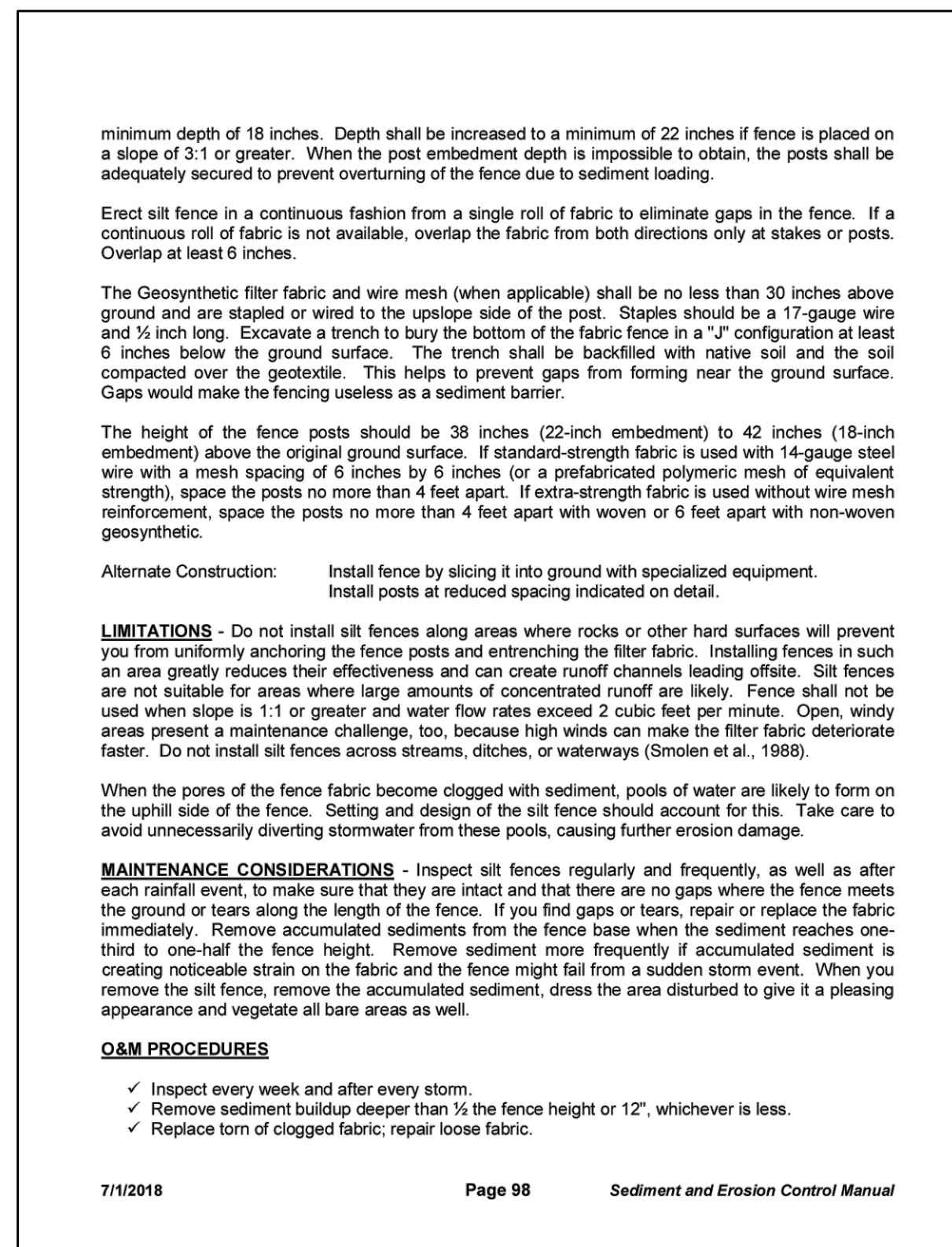
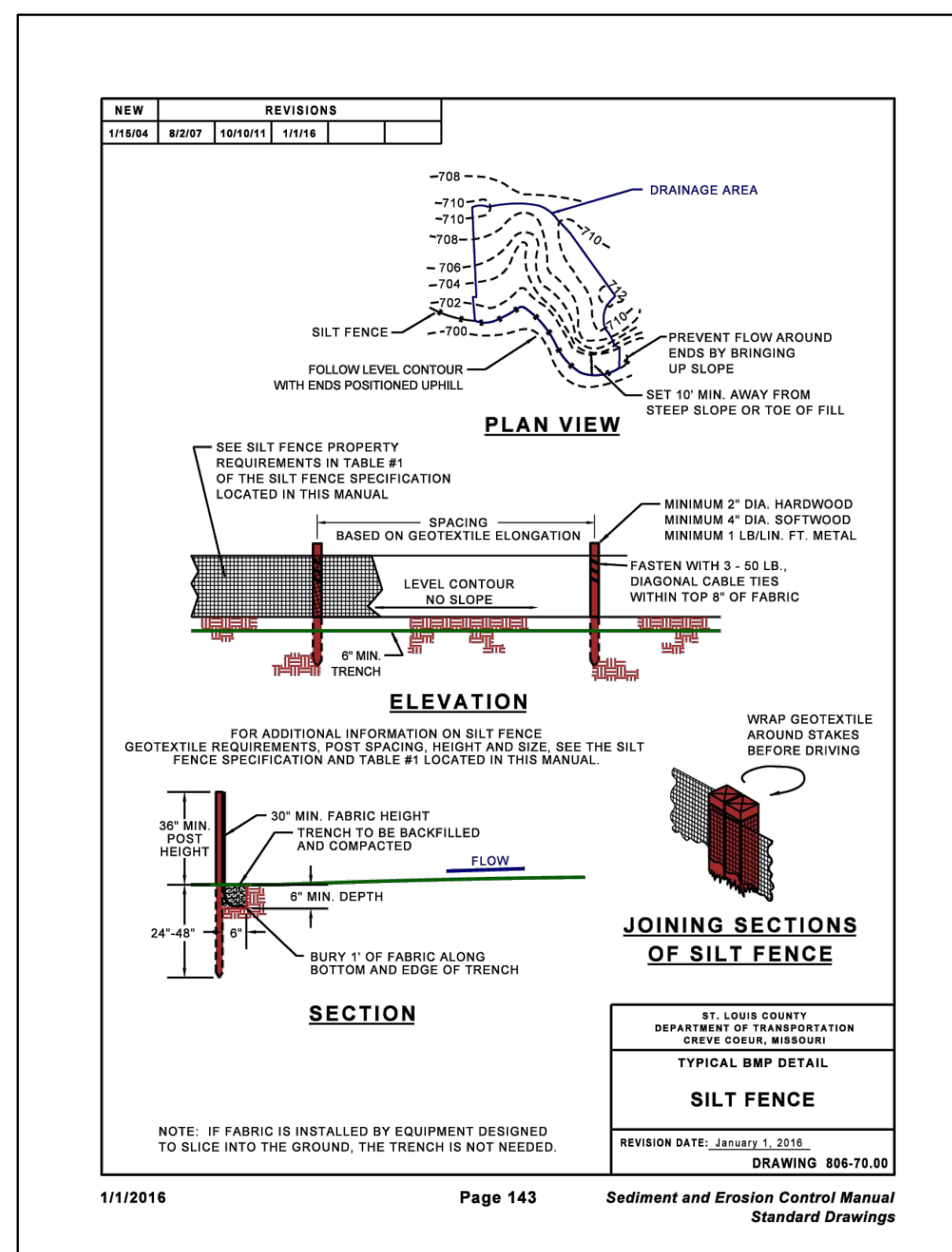
Fill material for this site will be obtained on-site.

Haul Route: Material to be hauled to Champ Landfill; from the site take S Mason Road South to Conway Road; head West on Conway Road to Hwy 141 (Maryland Heights Expressway); take Hwy 141 North (Maryland Heights Expressway) to Riverport Drive East to Champ Landfill.

Haul-Off Required:	770 CU. YDS.
Truck Capacity:	9 CU. YDS.
Number of Trucks:	5
Number of Trips/Day:	10

**SWPPP NOTES:**

1. Any land clearing, construction, or development involving the movement of earth shall be in accordance with the Storm Water Pollution Prevention Plan, and the person issued a Land Disturbance Permit assumes and acknowledges responsibility for compliance with the St. Louis County Land Disturbance Code and the approved Storm Water Pollution Prevention Plan at the site of the permitted activity.
2. Prior to any Major Land Disturbance Activity, a land disturbance permit form the State of Missouri Department of Natural Resources is required.
3. There are no known sink holes, springs, seeps, or karst features on the subject property.
4. No onsite industrial activities such as concrete or asphalt batch plans are proposed for stock pile operations.
5. Upon the event that stormwater run-off occurs on-site the client or contractor shall immediately notify by email and phone call to the Special Inspector to inform him of the stormwater runoff and to inspect the repaired/replaced BMP.
6. There are no proposed dewatering operations proposed with the stock pile operations.

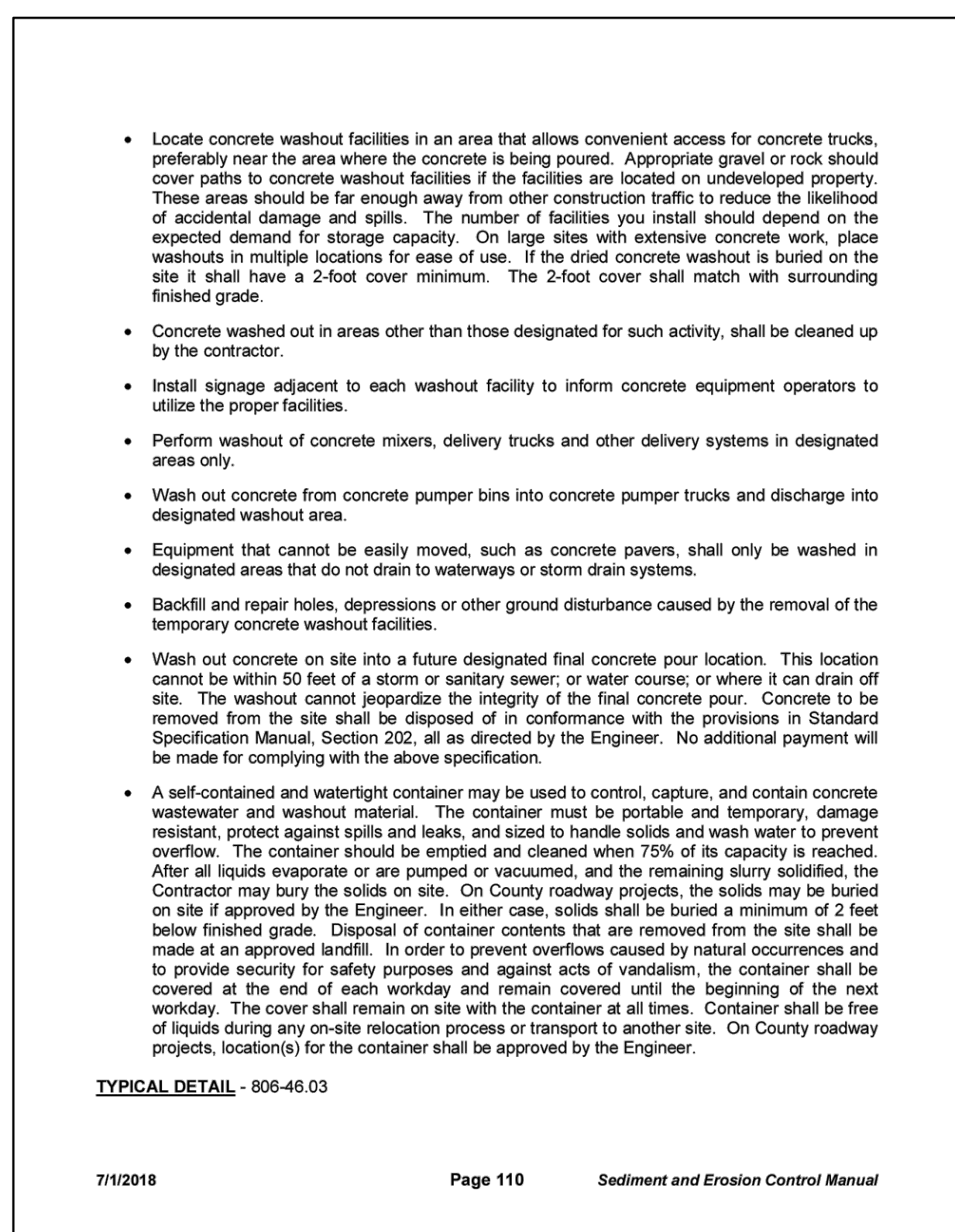
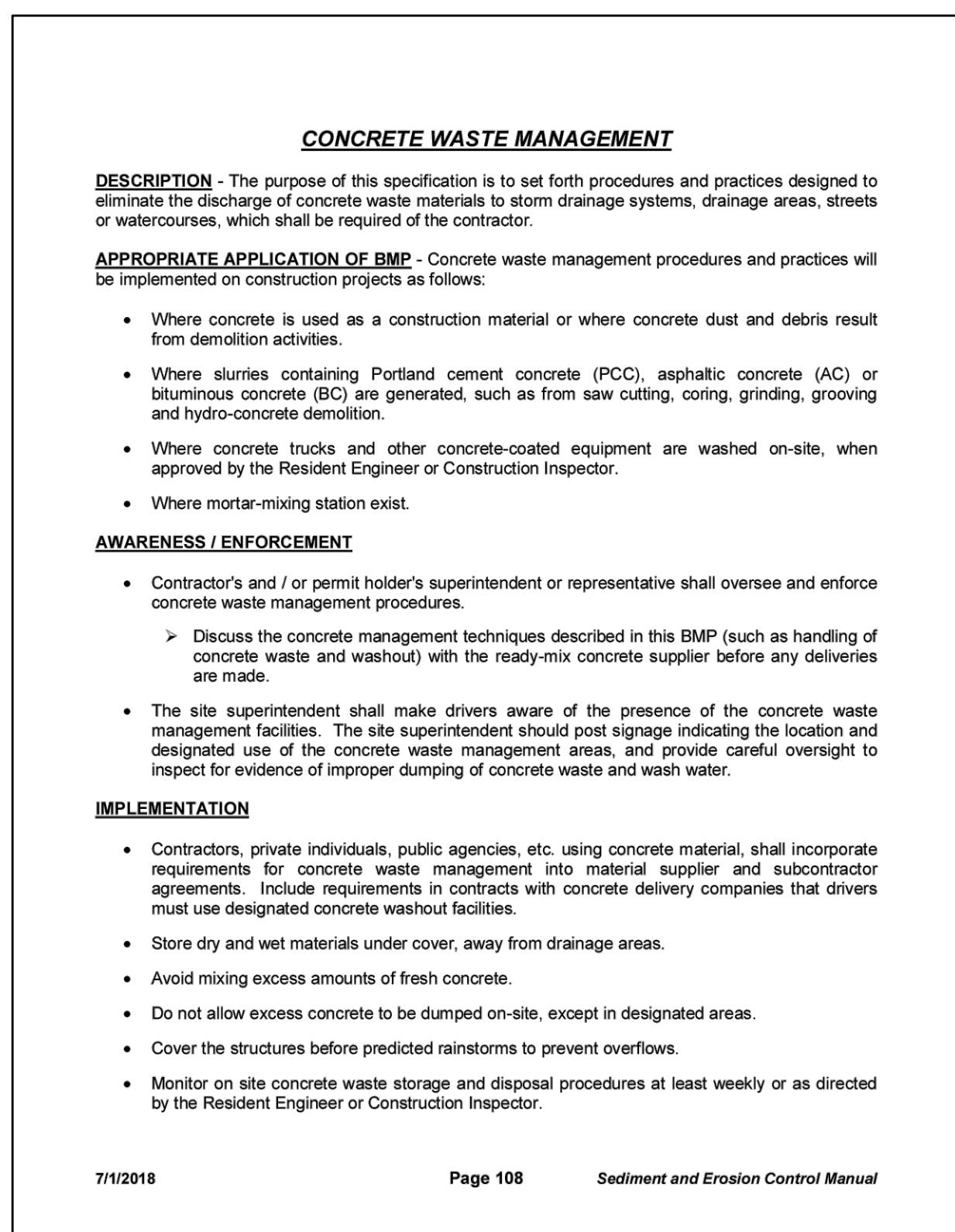
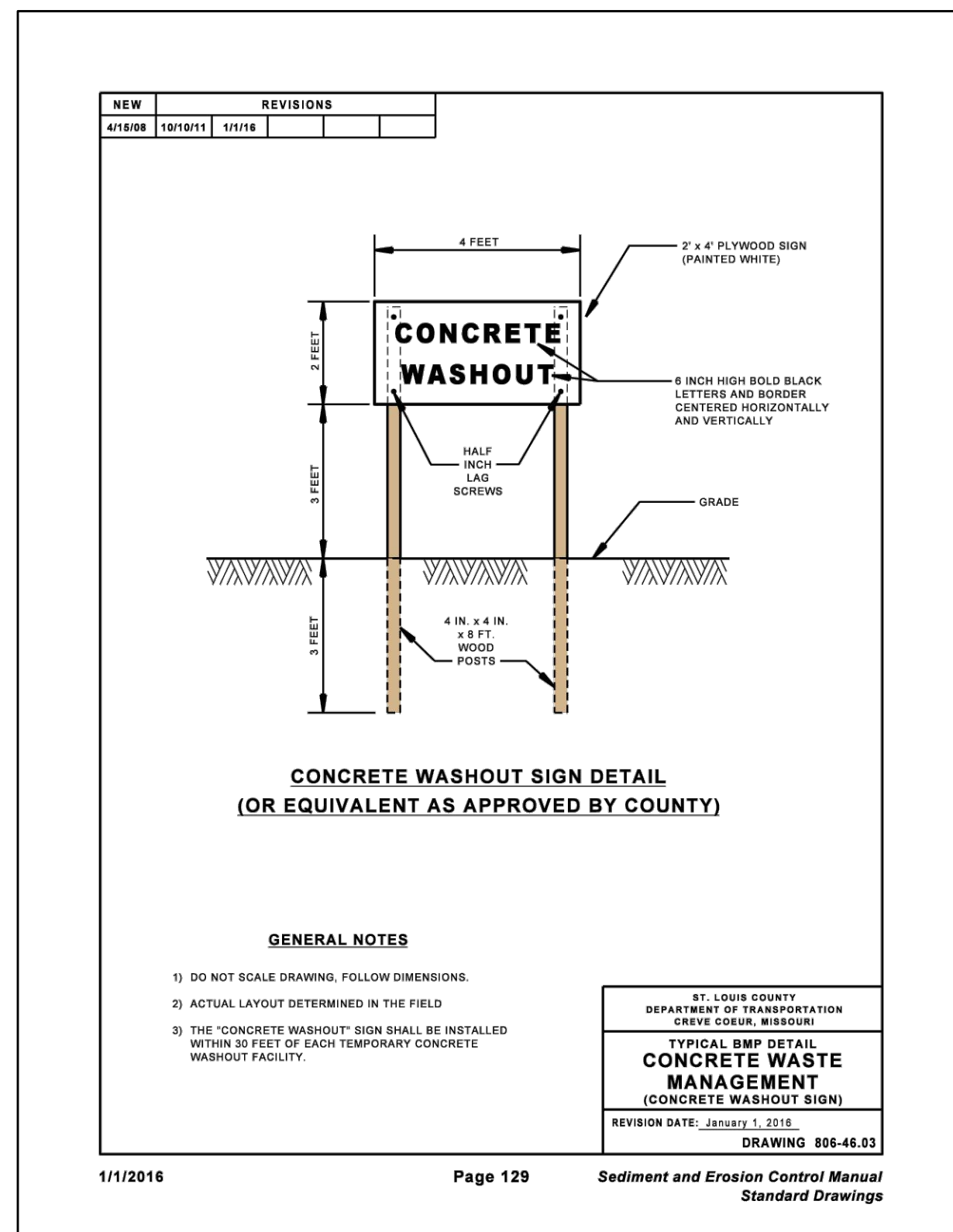
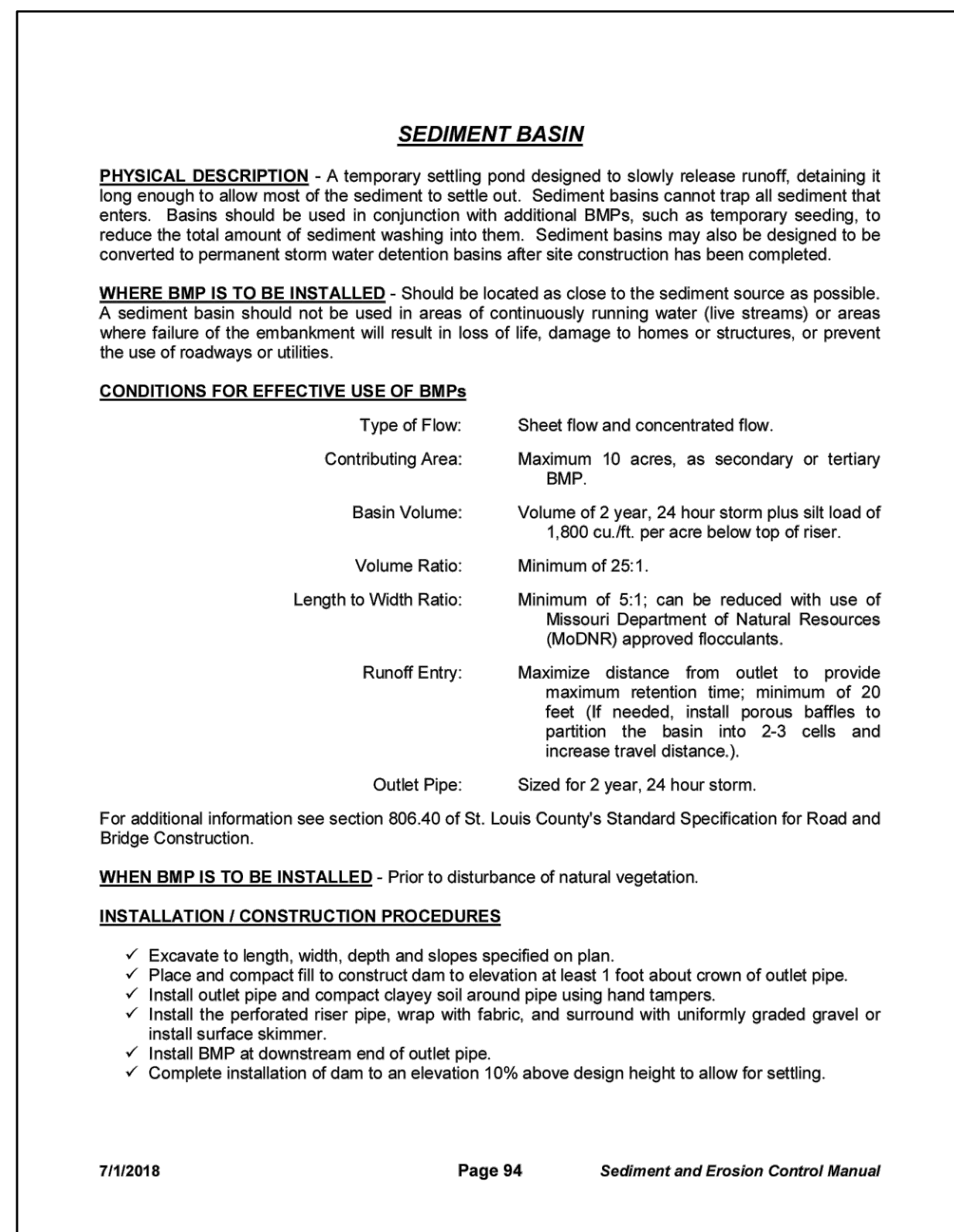
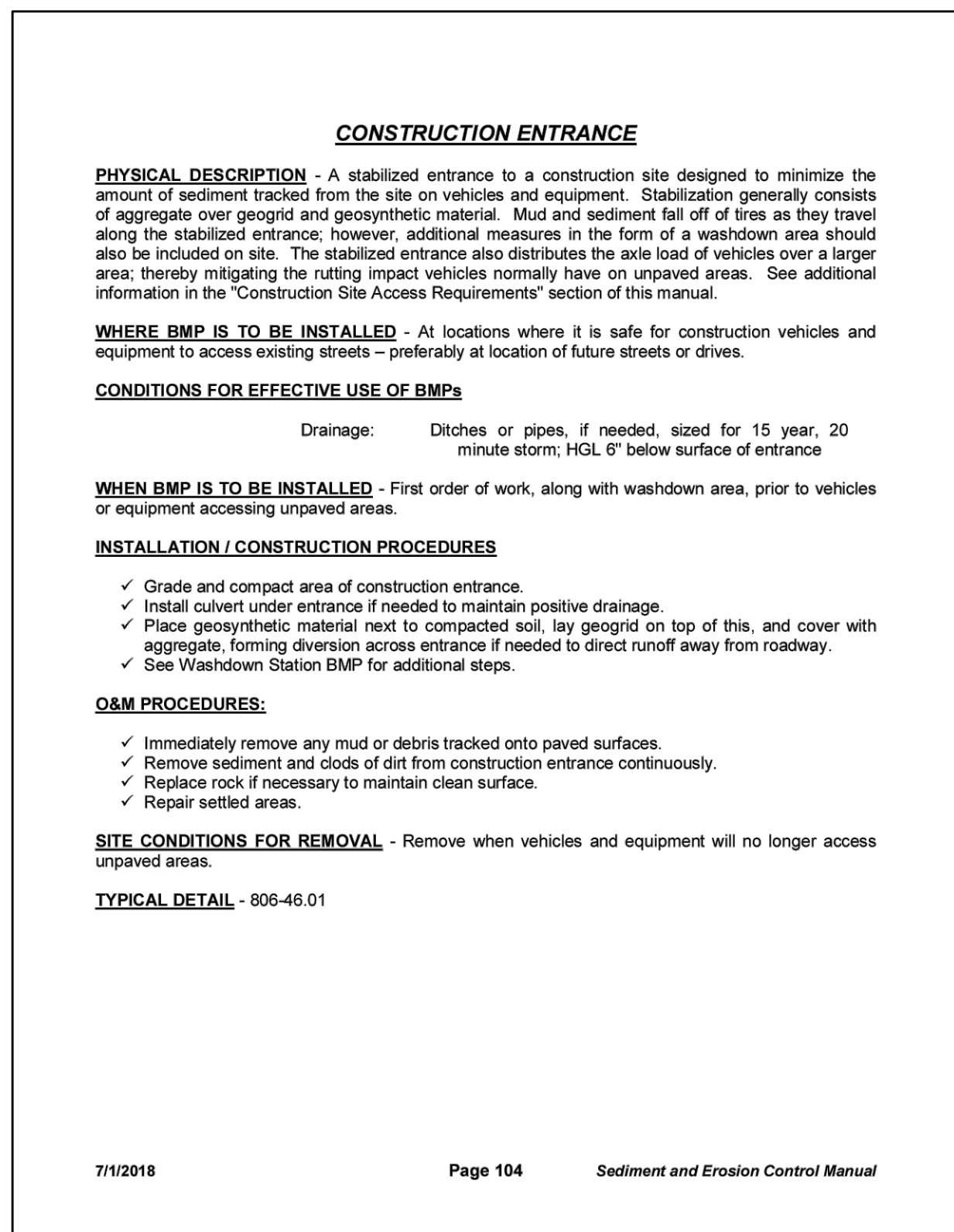
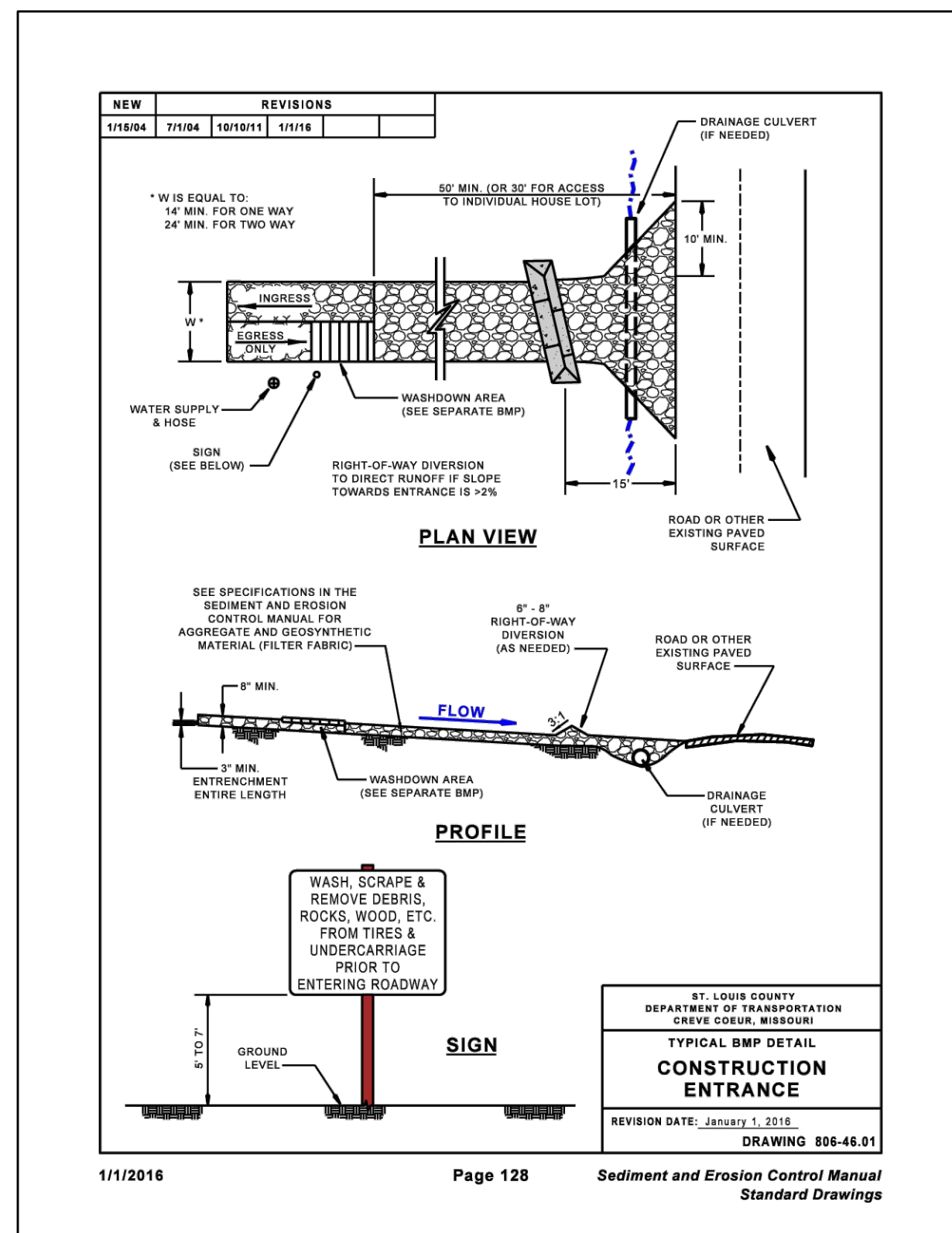


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**BaCor. Estates**  
**IMPROVEMENT PLANS**  
**SWPPP DETAILS**

State of Missouri  
 Robert Tiemann  
 License No. PE-2016001308  
 Civil Engineer

Date: Jun 04, 2026  
 PROJECT NUMBER: 23-1573  
 DATE: 11-24-2023  
 DRAWN BY: BJF



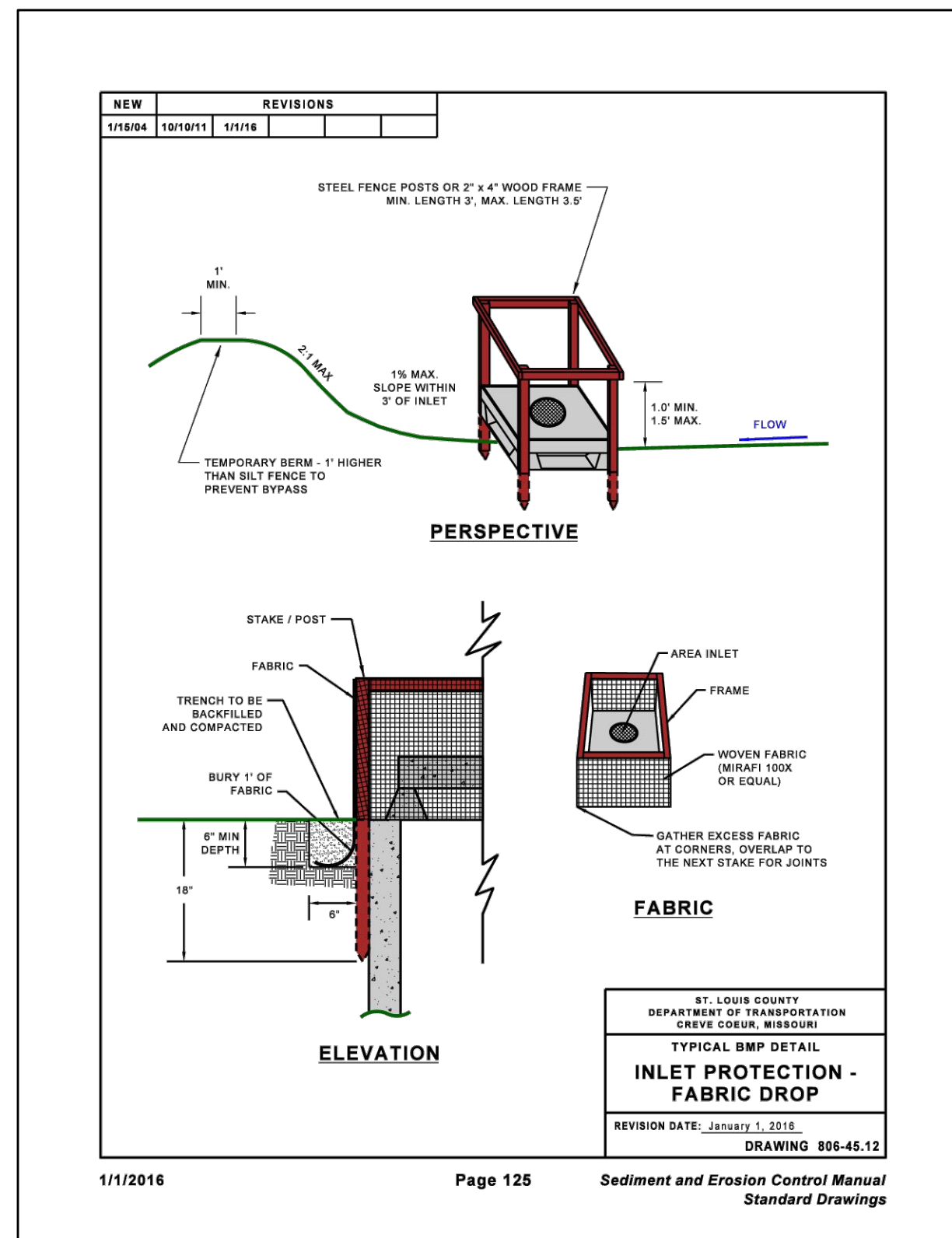
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STATE OF MISSOURI  
 ROBERT TIEMANN  
 MISSOURI PROFESSIONAL ENGINEER  
 PE-2016001308

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**INLET PROTECTION - FABRIC DROP AND DROP IN FILTER**

**PHYSICAL DESCRIPTION** - A woven fabric barrier braced around an area inlet or drop in type filter designed to prevent sediment from entering the storm sewer. Shallow temporary ponding during and after rainfall should be expected. Use an alternate method if flooding of driving lanes, adjacent property, etc. is possible.

**WHERE BMP IS TO BE INSTALLED** - At inlets designed to drain a small gently sloping area with maximum grade of 5%. Overflow capacity is limited on standard area inlets.

**CONDITIONS FOR EFFECTIVE USE OF BMPs**

Type of Flow: Shallow sheet flow.  
Contributing Area: Maximum of 2 c.f.s flowing to inlet.

**WHEN BMP IS TO BE INSTALLED** - Immediately after placement of inlet and before construction starts on existing inlets.

**INSTALLATION / CONSTRUCTION PROCEDURES**

- ✓ Backfill, compact and uniformly grade area around inlet.
- ✓ Construct downstream berm, if required. Rock bags or sand bags may be used to construct berm.
- ✓ Drive posts or wood frame close to inlet sill so overflow will fall directly on the structure and not on unprotected soil.
- ✓ Dig trench around inlet for fabric to be buried.
- ✓ Cut required length of fabric from one roll to eliminate joints. Fasten fabric tightly around posts / frame to enhance stability.
- ✓ Backfill and compact trench.
- ✓ Install drop in type filter per manufacturer specifications.

**O&M PROCEDURES**

- ✓ Inspect every week and after every storm.
- ✓ Remove trash accumulation and sediment once it reaches depth of 6" at inlet.
- ✓ Replace loose, torn or clogged fabric.
- ✓ Repair any erosion or settlement of temporary berm downstream of inlet.
- ✓ Maintain drop in type filter per manufacturer specifications.

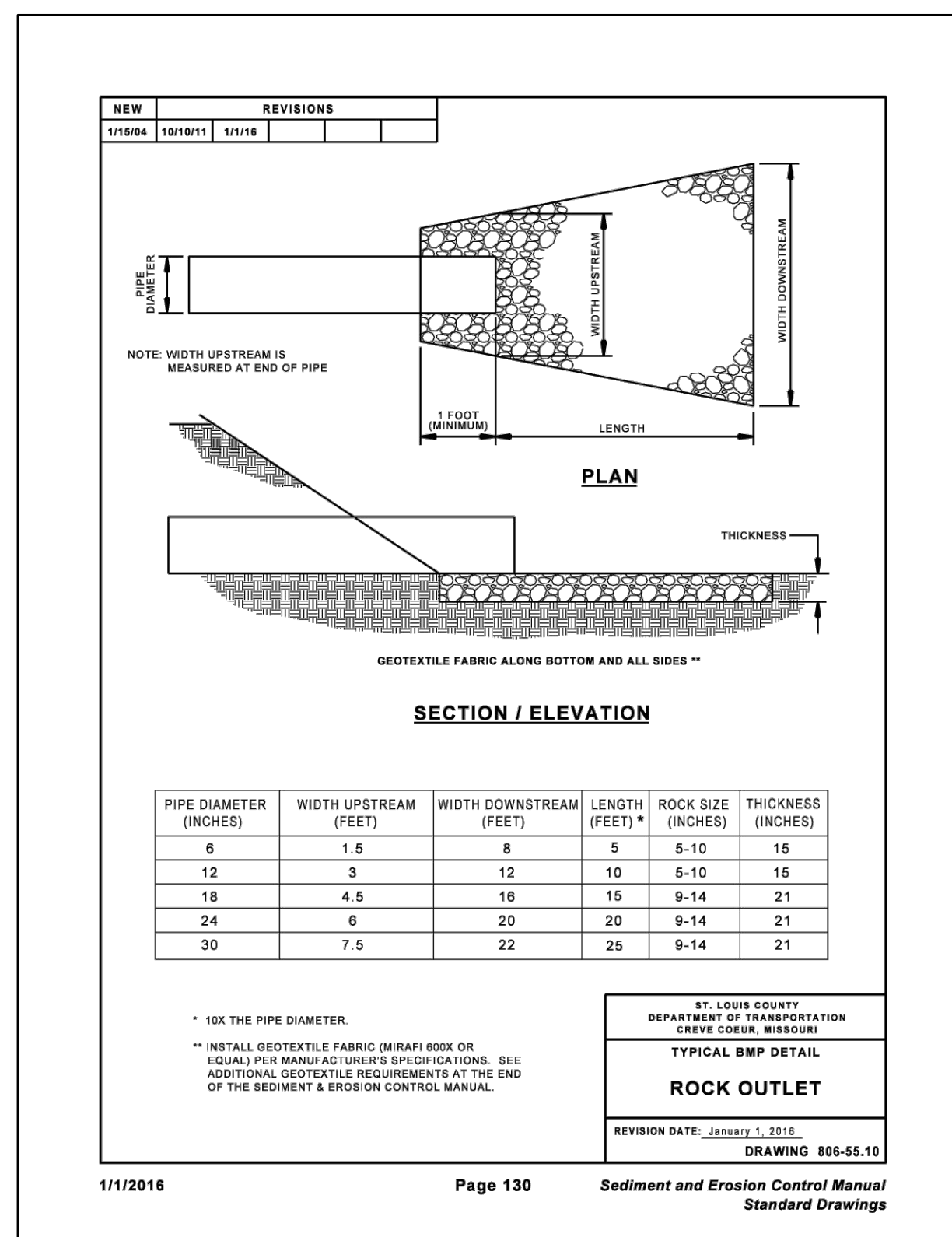
**SITE CONDITIONS FOR REMOVAL** - Remove after contributing drainage areas have been adequately stabilized. Restore area to grade and vegetation.

**TYPICAL DETAIL** - 806-45.12 (Single Unit)  
806-45.13 (Double Unit)

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**ROCK OUTLET / EMBANKMENT PROTECTION / PAVED DITCH**

**PHYSICAL DESCRIPTION** - A rock apron installed over a geotextile fabric at a point of concentrated discharge, designed to slow the velocity of flow and protect the receiving area from erosion.

Follow guidelines shown in the St. Louis County Standard Specifications for Road and Bridge Construction concerning use of related BMP's such as:

- Light Stone Revetment;
- Heavy Stone Revetment;
- Articulating Cellular Concrete Erosion Control System;
- Concrete Slope Protection;
- Gabions;
- Reno Mattresses;
- Type 2 Rock Blanket;
- Ditch Liner;
- Rock Lining.

**WHERE BMP IS TO BE INSTALLED** - Installed at BMP outlets, for example, at the end of pipe slope drains, the emergency overflow or outlet pipe of a sediment basin.

**CONDITIONS FOR EFFECTIVE USE OF BMPs**

Type of Flow: Concentrated flow  
Flow at Outlet: Maximum velocity of 10 fps

**WHEN BMP IS TO BE INSTALLED** - With the construction of the upstream BMP that creates the concentrated discharge.

**INSTALLATION / CONSTRUCTION PROCEDURES**

- ✓ Grade subgrade of rock blanket to required section.
- ✓ Place filter fabric, providing enough slack to assure that rock will not tear the fabric when it is placed.
- ✓ Install rock with uniform profile and cross section.

**O&M PROCEDURES:**

- ✓ Inspect every week and after every storm during construction.
- ✓ Remove sediment and trash accumulation.
- ✓ Replace displaced rock - larger rock may be required.
- ✓ Stabilize eroded areas - extend if necessary.

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**SITE CONDITIONS FOR REMOVAL** - Removed concurrently with upstream BMPs. Some may be left as a permanent post construction BMP as shown on approved plans or in the permit.

**TYPICAL DETAIL**

The Design Criteria Manual includes standard drawing numbers:

- C809.15 - Paved Ditches and Gutters
- C811.50 - Heavy Stone Revetment Ditch Liner
- C811.60 - Concrete Slope Protection
- C811.70 - Gabion Walls

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**BaCor. Estates**  
**IMPROVEMENT PLANS**  
SWPPP DETAILS

**STATE OF MISSOURI**  
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PROFESSIONAL ENGINEER  
LICENSED PROFESSIONAL ENGINEER  
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Date: Jun 04, 2026  
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**POLLUTION PREVENTION PROCEDURES**

**DESCRIPTION** - Pollution prevention includes best management practices that need to be set up at the beginning of the project. Pollution prevention practices consist of site management considerations that do not fit into the other categories of erosion or sediment controls, such as materials inventory, good housekeeping, spill prevention and clean up, solid waste management and concrete washout. Building materials and other construction site wastes must be properly managed and disposed of to reduce the risk of pollution from materials such as surplus or refuse building materials or hazardous wastes. Practices such as trash disposal, recycling, proper material handling, and spill prevention and cleanup measures can reduce the potential for storm water runoff to mobilize construction site wastes and contaminate surface or ground water.

**APPROPRIATE APPLICATION OF BMPs** - The proper management and disposal of wastes should be practiced at every construction site to reduce contaminated storm water runoff. Use waste management practices to properly locate refuse piles, to cover materials that might be displaced by rainfall or storm water runoff, and to prevent spills and leaks from hazardous materials that were improperly stored.

**Solid Wastes**

- Designate a waste collection area on the site that does not receive a substantial amount of runoff from upland areas and does not drain directly to a water body.
- Dumpsters or other collection containers should be provided as needed and ensure that containers have lids so they can be covered before periods of rain, and keep containers in a covered area whenever possible.
- Schedule waste collection to prevent the containers from overflowing.
- Clean up spills immediately. For hazardous materials, follow cleanup instructions on the package.
- During the demolition phase of construction, provide extra containers and schedule more frequent pickups.
- Collect, remove, and dispose of all construction site wastes at authorized disposal areas in accordance with state and local laws and regulations. Contact a local environmental agency to identify these disposal sites.
- Solid waste may not be buried or burned on the site.
- Good Housekeeping on a construction site is very important. Keep the site clean.

**Pesticides and Fertilizers**

- Follow all federal, state, and local regulations that apply to the use, handling, or disposal of pesticides and fertilizers.
- Do not handle the materials any more than necessary.
- Store pesticides and fertilizers in a dry, covered area.

- Construct berms or dikes to contain stored pesticides and fertilizers in case of spillage.
- Follow the recommended application rates and methods.
- Have equipment and absorbent materials available in storage and application areas to immediately contain and clean up any spills that occur.

**Detergents** - Phosphorous and nitrogen containing detergents are used in wash water for cleaning vehicles. Excesses of these nutrients can be a major source of water pollution. Use detergents only as recommended, and limit their use on the site. Do not dump wash water containing detergents into the storm drain system; direct it to a sanitary sewer or contain it so that it can be treated at a wastewater treatment plant.

**1) HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS**

**DO**

- Prevent spills
- Use products up
- Follow label directions for disposal
- Remove lids from empty bottles and cans when disposing in trash
- Recycle wastes whenever possible

**DON'T**

- Don't pour waste into sewers or waterways or on the ground
- Don't pour waste down the sink, floor drain or septic tanks
- Don't bury chemicals or containers, or dispose of them with construction debris
- Don't burn chemicals or containers
- Don't mix chemicals together
- Don't remove the original product label from the container

2) Containers shall be provided for collection of all waste material including construction debris, trash, petroleum products and any hazardous materials to be used onsite. All waste material shall be disposed of at facilities approved for that material.

3) No waste materials shall be buried on-site.

4) Mixing, pumping, transferring or otherwise handling construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any water course, ditch or storm drain.

5) Equipment fueling and maintenance, oil changing, etc., shall be performed only in an area designated for that purpose. The designated area is equipped for recycling oil and catching spills.

- 6) Concrete wash water shall not be allowed to flow directly to storm sewers, streams, ditches, lakes, etc., without being treated. A sump or pit shall be constructed to contain concrete wash water. See additional requirements in the "Concrete Waste Management" section of this manual.
- 7) If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto soil, the soil shall immediately be dug up and disposed of at a licensed sanitary landfill (not a construction / demolition debris landfill). Spills on pavement shall be immediately absorbed with sawdust, kitty litter or product designed for that purpose and disposed of at a licensed sanitary landfill. Hazardous or industrial wastes such as most solvents, gasoline, oil-based paints, and cement curing compounds require special handling. These materials will be removed from the site and recycled or disposed of in accordance with MCDNR requirements.
- 8) State law requires the party responsible for a petroleum product spill in excess of 50 gallons to report the spill to Missouri Department of Natural Resources (MoDNR) at (537) 634-2435, as soon as practical after discovery. Federal law requires the responsible party to report any release of oil if it reaches or threatens a sewer, lake, creek, stream, river, groundwater, wetland, or area, like a road ditch, that drains into one of the above.
- 9) The contractor / permittee should ensure adequate training is provided to the site superintendent and all field personnel, etc. on the proper protocol for reporting and cleaning up spills.
- 10) Manufacturer's recommended method for spill cleanup should be clearly posted and the site personnel should be made aware of the procedures and the location of the information and clean up supplies.
- 11) Material and equipment necessary for spill cleanup should be kept in the material storage area on site.
- 12) Minimize the material inventory stored on-site (e.g., only a few days' supply).
- 13) Do not store hazardous chemicals, drums, or bagged / boxed materials directly on the ground. Place these items on a pallet and under cover in secondary containment.
- 14) Storage areas shall be kept clean and well organized.

**O&M PROCEDURES** - The only way to be sure that waste management practices are being followed is to be aware of worker habits and to inspect storage areas regularly. Extra management time may be required to ensure that all workers are following the proper procedures. Inspect storage and use areas and identify containers or equipment that could malfunction and cause leaks or spills. Check equipment and containers for leaks, corrosion, support or foundation failure, or other signs of deterioration, and test them for soundness. Immediately repair or replace any that are found to be defective.

**TYPICAL DETAILS** - Not applicable.

**NON-SEDIMENT POLLUTION CONTROL**

**PHYSICAL DESCRIPTION** - Control measures designed to prohibit chemicals, hazardous materials, solid waste and construction debris from polluting stormwater. Pollutants carried in solution or as surface films on runoff will be carried through most erosion control and sediment capture BMPs. Keeping substances like fuel, oil, asphalt, paint, solvents, fertilizer, soil additives, concrete wash water, solid waste and construction debris from polluting runoff can be accomplished to a large extent through good housekeeping on the site and following the manufacturer's recommendations for disposal.

**WHERE BMP IS TO BE INSTALLED** - Collection, storage and fueling areas should be located onsite in an area that does not receive a substantial amount of runoff from upland areas and does not drain directly to lakes, creeks, streams, rivers, sewers, groundwater, wetlands, or road ditches.

**CONDITIONS FOR EFFECTIVE USE OF BMPs**

- Reduction in pollutants depends heavily on how construction personnel perform their duties. An effective management system requires training and signage to promote proper storage, handling and disposal of materials. Follow up observations of actions and inspection of storage areas by management personnel is also required.
- Plans should contain notes clearly stating requirements for addressing potential pollutants.
- Fueling areas and storage areas for hazardous materials should be protected by berms or other means of catching leaks or spills. Do not store hazardous chemicals, drums, or bagged materials directly on the ground. Place these items on a pallet and under cover in secondary containment.

**WHEN BMP IS TO BE INSTALLED** - Immediately following installation of construction entrance and wash station.

**INSTALLATION / CONSTRUCTION PROCEDURES**

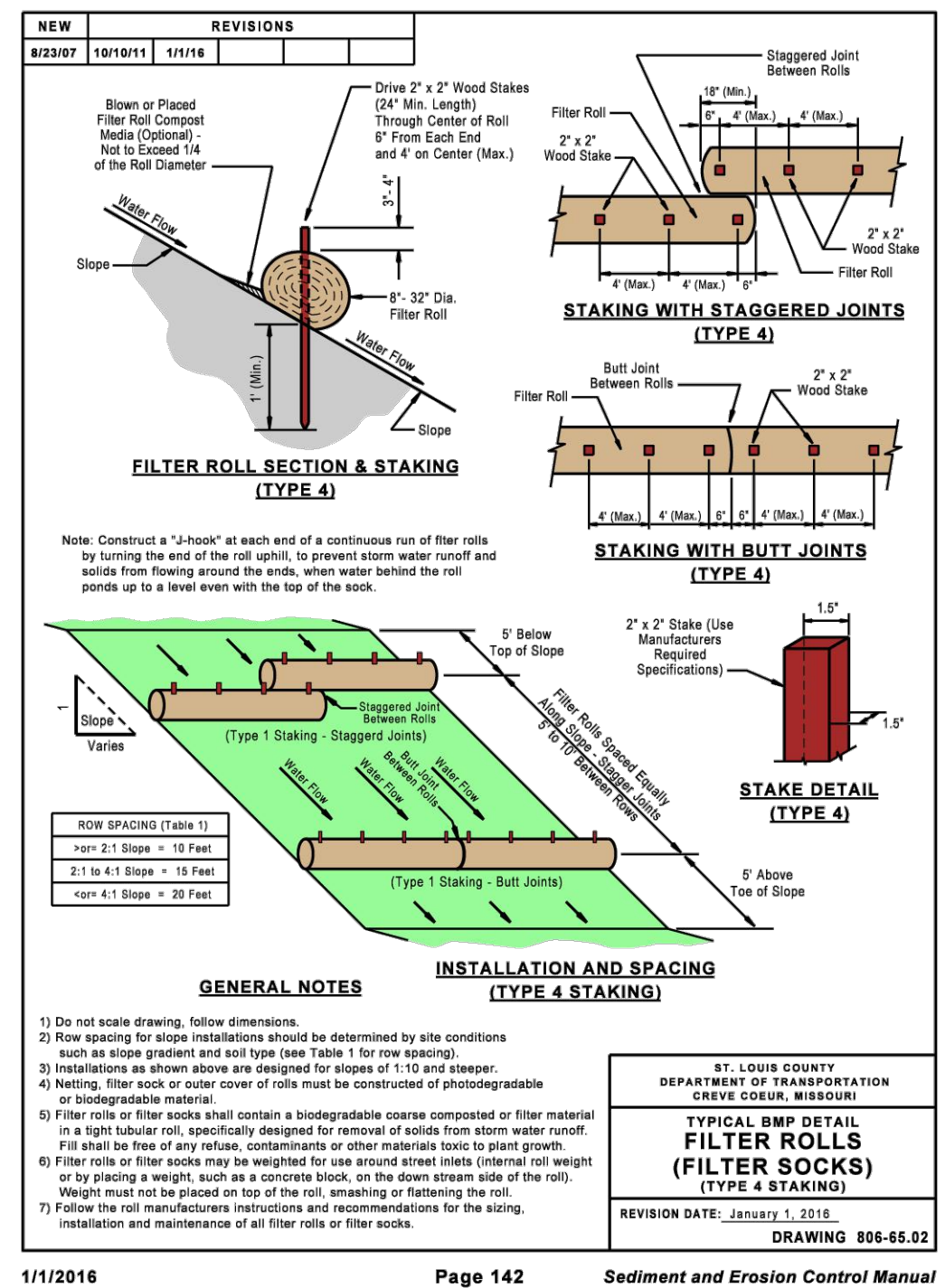
- Place waste receptacles near area of work.
- Construct protective berm or other devices around fueling and hazardous materials storage areas.
- Install appropriate signage.
- Post guidelines for proper handling, storage and disposal of materials, and emergency spill cleanup on site.

**O&M PROCEDURES:**

- Inspect activities on regular basis.
- Inspect storage areas and control devices at least every two weeks and after every storm.
- Make necessary corrections and repairs.

**SITE CONDITIONS FOR REMOVAL** - Maintain practices until all construction on the site has been completed.

**TYPICAL DETAILS** - General pollution prevention notes attached.



**FIBER ROLLS AND FILTER ROLLS**

**PHYSICAL DESCRIPTION** - A fiber roll, also known as a wattle, consists of straw, flax, coconut fiber (COF), rice straw or other similar materials bound in a tight photodegradable or biodegradable tubular roll or filter sock. A filter roll consists of a biodegradable, coarse composted or filter material bound in a tight photodegradable or biodegradable tubular roll or filter sock. They intercept runoff, reduce flow velocity, remove sediment from the runoff, and reduce soil erosion. Fiber rolls and filter rolls must be prefabricated.

**WHERE BMP IS TO BE INSTALLED** - Installed on erodible slopes, at top of and toe of slopes, around the perimeter of the site, and around temporary stockpiles, as final barrier to sediment being carried off site. Spacing of rolls along slopes is relative to slope. Filter rolls and fiber rolls may also be used at drain inlets, swales and other concentrated flow areas to prevent sediment, silt, and other solids in storm water runoff from entering the storm sewer system. Rolls may also be used as mini check dams in unlined ditches and swales.

**CONDITIONS FOR EFFECTIVE USE OF BMPs**

Type of Flow:	Sheet flow and concentrated flow
Contributing Slope:	For slopes, use the following row spacing:
	2:1 (H:V) or steeper: 10 feet
	Between 2:1 and 4:1 (H:V): 15 feet
	4:1 (H:V) or flatter: 20 feet

**WHEN BMP IS TO BE INSTALLED** - Prior to disturbance of natural vegetation and at intervals during construction of fill slopes. Fiber rolls and filter rolls should not be used on slopes subject to creep, slumping or landslide. Rolls are difficult to move once saturated.

**INSTALLATION / CONSTRUCTION PROCEDURES**

- Calculate required roll diameter, length and row spacing based on slope and the manufacturer's recommendations.
- Dig trench to required depth for fiber rolls (filter rolls do not require trench).
- Place fiber rolls in trench or filter rolls directly on slope.
- Stake the fiber rolls or filter rolls as shown on detail drawings.
- Place excavated soil (fiber roll) or filter roll material along the upside of rolls as shown on detail drawings, not to exceed 1/4 of the roll diameter.

**O&M PROCEDURES**

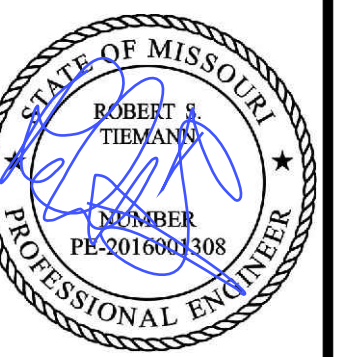
- Inspect every week and after every storm.
- Remove sediment buildup deeper than 1/2 the exposed roll height.
- Replace or repair split, torn, unraveling, slumping or damaged rolls.
- Repair or replace unstable or broken wood stakes.
- Stabilize any areas susceptible to undermining.
- Extend rows or add additional rolls if necessary to provide adequate protection.

**SITE CONDITIONS FOR REMOVAL** - After permanent vegetation of slope is established, remove rolls, collect and dispose of sediment accumulation, re-grade trench area to blend with adjacent ground, and vegetate. Rolls do not have to be removed if approved construction or grading plans call for rolls to permanently be left in place (must be fully biodegradable).

**TYPICAL DETAILS** - 806-55.00  
806-55.01  
806-55.02

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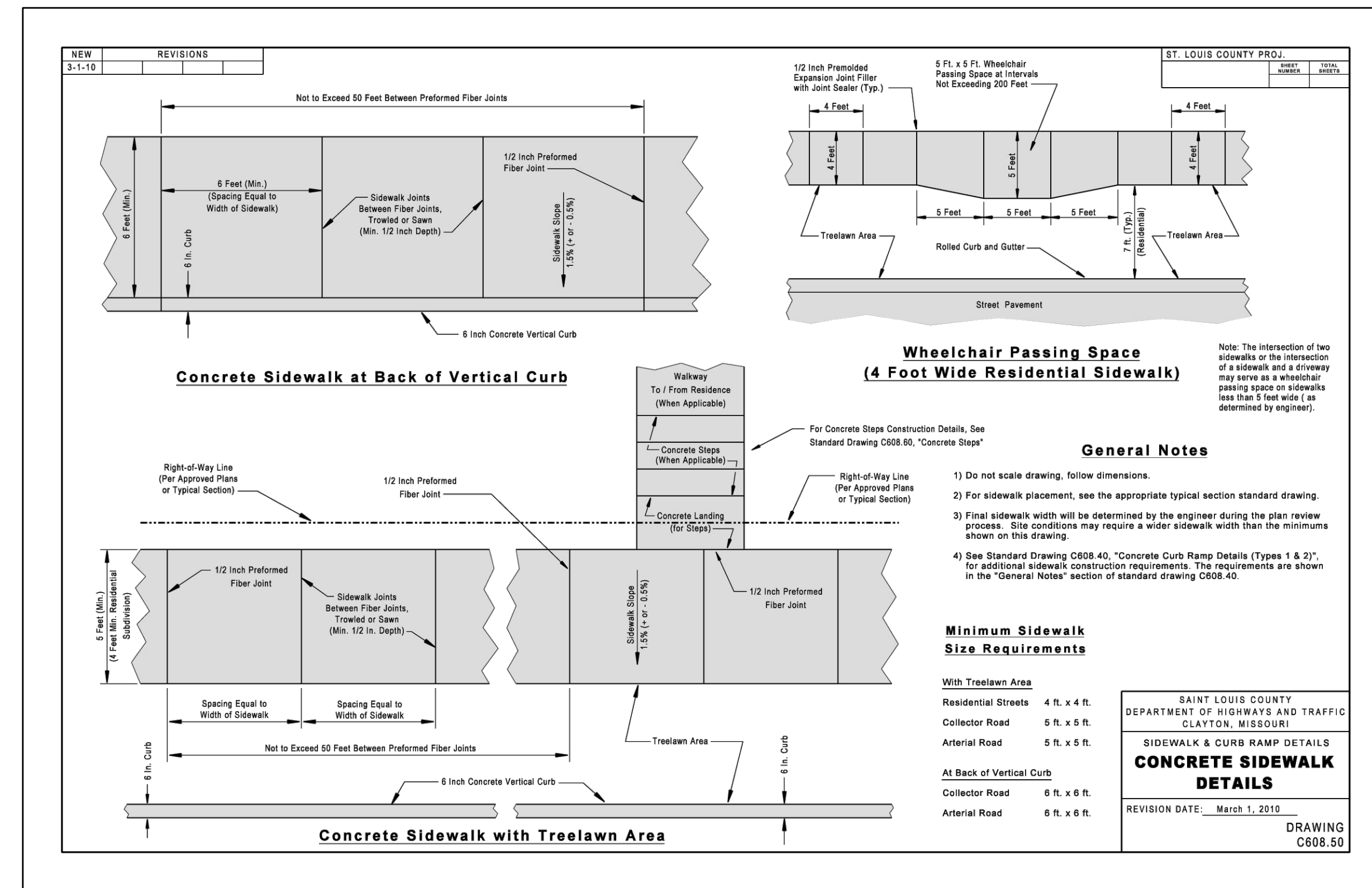
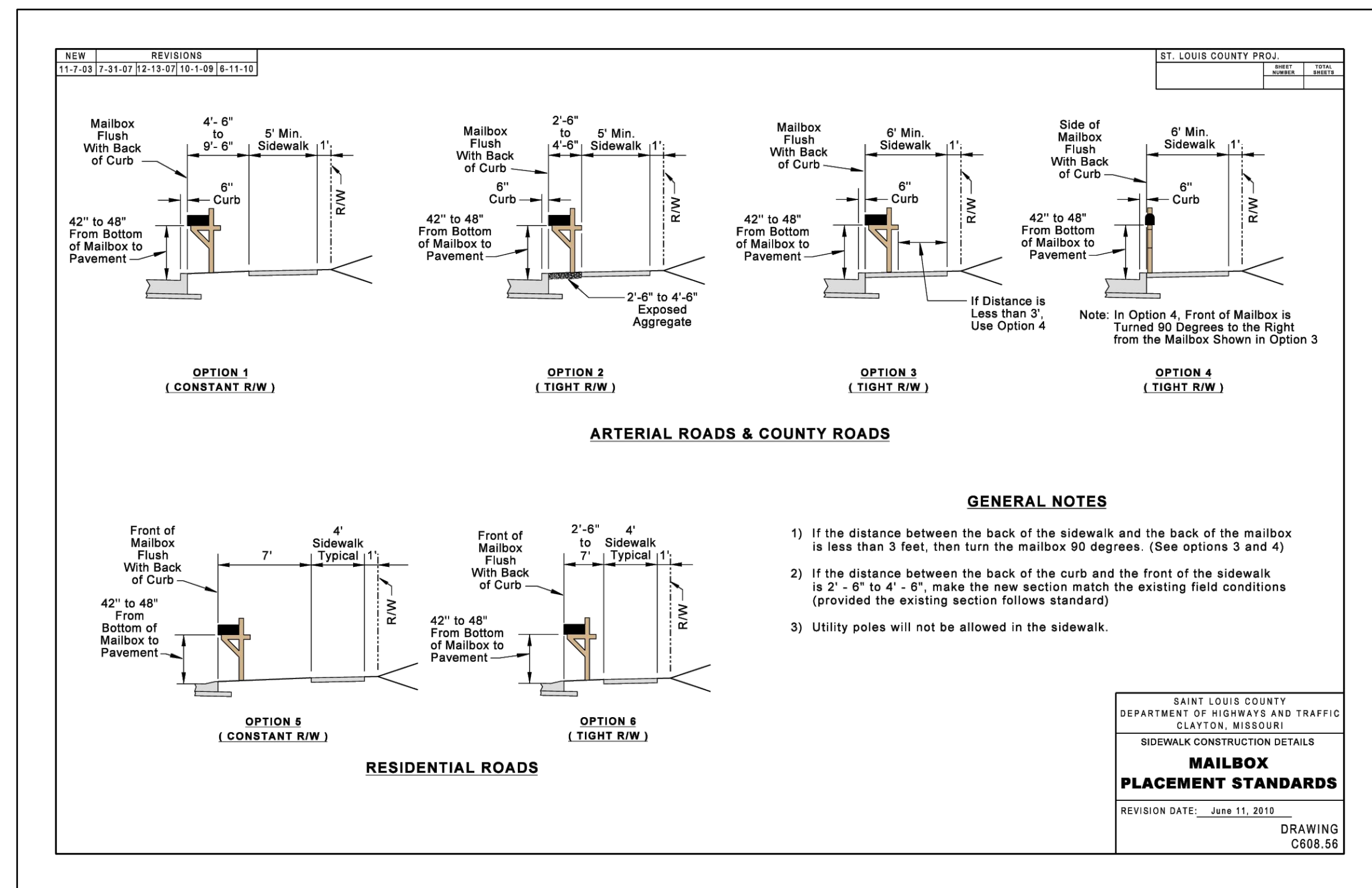
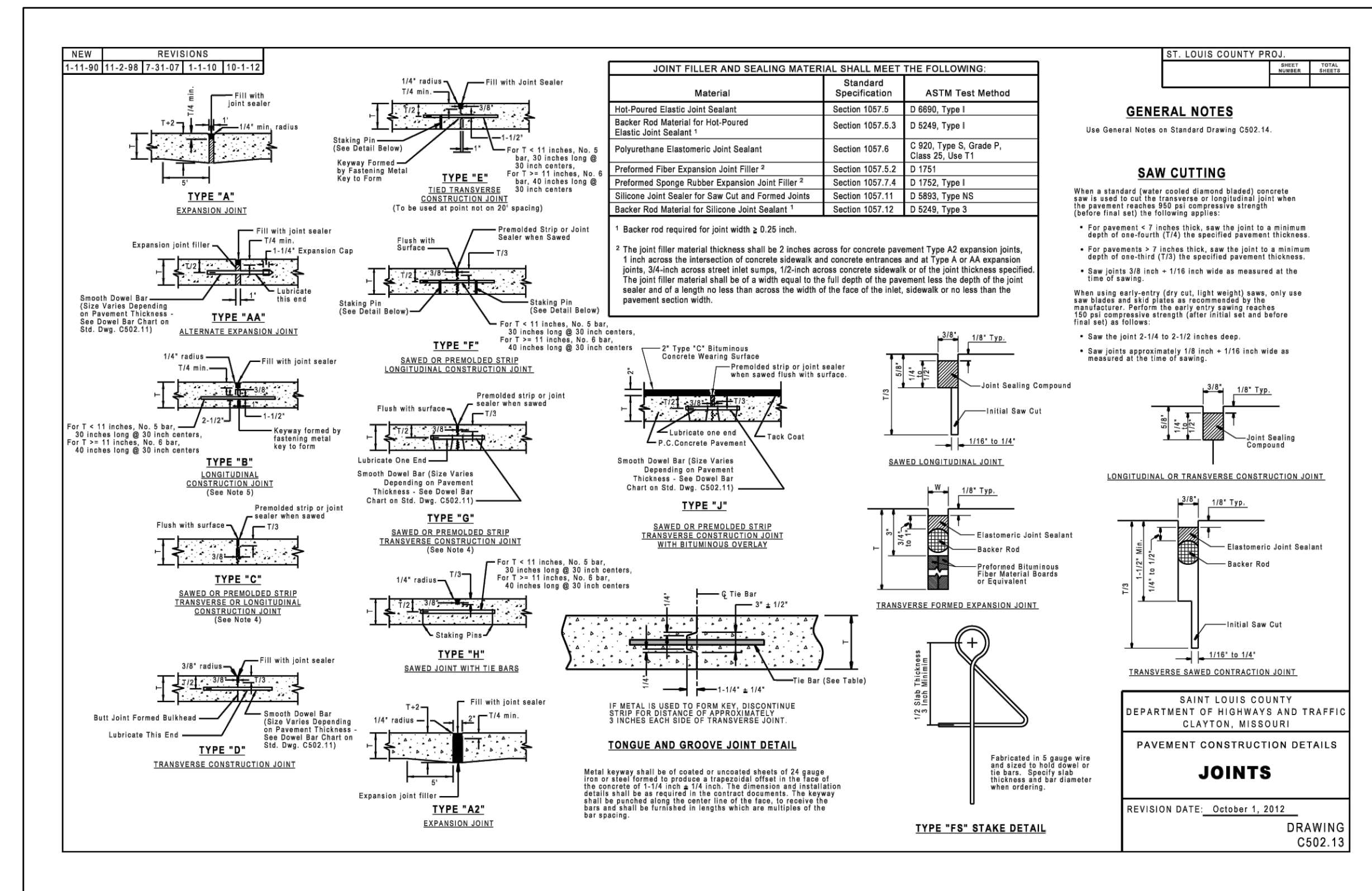
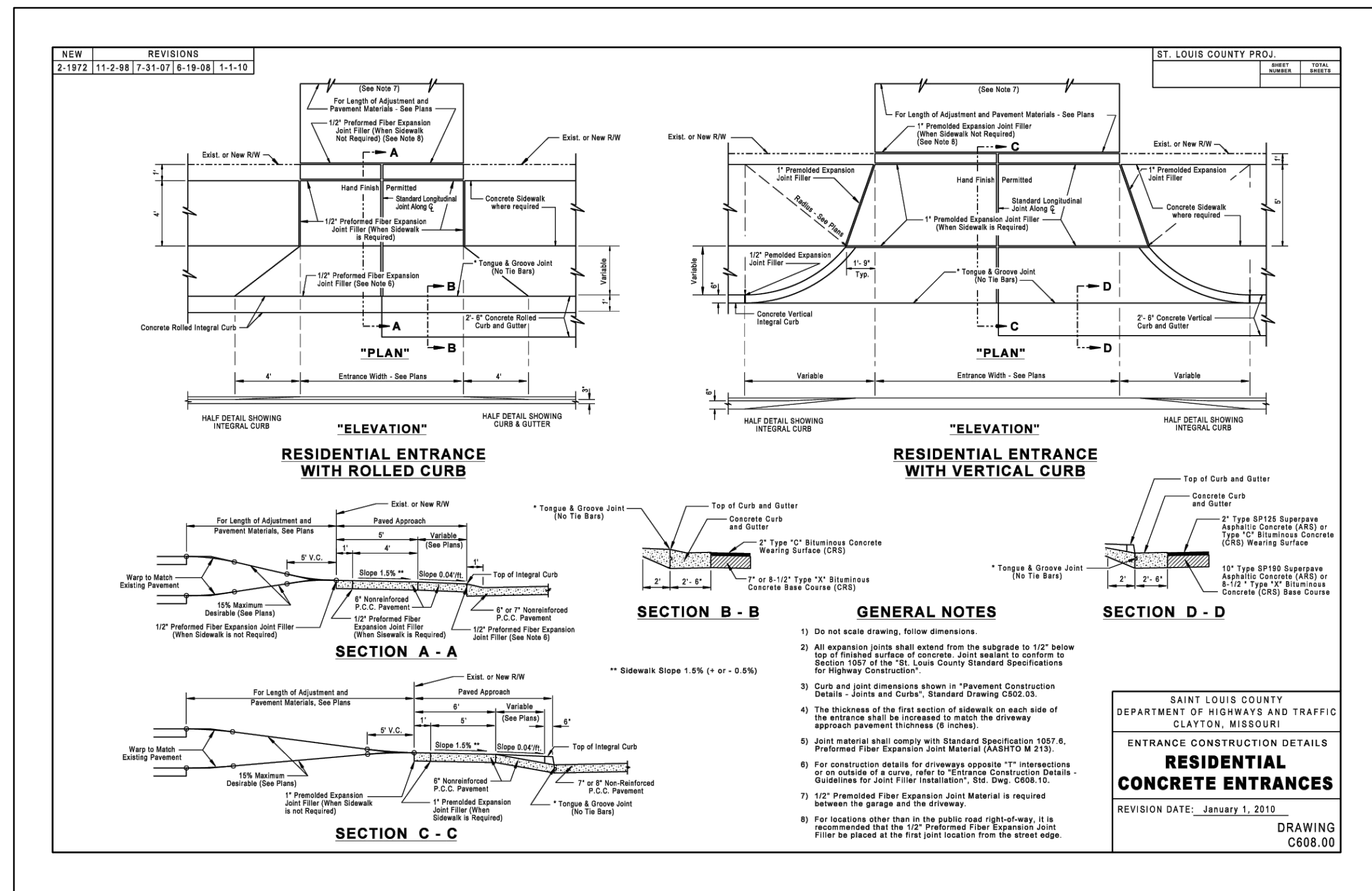


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Civil Engineer

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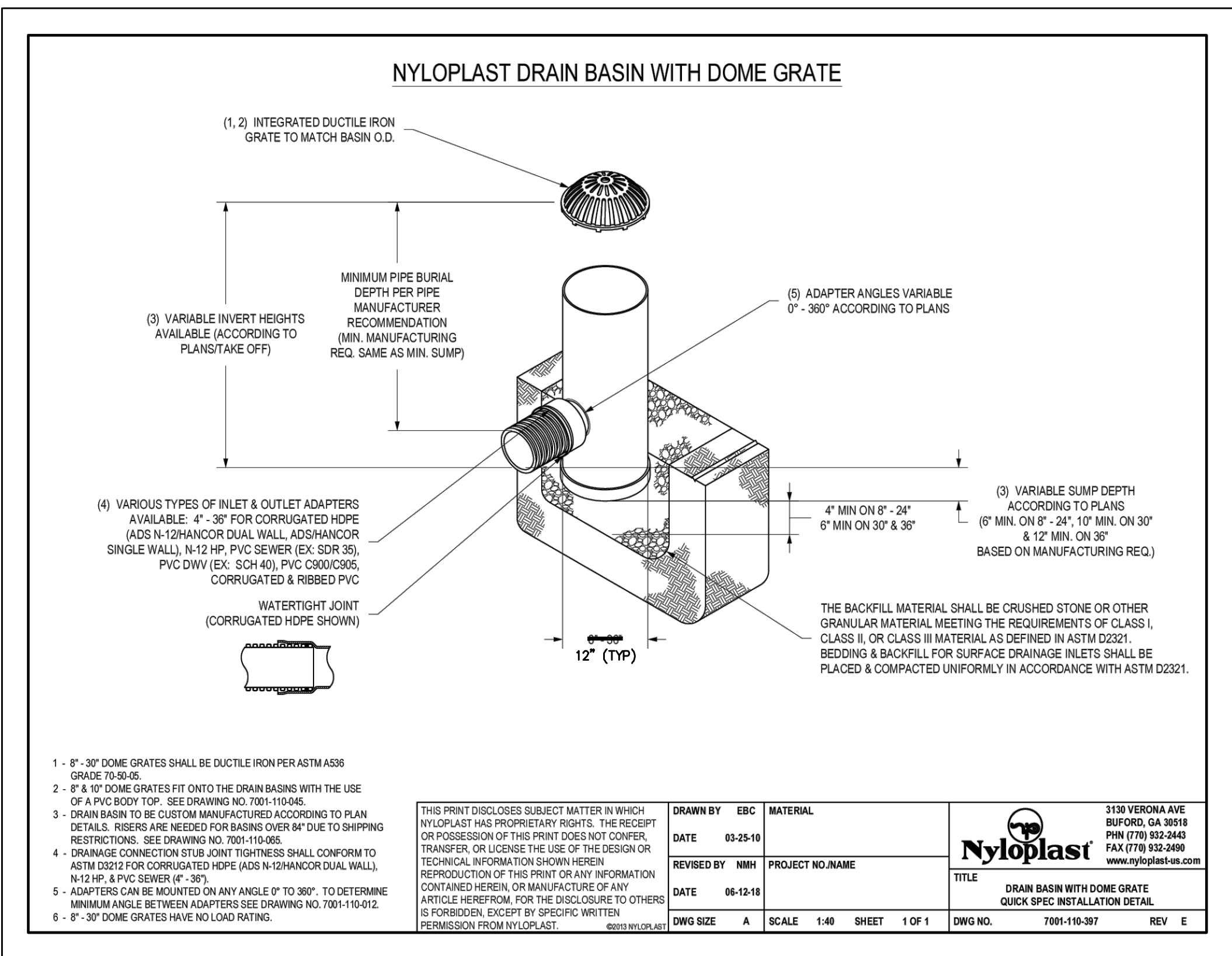
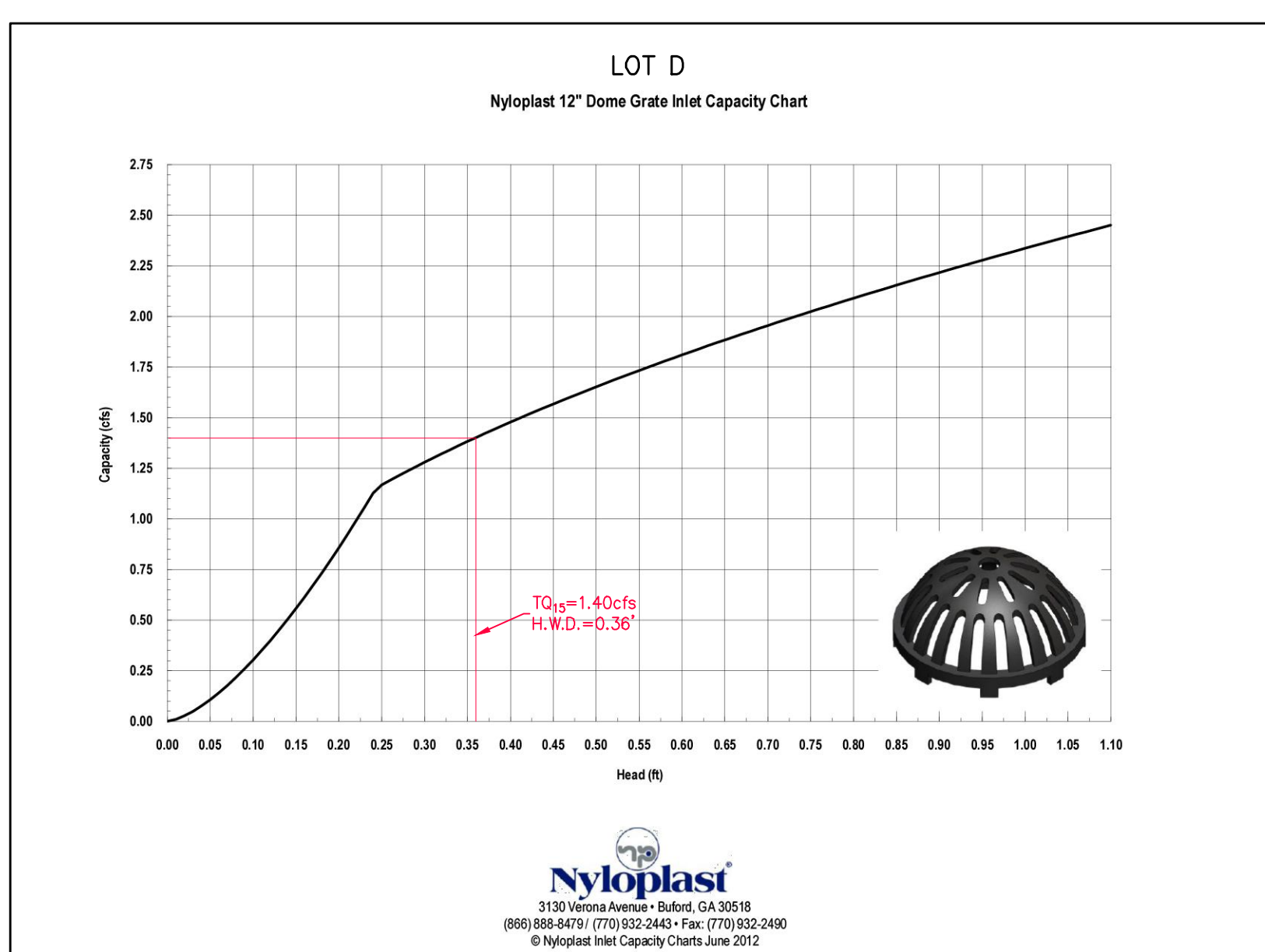
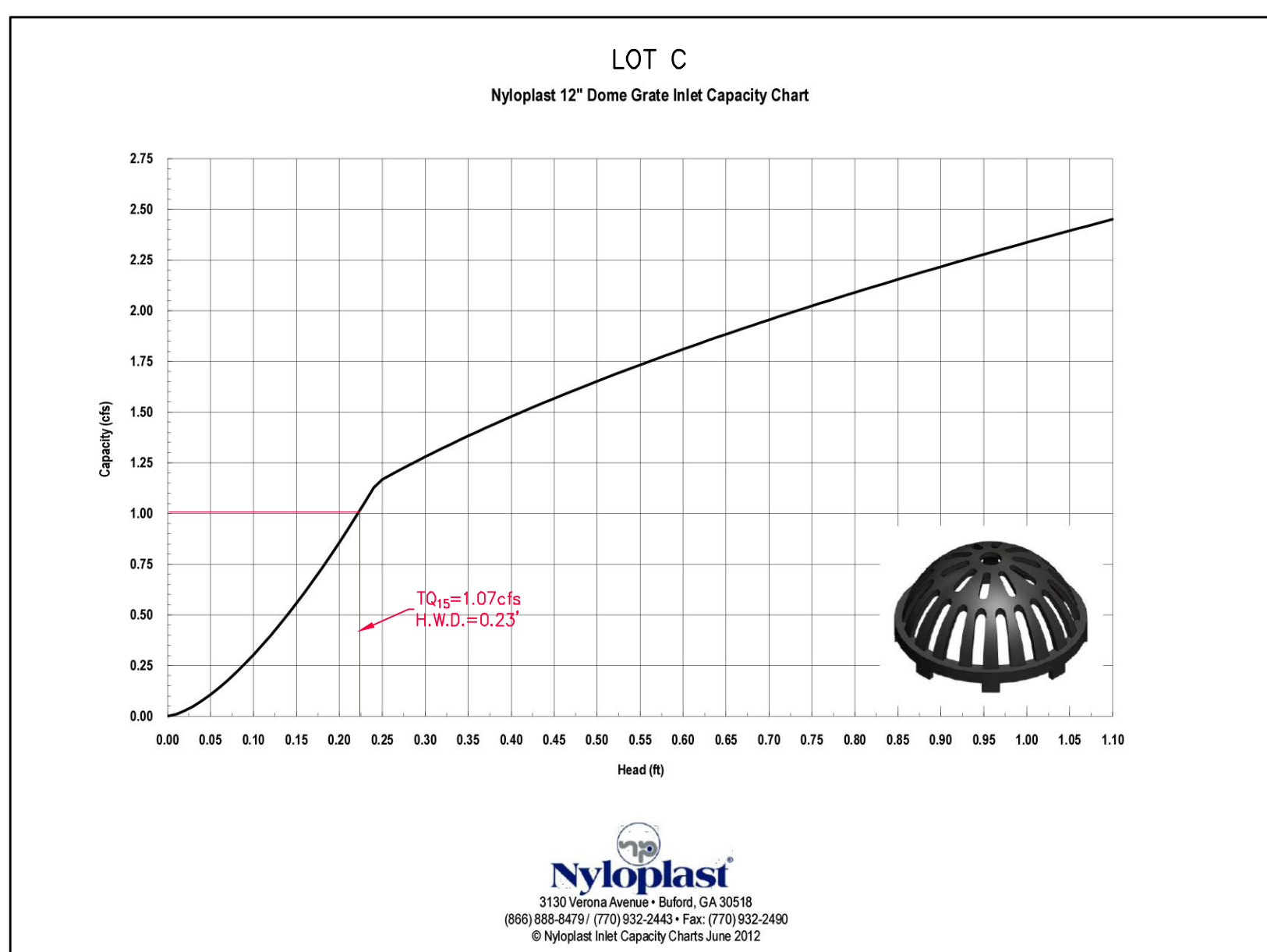
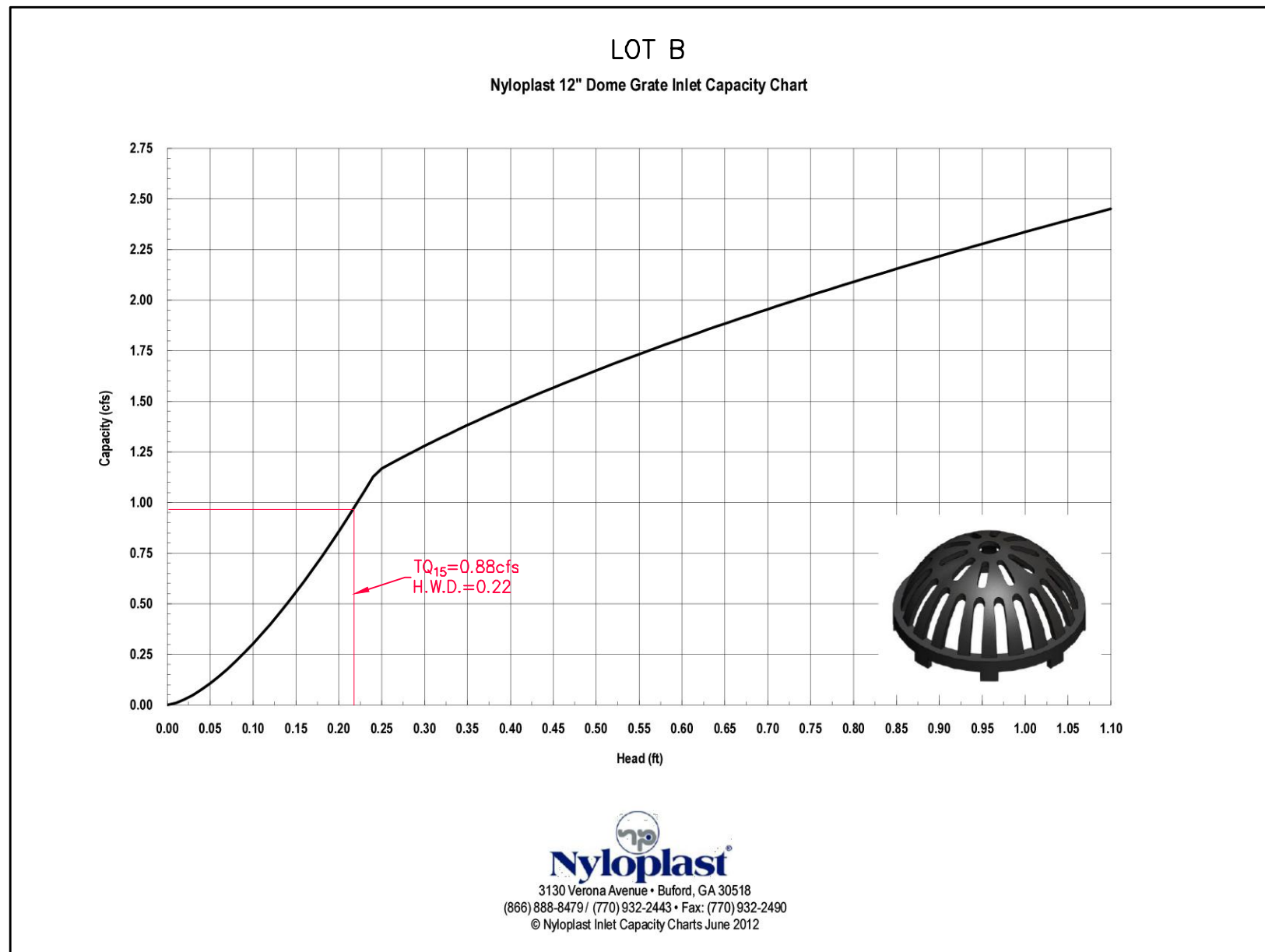
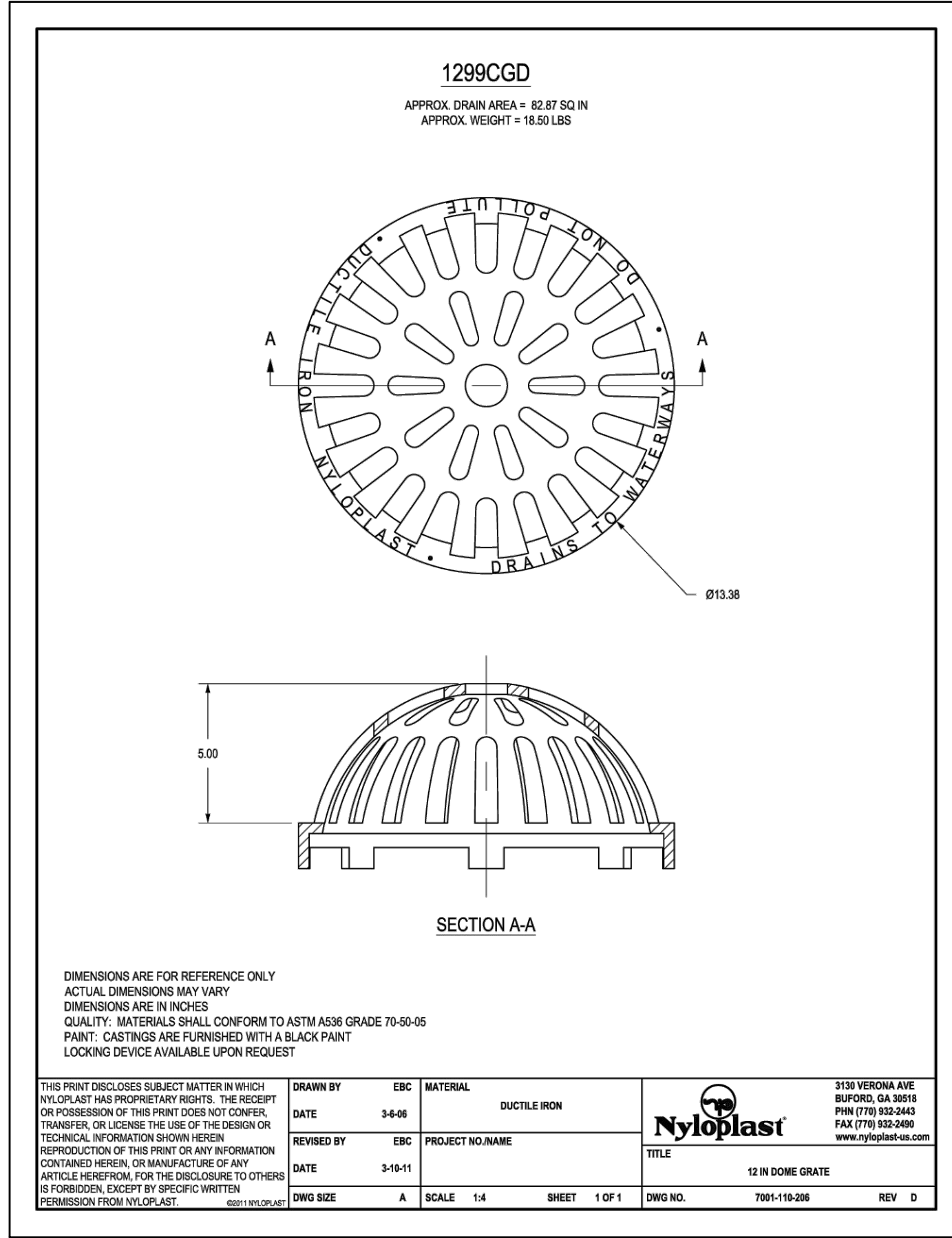
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**BaCon Estates**  
**IMPROVEMENT PLANS**  
CONSTRUCTION DETAILS

**STATE OF MISSOURI**  
**ROBERT S. TIEMANN**  
LICENSED PROFESSIONAL ENGINEER  
No. PE-2016001308

Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF



Section 2721  
Engineered Surface Drainage Products

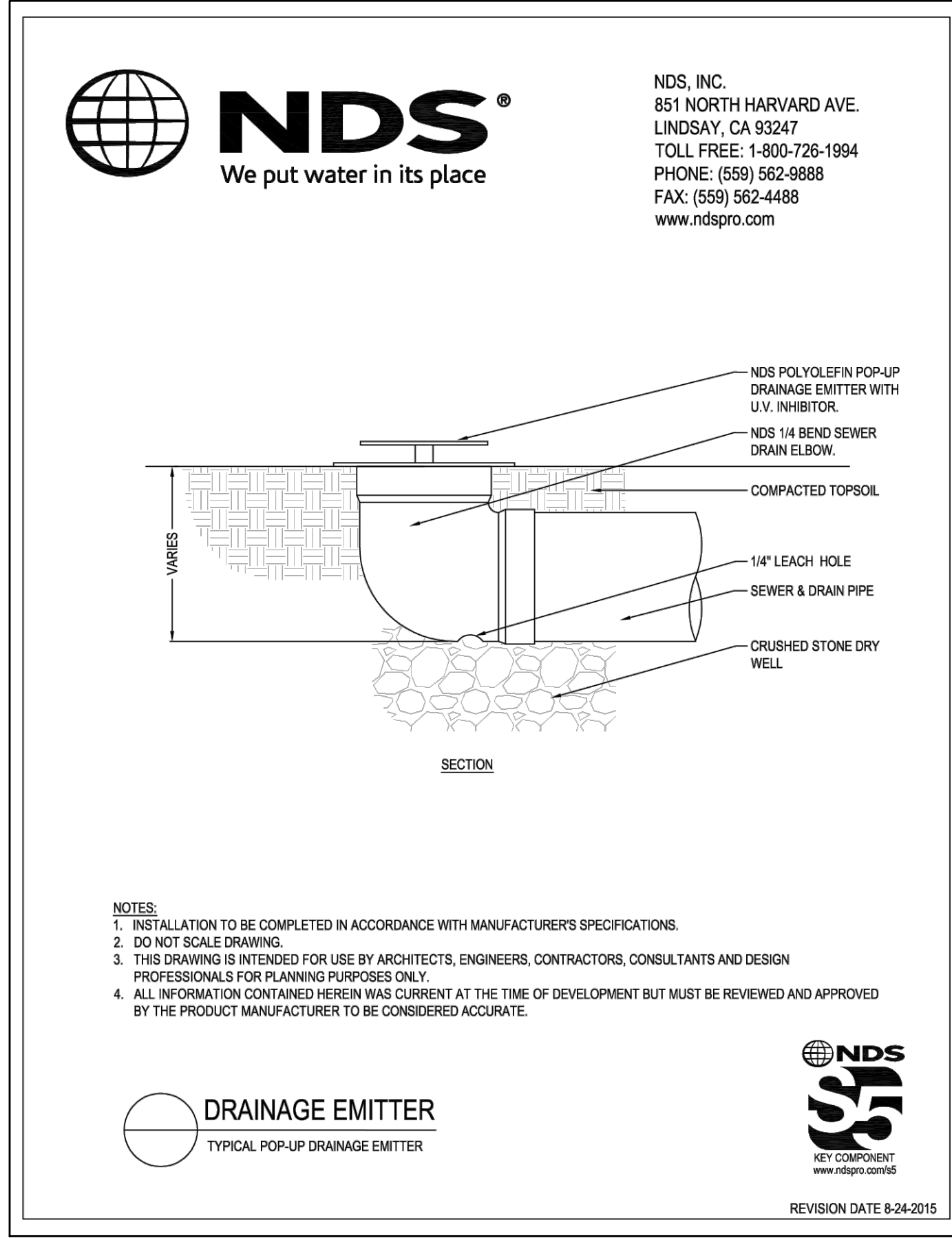
**GENERAL**  
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

**MATERIALS**  
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F427. The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for structure sizes 8", 10", 12", 15", 18", 24", 30" and 36" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

**INSTALLATION**  
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.	REVISED BY	MMH	PROJECT NO./NAME		
	DATE	02-21-18	TITLE	8 IN - 36 IN DRAIN BASIN SPECIFICATIONS	
	DWG SIZE	A	SCALE	1:1	SHEET 1 OF 1 DWG NO. 7001-110-011 REV J



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BaCor. Estates  
IMPROVEMENT PLANS  
CONSTRUCTION DETAILS

STATE OF MISSOURI  
ROBERT TIEMANN  
LICENSED PROFESSIONAL ENGINEER  
NUMBER PE-2016001308

Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573  
DATE: 11-24-2023  
DRAWN BY: BJF

23 OF 29

This report has been produced in accordance with the City of Creve Coeur, Chapter 410. Subdivision and Development of Land, Article III, Land Development Standards, Section 410.320, Tree Conservation, Ord.No.5809, dated 10-24-2022.

**Site Information**

City Name: Creve Coeur  
 B'nai Amoona Congregation: 324-350 South Mason Road, Creve Coeur, MO 63141.  
 Preliminary Plat- Subdivision Lots: 3 Lots; 1.2 acres each.  
 Lot Names: B, C, D (north, middle, south, respectively)

**Overview**

Eighty-three trees, 6-inches Dbh (dia. at breast ht.) and greater were inspected, measured, and tallied on February 27, 2024. Since the trees were dormant and devoid of live foliage, species identification was based upon bark texture and crown characteristics. The breakdown for all trees' health and condition at the time of inspection is as follows:

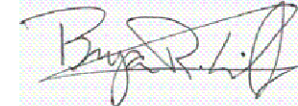
Good Condition- 2 trees (2.5% of population). Fair Condition- 20 trees (24% of population).  
 Poor Condition- 51 trees (61.5% of population). Dead- 10 trees (12% of population).

There are several reasons for the high number of poor condition trees. First, most of the total tree population is "volunteer trees" (naturally occurring, open-grown, not planted by man) that have never been maintained or cared for and many trees are covered in vines. Not originating from superior nursery stock, the seed source can be inferior from the start. Many of the trees are leaning or have crooked trunks which can be attributed to poor genetics. Over-crowding and improper tree spacing can lead to heightened competition for soil nutrients and water. Finally, many trees along the far eastern property lines of all three lots have suffered obvious storm damage. Open wounds from snapped off trunks and broken limbs, create an entry point for disease and wood decaying fungi to take hold. Over time, the outcome is usually death, posing safety concerns.

**Recommendations:**

Based upon the current health and condition of the trees currently occupying the 3 lots and being aware of the future home-site plans for these properties, I recommend removing the trees as outlined in this report. If poor quality trees remain during the construction process, further damage may be done to those trees by soil compaction from heavy equipment and other tree damage potentially caused by a large-scale construction project. If you have questions or comments, please call or text my cell phone (314) 393-5597.

Sincerely,



Bryan R. Davidson  
 ISA Certified Arborist #MW-4452A  
 ASCA Registered Consulting Arborist RCA #576

**Appendix A**

**Assumptions & Limiting Conditions**

1. This report represents the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, nor the occurrence of a certain event.
2. Unless expressed otherwise, information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
3. Care has been taken to glean all usable information from reliable sources. All data has been verified to the extent possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. Loss or alteration of any part of this report invalidates the entire report submitted.
5. The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made. This includes payment of additional fees for such additional services.
6. Sketches, diagrams, graphs, and photographs in this report are intended as visual aids and are not necessarily to scale. These should not be construed as engineering or architectural reports, drawings, or surveys.
7. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without prior verbal consent of the consultant.

**Appendix B**

**Certificate of Performance**

I, Bryan R. Davidson, certify that:

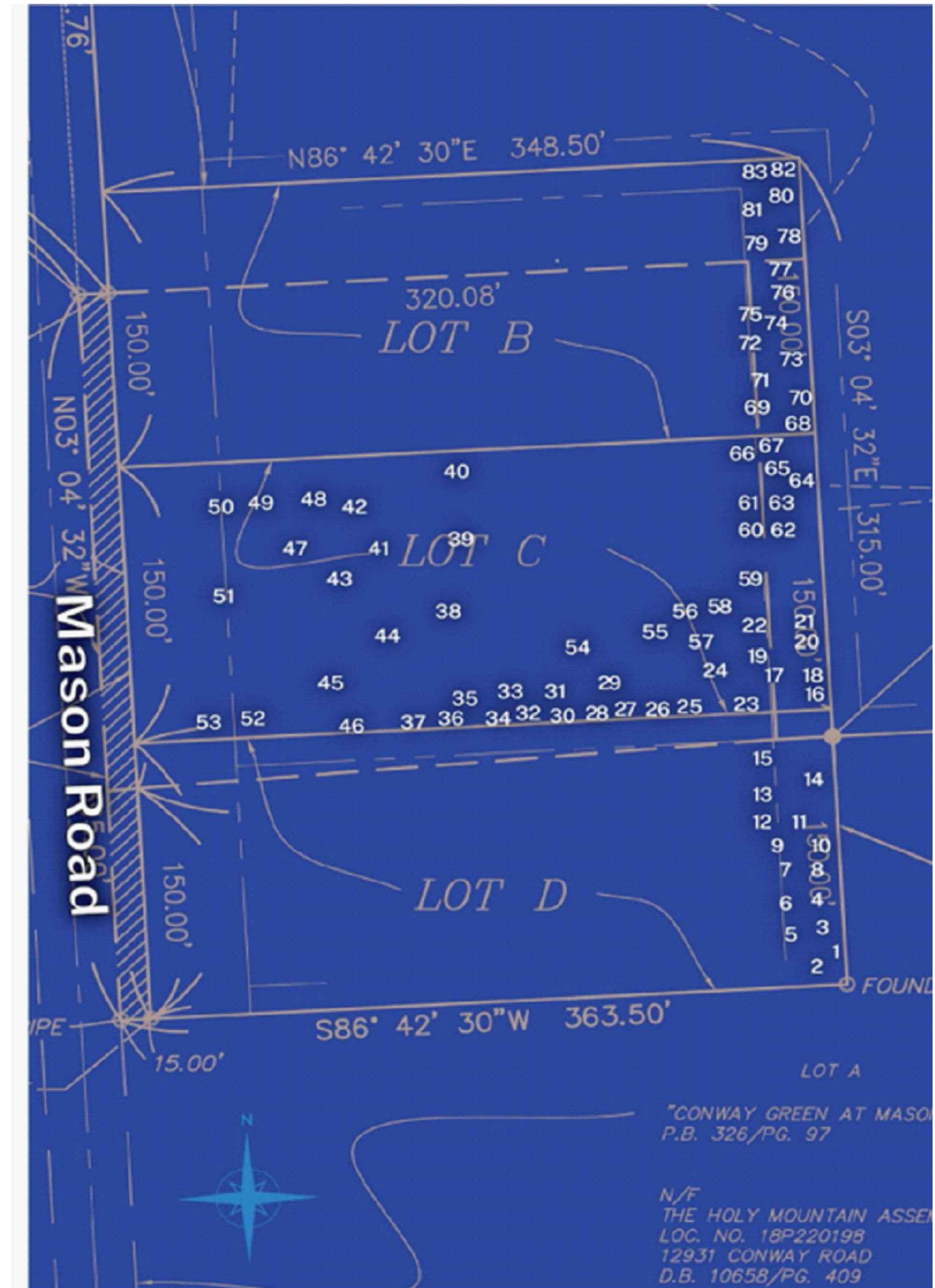
1. I have personally inspected the trees at the property referred to in this report and have stated my findings accurately.
2. I have no current or prospective interest in the trees or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
3. The analysis, opinions and conclusions stated herein are my own and are based on all currently accepted scientific procedures, testing methods and facts.
4. My analysis, opinions and conclusions were developed according to commonly accepted arboricultural practices and this report has been prepared based on those tested methods and practices.
5. I did not receive any additional professional assistance in developing this report except as indicated within the report contents.
6. My compensation is not contingent upon the reporting of a predetermined outcome that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results or the occurrence of any subsequent events.

I further certify that I am a member in good standing of the American Society of Consulting Arborists and the International Society of Arboriculture. I have Bachelor of Science degree in Forest Resource Management from the University of Missouri-Columbia and I have had a successful, full-time career in Arboriculture for over 21 years.

Signed: *Bryan R. Davidson*

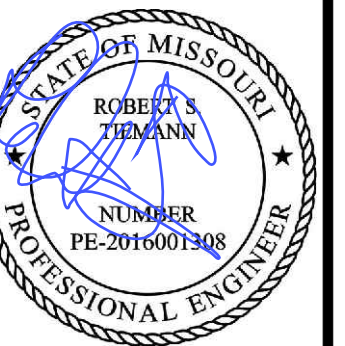
Dated: *March 4, 2024*

Bryan R. Davidson,  
 International Society of Arboriculture (ISA) Certified Arborist #MW-4452A  
 American Society of Consulting Arborists (ASCA) Registered Consulting Arborist #576



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**BaCon. Estates**  
**IMPROVEMENT PLANS**  
 TREE STUDY REPORT



Date: Jun 04, 2026  
 Robert Tiemann  
 License No. PE-2016001308  
 Civil Engineer

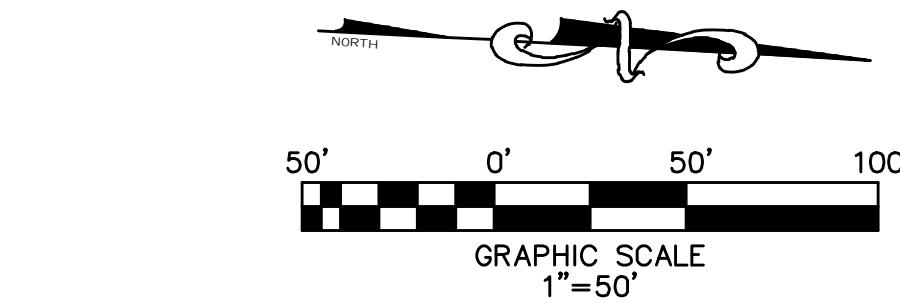
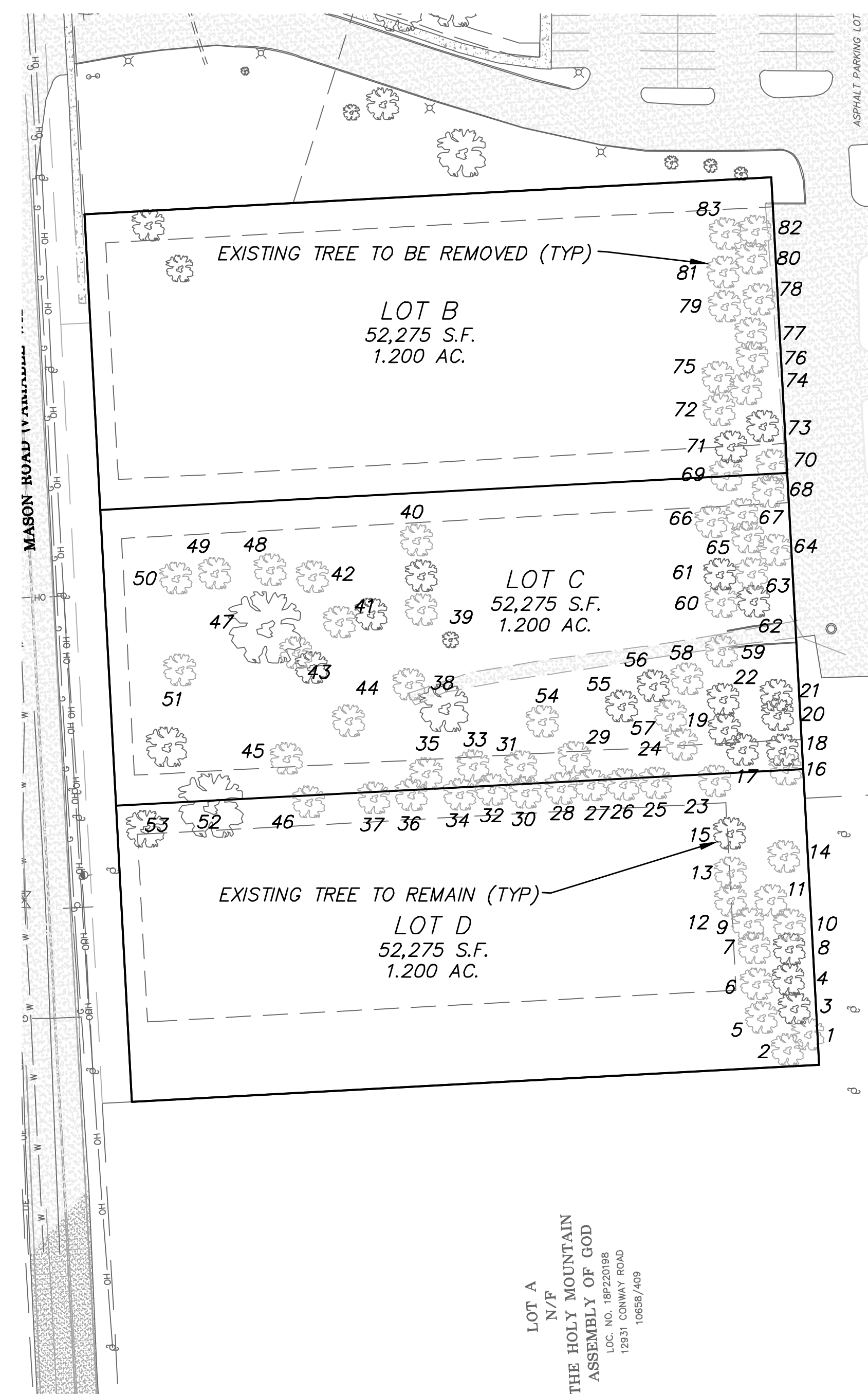
PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF

Tree Census - 324 & 350 S. Mason Road, Creve Coeur, MO 63141						
Tree #	Species	DBH (in)	Condition G=Good; F=Fair; P=Poor; D=Dead	R=Remain; TBR=To be removed	Replacement Trees (Quantity)	Notes
1	Black Walnut	11	P	TBR	0	Startin point for tree census; far southeast corner of property (southeast corner of "D" lot) and tallied trees in succession in a west to north direction
2	Black Walnut	14	P	TBR	0	Volunteer trees, covered in vines
3	Hackberry	8	F	R	-	
4	Black Cherry	6	F	R	-	
5	Black Walnut	10	P	TBR	0	Covered in vines
6	Black Walnut	11	P	TBR	0	Covered in vines
7	Red Mulberry	12	D	TBR	0	Tightly spaced tree thicket
8	Black Walnut	12	F	R	-	Covered in vines
9	Black Walnut	11	F	R	-	
10	Black Walnut	9	P	TBR	0	
11	Black Walnut	12	P	TBR	0	Covered in vines
12	Black Walnut	11	P	TBR	0	Covered in vines
13	Black Walnut	13	P	TBR	0	
14	Black Walnut	15	P	TBR	0	Leans east
15	Black Cherry	9	F	R	-	Last tallied tree on "Lot D"
16	Red Mulberry	9	P	TBR	0	Pink survey ribbon on tree limb. Begin tree tall at far southeast corner for "Lot C"
17	Black Walnut	9	F	R	-	East property boundary
18	Pin Oak	6	G	R	-	
19	Black Walnut	11	F	R	-	
20	Black Walnut	12	F	R	-	
21	Hackberry	20	F	R	-	
22	Pin Oak	102	F	R	-	
23	Red Mulberry	15	P	TBR	0	to west and shared with "Lot D" very near overhead utility wires
24	Box Elder	9	P	TBR	0	" "
25	Box Elder	9	P	TBR	0	" "
26	Black Walnut	13	P	TBR	0	" "
27	Silver Maple	23	P	TBR	0	" "
28	Black Walnut	9	P	TBR	0	" "
29	Silver Maple	11	P	TBR	0	" "
30	Silver Maple	10	P	TBR	0	" "
31	Black Cherry	9	P	TBR	0	" "
32	Black Locust	14	P	TBR	0	" "
33	Black Locust	24	P	TBR	0	" "
34	Black Locust	16	P	TBR	0	" "
35	Red Elm	9	P	TBR	0	" "
36	Black Cherry	8	P	TBR	0	" "
37	Black Walnut	27	F	R	-	" "
38	Black Locust	39	D	TBR	0	Hazardous, decayed
39	Black Locust	26	D	TBR	0	Hazardous, decayed
40	Red Oak	29	F	R	-	Nice shade tree
41	Silver Maple	28	D	TBR	0	Hazardous, decayed
42	E Red Cedar	22	P	TBR	0	Numerous deadwood, trunk cavities
43	Sweetgum	26	F	R	-	Fair shade tree
44	Redbud	13	F	R	-	" "
45	Silver Maple	32	D	TBR	0	Hazardous, decayed
46	Hackberry	31	P	TBR	0	Multi-stemmed
47	Pin Oak	41	F	R	-	Mature shade tree
48	White Spruce	13	P	TBR	0	" "
49	Tulip Tree	40	F	R	2	In conflict with site grading
50	Sweetgum	37	F	R	2	In conflict with site grading
51	Sweetgum	22	F	R	2	In conflict with site grading
52	Silver Maple	37	P	TBR	0	Decayed base of trunk
53	Black Cherry	35	D	TBR	0	Hazardous, decayed
54	Black Locust	12	P	TBR	0	" "
55	Black Walnut	21	F	R	-	" "
56	Siberian Elm	13	F	R	-	" "
57	Black Locust	12	P	TBR	0	" "
58	Black Locust	11	P	TBR	0	" "
59	Black Locust	12	P	TBR	0	" "
60	Siberian Elm	21	P	TBR	0	" "
61	Red Elm	7	G	R	-	Young immature shade tree
62	Black Cherry	9	F	R	-	" "
63	Red Elm	9	P	TBR	0	" "
64	Siberian Elm	8	P	TBR	0	" "
65	Red Elm	13	P	TBR	0	" "
66	Black Locust	12	P	TBR	0	" "
67	Black Locust	10	P	TBR	0	" "
68	Black Locust	11	P	TBR	0	Begin tree tally at far southeast corner for "Lot B"
69	Black Locust	12	D	TBR	0	" "
70	Red Elm	11	P	TBR	0	" "
71	Red Elm	12	P	TBR	0	" "
72	Black Locust	12	P	TBR	0	" "
73	Silver Maple	10	P	TBR	0	" "
74	Black Locust	11	P	TBR	0	" "
75	Black Locust	10	P	TBR	0	" "
76	Red Elm	12	D	TBR	0	" "
77	Silver Maple	10	P	TBR	0	Storm damage, vines
78	Black Locust	9	D	TBR	0	" "
79	Black Locust	10	D	TBR	0	" "
80	Black Locust	8	P	TBR	0	Storm damage, vines
81	Black Locust	11	P	TBR	0	Storm damage, vines
82	Siberian Elm	10	P	TBR	0	Storm damage, vines
83	Red Elm	8	P	TBR	0	completed tree tally and inventory

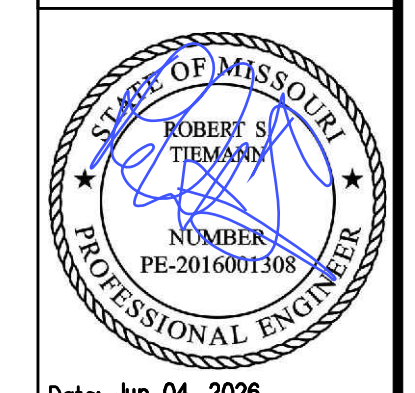
Category Grand Totals: To Be Removed (in Poor condition or worse) = 60 Trees (72% of total trees)  
Remain (in Fair condition or better) = 23 Trees (28% of total trees)  
To Be Removed & Replaced = 3 Trees (In conflict with site grading operations, replace at a 2:1 ratio)



- NOTES:
- 1) ALL TREES IN FAIR OR BETTER CONDITION WILL REMAIN.
  - 2) ADDITIONAL TREE REMOVAL AND STREET TREE PLACEMENT ARE SUBJECT TO THE IMPROVEMENT PLANS BEING SUBMITTED FOR EACH INDIVIDUAL LOT IN THE FUTURE.
  - 3) FINAL LANDSCAPING PLAN FOR THE BUFFER YARD ON LOT D TO BE INCLUDED ON THE INDIVIDUAL SITE PLAN FOR LOT D AT THE TIME OF BUILD PERMIT APPLICATION.

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**BaCon. Estates**  
**IMPROVEMENT PLANS**  
**TREE STUDY CENSUS**

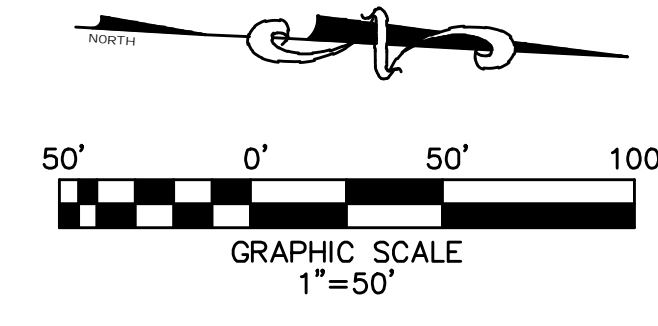


Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF



LANDSCAPE LEGEND				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QTY
	YELLOWWOOD	CLADRASTIS KENTUCKEA	2-1/2"	15

Plantings shown hereon are to demonstrate compliance with city code requirements. Substitutions are allowed provided the contractor provides the city with a detailed Landscape Plan, including tree species and mature height, prior to landscape installation. A planting plan developed by a qualified landscape specialist is recommended.

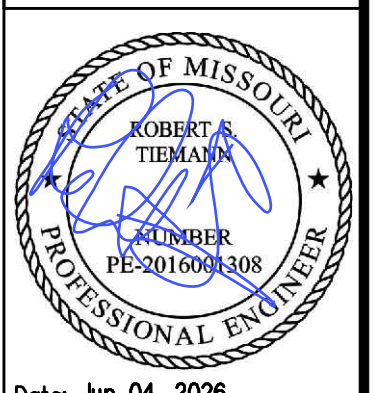
notes:

- 1) All trees in fair or better condition will remain.
- 2) Additional tree removal and street tree placement are subject to the site plans submitted for each individual lot at the time of building permit applications. Street trees shown hereon are to indicate the number of street trees required per lot. Actual location and type of street trees to be determined with individual site plan submittals.
- 3) Full buffer yard landscape plans for the buffer yard on Lot D shall be required prior to issuance of the building permit for Lot D.

Street Tree Calculation Table				
Requirement: 1 tree per 30 linear feet of street frontage				
Lot #	Frontage (ft)	# of Ex. Trees	# of Prop Trees	Total # of Trees
Lot B	150	0	5	5
Lot C	150	0	5	5
Lot D	150	0	5	5

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**BaCon Estates**  
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LANDSCAPE PLAN - STREET TREES

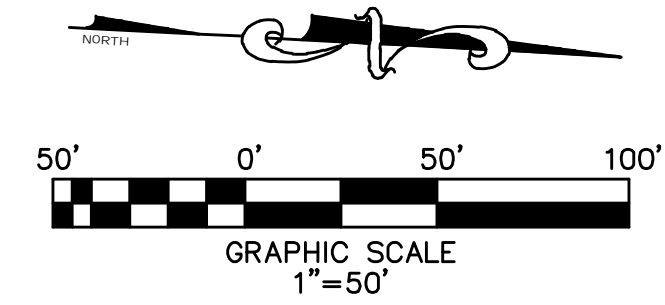


Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF



LANDSCAPE LEGEND				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QTY
	EXISTING TREE	VARIOUS	VAR.	20
	EASTERN REDBUD	CERCIS CANADENSIS	2 1/2"	20
	BLUE SPRUCE	PICEA PUNGENS	6' TALL	17
	LEAD PLANT	AMORPHA CANECENS	2 GAL.	10
	LITTLE BLUESTEM	SCHIZACHYRIUM SCORPARIUM	2 GAL.	7

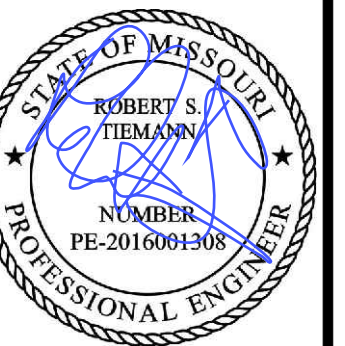
Plantings shown hereon are to demonstrate compliance with city code requirements. Substitutions are allowed provided the contractor provides the city with a detailed Landscape Plan, including tree species and mature height, prior to landscape installation. A planting plan developed by a qualified landscape specialist is recommended.

notes:

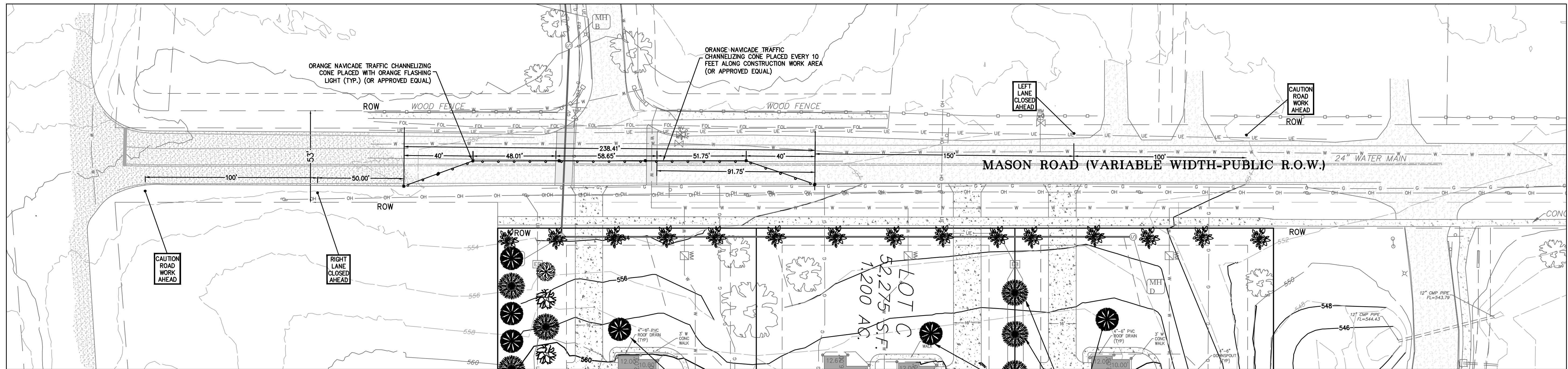
- 1) All trees in fair or better condition will remain.
- 2) Full buffer yard landscape plans for the buffer yard on Lot D shall be required prior to issuance of the building permit for Lot D.

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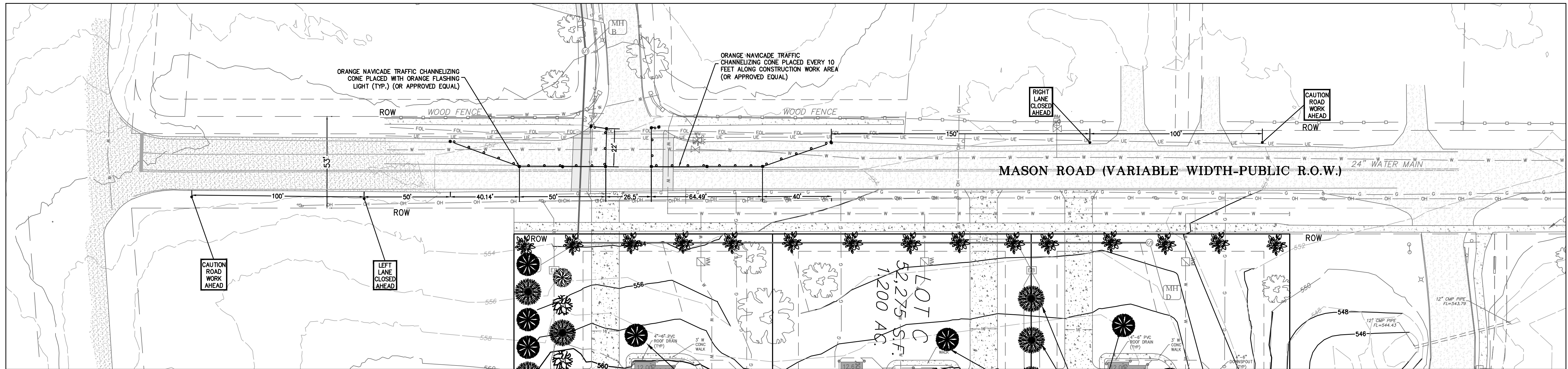
*BaCon Estates*  
**IMPROVEMENT PLANS**  
 LANDSCAPE PLAN - BUFFER PLANTINGS



Date: Jun 04, 2026  
 Robert Tiemann  
 License No. PE-2016001308  
 Civil Engineer  
 PROJECT NUMBER: 23-1573  
 DATE: 11-24-2023  
 DRAWN BY: BJF



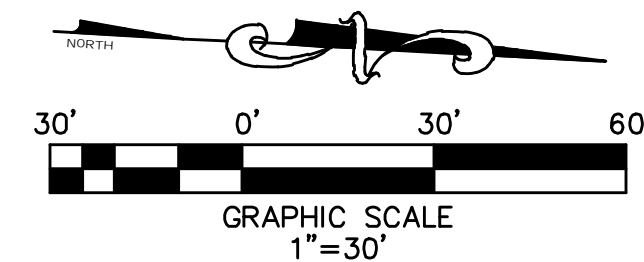
**PHASE 1 M.U.T.C.D.**  
1"=30'



**PHASE 2 M.U.T.C.D.**  
1"=30'



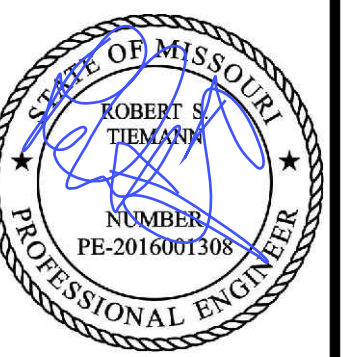
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.



26MSD-00179, MAP 18P4

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Professional Engineer License No. 0011004415

**BaCon Estates**  
**IMPROVEMENT PLANS**  
M.U.T.C.D. PLAN



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: BJF

28 OF 29

**RIGHT-OF-WAY & TRAFFIC CONTROL NOTES:**

1. Except for emergency ROW work as provided in subsection 90-283(c)(1)b., ROW work shall be performed only upon issuance and in accordance with the requirements of a ROW permit.
2. At all times during the work, ROW permits shall be conspicuously displayed at the work site and shall be available for inspection by the director.
3. If at any time it appears that the duration or scope of the ROW work is or will become materially different from that allowed by the ROW permit, the ROW user shall inform the director. The director may issue a waiver, an extension or a revised ROW permit, or require that the ROW user reapply for a ROW permit in accordance with all requirements of this chapter.
4. ROW users shall not open or encumber more of the rights-of-way than is reasonably necessary to complete the ROW work in the most expeditious manner or allow excavations to remain open longer than is necessary to complete the work. The width of the excavation shall be no greater than is necessary for doing the work. The ROW user excavating in the rights-of-way shall cause the excavation to be done with the least possible injury to the pavement, sidewalk, curbing, parkway, or other surface and shall place the materials from the excavation where they will cause the least possible inconvenience to the public and permit the uninterrupted passage of water along the gutters.
5. All ROW work that affects vehicular or pedestrian traffic shall be properly signed, barricaded, and otherwise protected at the ROW user's expense. The ROW user shall be solely responsible for providing adequate traffic control to the area surrounding the work as determined by the director. All traffic control devices shall be in compliance with the current version of the standard specifications and the Manual of Traffic Control Devices (MUTCD), unless otherwise agreed to by the director. All surplus excavation materials, tools, or supplies at the site of the ROW work shall be barricaded and lighted at night. The ROW user assumes the sole responsibility for maintaining proper barricades, plates, safety fencing, and/or lights as required from the time of opening of the ROW until completion.
6. The ROW user shall perform the ROW work at such times that will allow the least interference with the normal flow of traffic and the peace and quiet of the neighborhood, as permitted by the director. Unless otherwise provided by the director in the permit, non-emergency ROW work on arterial and collector streets may not be accomplished during the hours of 7:00 a.m. to 8:30 a.m. and 4:00 p.m. to 8:00 p.m. in order to minimize disruption of traffic flow.
7. The ROW user shall notify the city no less than three working days in advance of any ROW work that would require any street closure or would reduce traffic flow to less than two lanes of moving traffic for more than four hours. Except in the event of emergency ROW work, no such closure shall take place without notice and prior authorization from the city.
8. All ROW work shall be in accordance with all applicable sections of the Occupational Safety and Health Act of 1970, the National Electrical Safety Code, applicable engineering code, and other federal, state, or local laws and regulations that may apply, including, without limitation, local health, safety, construction ordinances, and laws and accepted industry practices, all as hereafter may be amended or adopted. The ROW user shall comply with the excavation requirements of Missouri One Call established by RSMo 319.010 et seq., as amended. In addition, all ROW users shall be subject to all technical specifications, design criteria, policies, resolutions, and ordinances now or hereafter adopted or promulgated by the city in the reasonable exercise of its police power relating to permits and fees, sidewalk and pavement cuts, facility location, construction coordination, surface restoration, and other requirements on the use of the rights-of-way. In the event of a conflict among ordinances and standards, the most stringent ordinance or standard shall apply (except insofar as that ordinance or standard, if followed, would result in facilities that could not meet requirements of federal, state, or local law).
9. All safety practices required by law shall be used during ROW work, including commonly accepted methods and devices to prevent failures and accidents that are likely to cause damage, injury, or nuisance to the public.
10. The person doing the excavating or other ROW work must after the work is completed and the refill is made, clean up and haul away all surplus earth, rock, debris, or other rubbish. The ROW user shall remove dirt from the wheels of all vehicles leaving any site where mud has accumulated on the wheels before such vehicles enter any public street of the city. It shall be unlawful for any ROW user to permit any vehicles to leave such place with mud on the wheels which is liable to be dispersed over any public street of the city and it shall be unlawful for any driver of a vehicle to enter upon the public streets of the city without having removed or had mud removed from the wheels prior to such entry. Each occurrence shall be a separate offense. The ROW user shall be responsible for damages to the city, or its contractors, resulting from such failure and shall indemnify the city and its contractors as provided herein and pay the costs for remedying such failure.
11. The contractor performing work within the ROW shall restore the ROW condition upon completion of work per the Section 90-283 (10) of the City of Ladue Municipal Code.

**ESTIMATED SCHEDULE OF OPERATIONS:**

Proposed start of operations - June, 2026

**Approximate durations:**

Pavement Demolition	1 day	(June 2026)
Excavation	1 day	(June 2026)
Sanitary sewer / water installation	2 day	(June 2026)
Excavation backfill	1 day	(June 2026)
Pavement placement	1 day	(June 2026)
Restore site conditions	1 day	(July 2026)

\*Durations shown above are for installation of utilities on an individual basis. Open cutting of pavement shall be performed one lane at a time. No full closure of Mason Road shall be allowed.

**EARTHWORK QUANTITIES WITHIN R.O.W.:**

CUT	FILL
95 CU. YDS.	25 CU. YDS.
NET:	70 CU. YDS. CUT

Note: the above yardage is an approximation only, NOT FOR BIDDING PURPOSES. Contractor shall verify quantities prior to construction.

Excavation Details: 1 excavation for approximately 58' long and 8' wide at an average depth of 1'-3'

**HAUL ROUTE:**

No haul for the excess dirt shall be required. Remaining cut will be used on-site in proposed fill areas.

**NAVICADE™**  
TRAFFIC CHANNELIZING CONE

The Navicade is recommended for:  
Work Zones  
Crowd Control  
Construction Areas  
Lane Closures  
Schools

Specs	
Composition	Low Density Polyethylene
Dimensions	49.25"H x 7.6"W
Color	Orange
Weight	3 lbs.
Reflective Sheeting	Available in all grades in white and orange, 4"W and 5"W

**Bases**

16 lb. base    30 lb. base  
These snug fitting black rubber bases are made from recycled materials.

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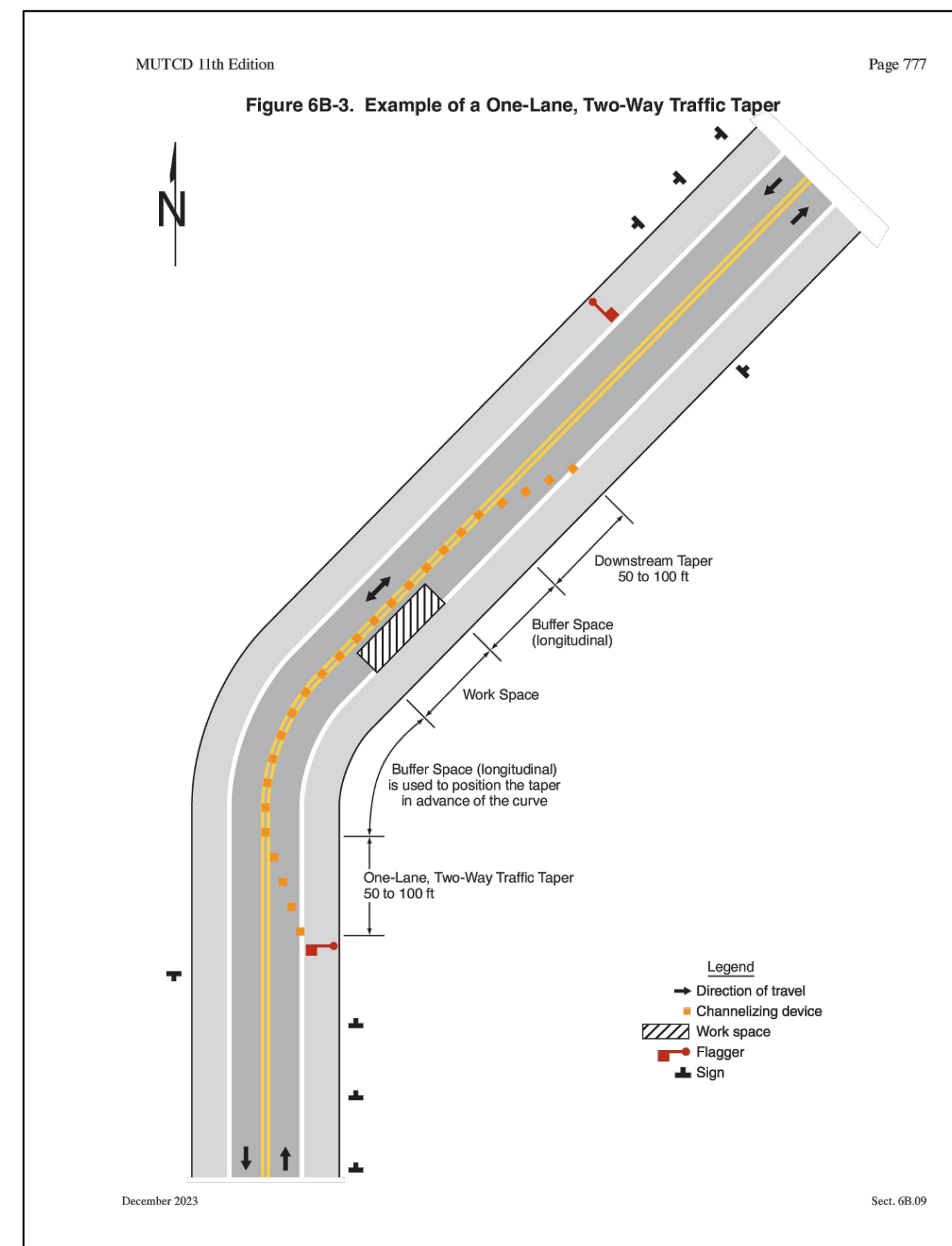
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**SOLAR Masters** PRODUCT SPEC SHEET  
Type-B Solar Powered High-Intensity Barricade Light

Product Type:	Traffic Safety Light
Part Number:	SBL006
Flash Rate:	+/- 65 Flashes per Minute
Power/Energy:	1.5 Watt Solar Panel 3.6 Volt NiMH 4,600 mAh Rechargeable Battery Included/Installed
Illumination/Brightness:	9 High-Intensity Super Bright LEDs; 35+ Candelas
Operational Requirements:	Ready to Operate Right Out of the Box; All Parts Included; Maintenance Free
Length of Operation:	3+ Years
Full Solar Charge:	Operates 168+ Hours Flashing; Overcharge Protection Built-In
Charging Requirements:	Re-Charges During Day; No Direct Sunlight Required to Charge
On/Off Switch:	Operates 24/7 Flashing
Lens Cover Material:	Polycarbonate
Mounting System:	Box Style Base with Multiple Mounting Options Available
Packaging:	5 Lights per Box (Fully Assembled)
Parts Included:	5 Security Bolts; 5 Post U-Clamps; 5 Hoods; 1 Security Tool; 1 On/Off Push Pin
Colors Available:	Amber/Yellow; Red

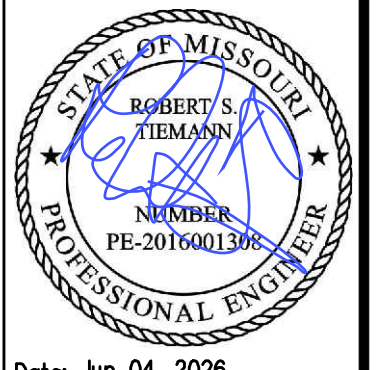
Light Meets or Exceeds MUTCD Requirements and ITE Specifications; NCHRP-350 Certified

3973 Industry Avenue - Suite 103 | Lakewood, CA 90712 | (877) 937-6527 | sales@Solar-Masters.com | www.Solar-Masters.com



**THD DESIGN GROUP, INC.**  
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FAX: 636-294-3070  
WEB: www.thd.com  
Corporate Certificate of Authority #2011004415

**BaCor. Estates**  
**IMPROVEMENT PLANS**  
M.U.T.C.D. PLAN DETAILS



Date: Jun 04, 2026  
Robert Tiemann  
License No. PE-2016001308  
Civil Engineer

PROJECT NUMBER: 23-1573

DATE: 11-24-2023

DRAWN BY: EJP











# city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141

(314) 432-6000 • www.crevecoeurmo.gov

## APPLICATION TO PLANNING AND ZONING COMMISSION #26-016: SITE DEVELOPMENT PLAN FOR A FENCE WITHIN THE FRONT YARD SETBACK FOR THE PROPERTY ADDRESSED AS 12111 LADUE HEIGHTS DRIVE

FOR THE MEETING OF: Monday, June 15, 2026

SUBJECT PROPERTY LOCATION: 12111 Ladue Heights Drive, zoned B Single Family Residential

REQUEST: Joe Green, homeowner, has submitted an application for a 6 foot (72”) tall, wooden privacy fence parallel to Coeur De Ville Lane Street right of way for the corner property located at 12111 Ladue Heights Drive. This property is within the “B” Single-Family Residential Zoning District. The City of Creve Coeur’s Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district unless such fence is setback at least 15 feet from the property line, no more than 4 feet in height, and is an open slatted decorative metal fencing.

ADDITIONAL INFORMATION: All other fences must be approved by site development plan by the Planning and Zoning Commission. City Council action is not required.

OWNER/APPLICANT: Joseph Green  
12111 Ladue Heights Drive  
Creve Coeur, Mo 63141

### Key Issues:

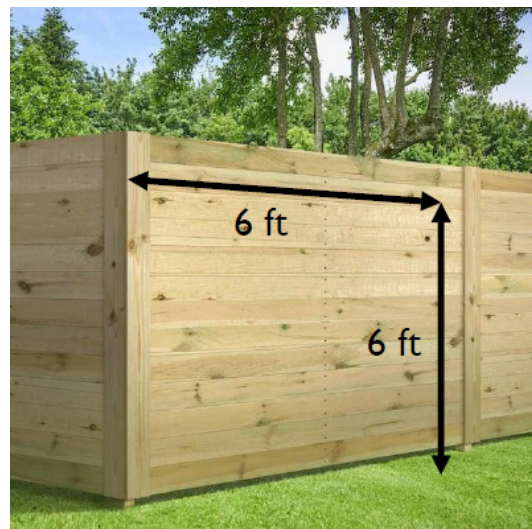
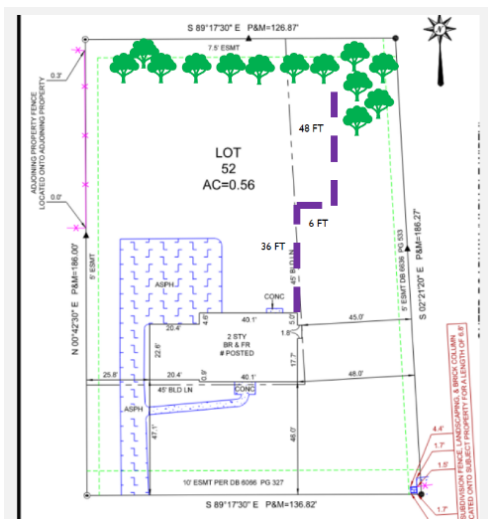
- Does the request integrate with the existing surrounding uses?

### Comprehensive Plan References

- Countryside Estates (CR)
- Design Guidelines

### Zoning Code References

- Section 405.260: B-Single Family Residential
- Section 405.640: Fences and Walls
- Section 405.1080: Site Concept, Site Development, and Minor Site Plan Approval



REPORT PREPARED BY: Bethany L. Moore, AICP, City Planner  
 DATE: 6/8/2026  
 ATTACHMENTS: Applicant’s Materials

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Single family residence	B Single Family Residential	N/A
South	Single family residence	B Single Family Residential	Ladue Heights Drive
East	Single family residence	B Single Family Residential	Coeur De Ville Lane, I-270, and Emerson Road
West	Single family residence	B Single Family Residential	N/A

**FENCE PLACEMENT AND DESIGN**

The Applicant is seeking to install a 6 foot (72”) tall wooden, privacy fence, a portion of which is located approximately 20 feet from the secondary front yard property line adjacent to Coeur De Ville Lane right-of-way for the corner lot property addressed as 12111 Ladue Heights Drive. The remaining portion of the fence will be placed at the building line and will not project into the street-fronting yard. There is not currently a fence in this location and there are very few fences along Coeur De Ville Lane. There is a 6-foot-tall wooden privacy fence further north along Coeur De Ville Lane at 12116 Royale Valley Drive that was approved by the Planning and Zoning Commission in 2025. This fence sits lower than the street due to the topography. The applicant is requesting the fence due to the noise created by the three roadways adjacent to the property. The subject property includes some existing vegetation that would block the fence from visibility along Coeur De Ville and the applicant is proposing installing landscaping to screen the visible section of fence. Staff suggests a condition of approval that a final landscaping plan be submitted showing evergreens installed in any open spaces to fill in the existing vegetation to help screen the site-proof fence from Coeur De Ville Lane.

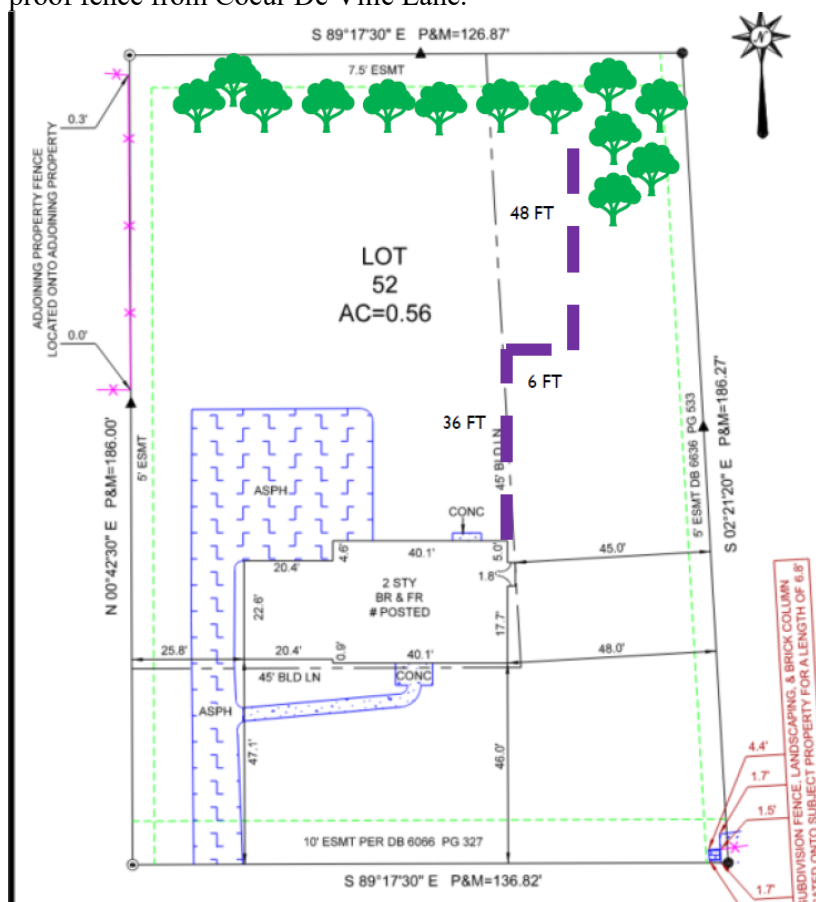


Figure 1: Applicant's Site Plan with proposed fence location shown in yellow.

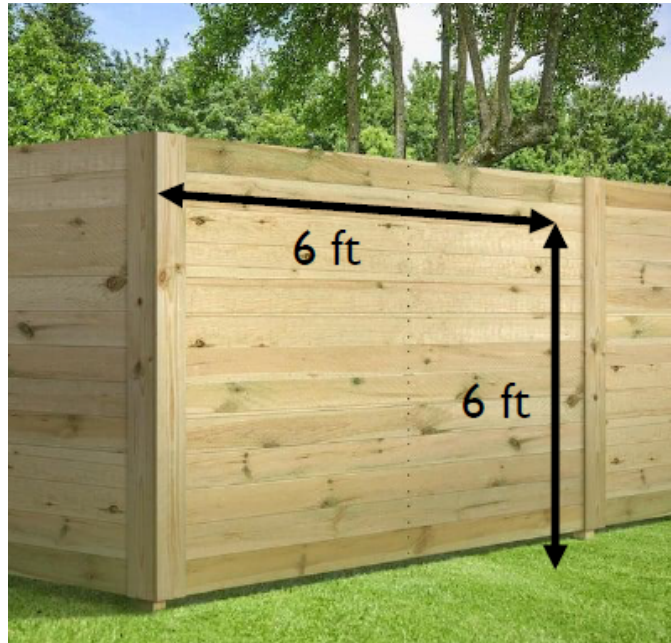


Figure 2: Fence detail showing 6-foot-tall wooden privacy fence.

#### ANALYSIS

The Zoning Code provides standards for evaluating requests for fences adjacent to street right-of-way under Section 405.640 Fences and Walls:

*C. Fences Or Walls Within The Front Yard Section And Along Street Right-Of-Way.*

*A fence may project within the area equivalent to the front yard of the applicable zoning district, when clearly to the side or rear of the home, provided that such fence is setback at least fifteen (15) feet from the property line, no more than four (4) feet in height, and is an open slatted decorative metal fencing, similar in style for swimming pool enclosures as provided in Subsection (D). Any other fence design or location, outside of the preceding criteria, in the area equivalent to the front yard along any street right-of-way shall be subject to site development plan approval by the Planning and Zoning Commission in accordance with Section 405.1080.*

The applicant is requesting a site proof, 6-foot-tall wooden fence 20 feet from the property line which requires site plan approval for the application from the Planning and Zoning Commission. The fence is on the side of the house within the front yard setback for the corner property adjacent to Coeur De Ville Lane right of way. The context of the surrounding area includes mostly open lots with landscaped screening and the 6-foot-tall wooden fence approved by the Planning and Zoning Commission in 2025 for 12116 Royale Valley Drive. The placement of a 6-foot-tall sight-proof fence along Coeur De Ville Lane would be uncommon along this portion of the road but given that the fence will sit back 20 feet from the property line and will be mostly screened with existing landscaping, the visual impact should be limited. Landscaping or existing vegetation is also common to screen the fences. Staff recommends a condition of approval that a final landscaping plan be submitted showing evergreens installed in any open spaces to fill in the existing vegetation to help screen the site-proof fence from Ladue Road. This condition is common in requests where a solid wooden fence is placed along street right of way. The planting of the additional landscaping would help to mitigate the visual impact of the fence.

**CONCLUSION AND ACTION**

If the members of the Planning Commission find the applicant’s reasons for the fence location, height, and design sufficient, they can approve it as proposed. If the Commission wishes to revise the location, material or height of the fence, discussion with the Applicant and a revised motion would be necessary.

**MOTION**

The motion for the fence within the front yard setback and adjacent to street right-of-way at 12111 Ladue Heights Drive as shown in the enclosed site plan will be in the form of approval, approval with conditions, or deferral. City Council action is not required. The following is an example motion for this application:

“I move to approve the site plan for a 6-foot-tall wooden privacy fence to be located 20 feet from the property line along Coeur De Ville Lane with a final landscaping plan to be submitted for staff review, for the corner property addressed as 12111 Ladue Heights Drive as discussed within the Staff Report for Application #26-016 for the June 15, 2026, Planning and Zoning Commission meeting.” (Modification or revisions may be included by preceding motion).

---

**APPENDIX 1: COMPREHENSIVE PLAN**

Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 2: ZONING CODE**

Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 3: AERIAL MAP**



APPENDIX 4: SITE PHOTOGRAPHS		Date Taken: 6/9/26
	Description: Google street view image of proposed fence location.	
	Description: View of proposed fence location from Ladue Heights Drive	
	Description: View of proposed fence location from Coeur De Ville Lane.	



city

of

# CREVE COEUR

PLANNING DIVISION

300 North New Ballas Road, Creve Coeur, Missouri 63141

Tel. (314) 872-2501 • Fax (314) 872-2505

## PLANNING AND ZONING COMMISSION AGENDA APPLICATION SITE DEVELOPMENT PLAN

Select Project Type: Site Development Plan  Site Concept Plan  Minor Site Plan

Title of Project: \_\_\_\_\_

Location of Project: \_\_\_\_\_ Locator # \_\_\_\_\_

Subject for Agenda: \_\_\_\_\_

**Applicant:**

Architect \_\_\_\_\_ Engineer \_\_\_\_\_ Contractor \_\_\_\_\_ Agent \_\_\_\_\_ Owner \_\_\_\_\_

Applicant:	Applicant's Representative (if applicable):
_____ <i>Name</i>	_____ <i>Name</i>
_____ <i>Company (If Applicable)</i>	_____ <i>Company (If Applicable)</i>
_____ <i>Address</i>	_____ <i>Address</i>
_____ <i>Address</i>	_____ <i>Address</i>
_____ <i>Telephone #</i>	_____ <i>Telephone #</i>
_____ <i>Fax #</i>	_____ <i>Fax #</i>
_____ <i>Email:</i>	_____ <i>Email:</i>
_____ <i>Applicant's Signature</i>	_____ <i>Applicant's Representative's Signature</i>

<b>Owner's Acknowledgement (if different from applicant):</b>
_____ <i>Name</i> <span style="float: right;">_____ <i>Company (If Applicable)</i></span>
_____ <i>Address</i>
_____ <i>Phone</i> <span style="margin-left: 150px;"><i>Fax</i></span> <span style="margin-left: 150px;"><i>Email</i></span>
_____ <i>Applicant's Signature</i>

**Description of Request (attach additional sheets as needed)**

General Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Rationale**

Please describe in detail, on an attached sheet, the reasons why you believe the request should be approved and what steps are being taken to lessen any impacts on surrounding residences and businesses. An explanation of the building and landscape designs (if changes are proposed) should also be included.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Submittal Checklist**

- |   |  |
|---|--|
| <input type="checkbox"/> Rationale  | <input type="checkbox"/> Building elevations for new construction                    |
| <input type="checkbox"/> Site plan 4 hard copies  | <input type="checkbox"/> Photographs of existing structures                          |
| <input type="checkbox"/> Access and parking plan-4 hard copies; (may be shown on site plan) | <input type="checkbox"/> Materials samples for Commission review                     |
| <input type="checkbox"/> Landscape plan 4 hard copies                                       | <input type="checkbox"/> Legal Description in Word format                            |
| <input type="checkbox"/> Floor plan 4 hard copies   | <input type="checkbox"/> Fees: \$250 (non-refundable)<br>\$2000 (refundable deposit) |
| <input type="checkbox"/> Electronic copies of all materials                                 | <input type="checkbox"/> Other items as requested by staff                           |

**Preferred Public Hearing Date: Monday, \_\_\_\_\_, 20\_\_\_\_.**

**\*\*Confirm schedule and available meeting dates with Planning Division staff\*\***

<b>Office Use Only</b>	
_____ All Sections Complete	Received By: _____
_____ All Documents, incl. e-Copies	_____
_____ Fees Paid	Date: _____

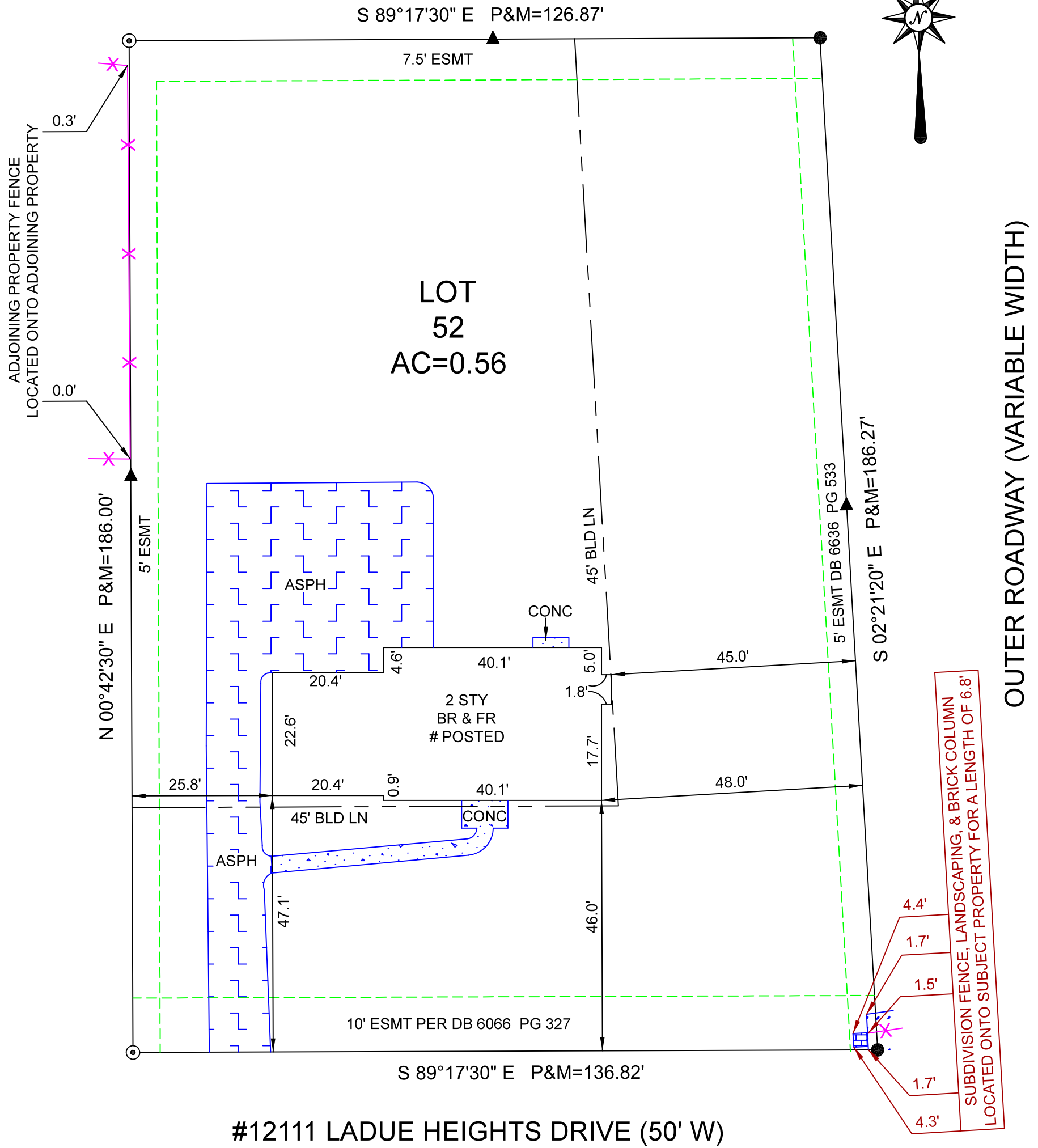
# BOUNDARY SURVEY

## LOT 52 OF LADUE HEIGHTS SECTION ONE

### PB 119 PG 87, ST LOUIS COUNTY, MO

- ✕ FENCE
- P PLATTED DISTANCE
- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE
- ◎ FOUND IRON PIPE

1" = 20'



**#12111 LADUE HEIGHTS DRIVE (50' W)**

**SHEET 1 OF 2**



PO BOX 278  
COTTLEVILLE, MO 63338  
PHONE: 636.922.1001  
Corp # 2005000229  
www.CardinalSurveying.com  
inbox@cardinalsurveying.com

JOB #2309059  
FB 724:13  
FIELD WORK BY: PND/JAC  
DRAWN BY: VAS  
12111 LADUE HEIGHTS DR  
CREVE COUER, MO 63141  
REVIEWED BY:  
WILLIAM JACOB CLARK  
LS# 2002014101

THIS IS TO CERTIFY THAT ON  
SEPT 5, 2023  
A REQUEST BY  
FREEDOM TITLE COMPANY  
WAS MADE FOR A BOUNDARY  
SURVEY AND TO LOCATE THE  
IMPROVEMENTS ON THE ABOVE  
NAMED TRACT AND THAT THE  
RESULTS ARE, TO THE BEST OF  
MY KNOWLEDGE, CORRECTLY  
REPRESENTED HEREON.



# BOUNDARY SURVEY

## LOT 52 OF LADUE HEIGHTS SECTION ONE

### PB 119 PG 87, ST LOUIS COUNTY, MO

**SURVEYORS NOTES:**

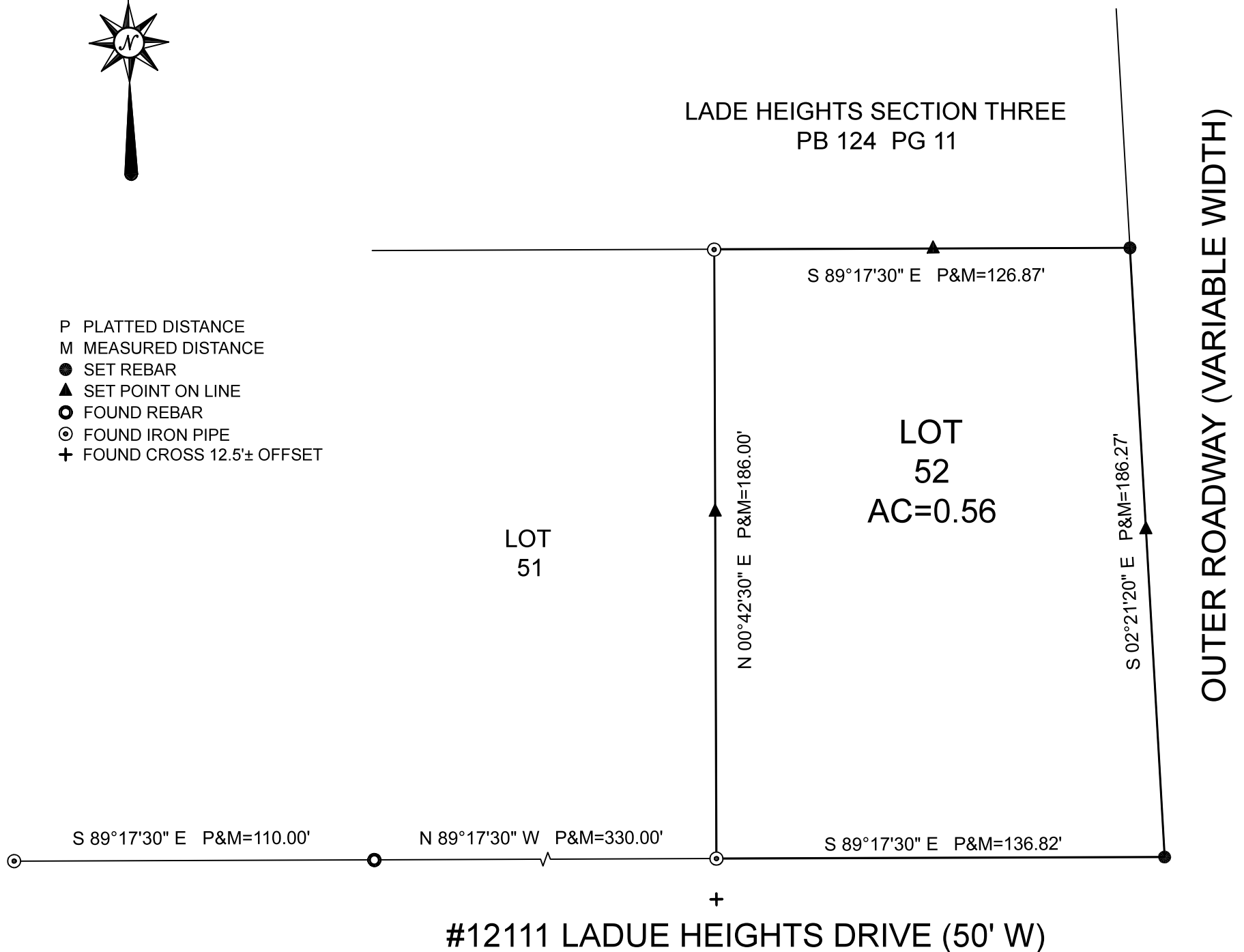
1. BASIS OF BEARING SHOWN ON DRAWING PER MODOT VRS GPS OBSERVATION ON SEPTEMBER 8, 2023.
2. TITLE COMMITMENT PROVIDED BY FREEDOM TITLE COMPANY COMMITMENT #23LT05169. EASEMENTS LISTED PER SCHEDULE B-II: DB 6066 PG 327, DB 6636 PG 533 (PLOTTED AND NOTED).
3. NO RESEARCH PERTAINING TO EASEMENTS WAS COMPLETED BY CARDINAL SURVEYING & MAPPING AND THE PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS. ITEMS LOCATED INTO EASEMENT AREAS MAY OR MAY NOT BE AT RISK. SEEK LEGAL ADVICE IF YOU HAVE QUESTIONS. THE EASEMENTS SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT.
4. BUILDING LINES SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT. SETBACK AND SIDEYARD REQUIREMENTS MAY EXIST ACCORDING TO CURRENT ORDINANCE AND ZONING STANDARDS AND ARE NOT SHOWN ON THIS DRAWING.
5. SURVEY COMPLETED TO URBAN PROPERTY BOUNDARY ACCURACY STANDARDS PER 20 CSR 2030-16.040 OF THE MISSOURI STATE STATUTES AND ACCURATELY REFLECTS ALL VISIBLE IMPROVEMENTS, INCLUDING FENCES, RECORDED EASEMENTS PER ABOVE REFERENCED TITLE COMMITMENT, AND EVIDENCE OF VISIBLE EASEMENTS LOCATED AT THE TIME OF SURVEY. AN ALTA WAS NOT PERFORMED AND UTILITY LOCATION HAS NOT BEEN DETERMINED.
6. OWNERSHIP OF THE IMPROVEMENTS AS SHOWN ON THIS DRAWING ARE THE OPINION OF THE SURVEYOR AT THE TIME THE SURVEY WAS EXECUTED AND HAS NOT BEEN VERIFIED TO ANY EXTENT, NOR IMPLIES ANY EXCLUSIVE OWNERSHIP.

1" = 40'



- P PLATTED DISTANCE
- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE
- FOUND REBAR
- ⊙ FOUND IRON PIPE
- + FOUND CROSS 12.5'± OFFSET

LADE HEIGHTS SECTION THREE  
PB 124 PG 11



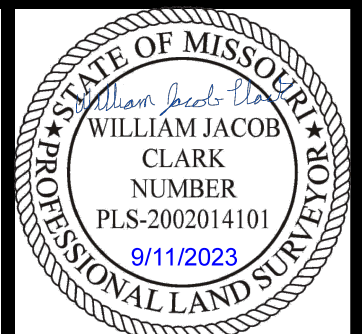
SHEET 2 OF 2

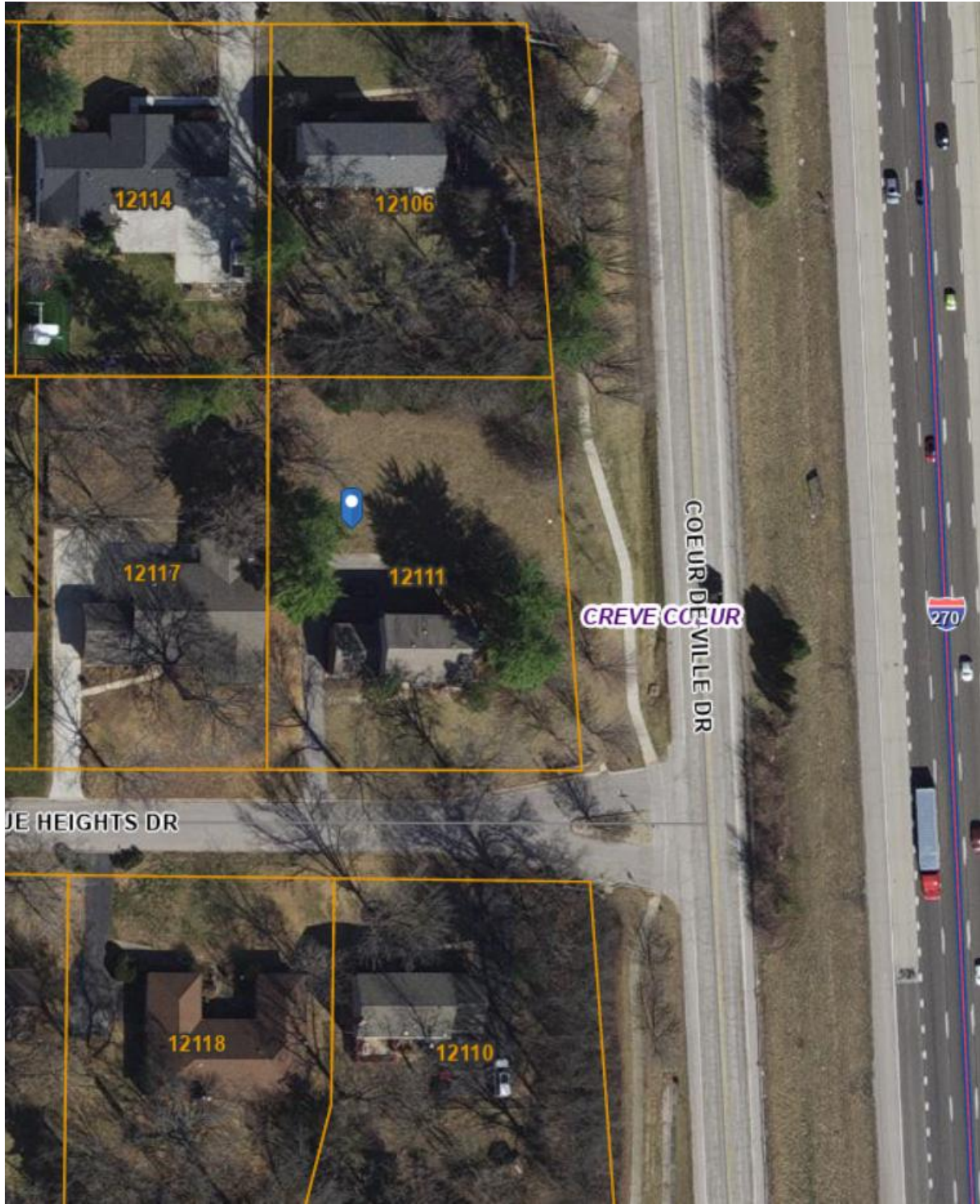


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RESULTS ARE, TO THE BEST OF  
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REPRESENTED HEREON.





**SITE DEVELOPMENT PLAN FOR A FENCE  
ALONG COEUR DE VILLE LANE FOR  
THE PROPERTY AT  
12111 LADUE HEIGHTS DRIVE**

**Home Owners: Joe & Lauren Green**

**Contact Info for Joe Green**

C: 636.634.6806

E: JoeGreen8902@gmail.com

# **SUBJECT: REQUEST FOR APPROVAL OF A 6-FOOT PRIVACY FENCE ON CORNER LOT**

Dear Members of the Planning & Zoning Commission,

My family and I moved to our home on 12111 Ladue Heights Drive in September of 2023 to accommodate our growing family. Since that time, I have spent countless hours making cosmetic improvements to “clean the home up” on both the exterior and interior. I am writing to formally request approval for the installation of a six-foot privacy fence at my residence located at our home, which is situated on a corner lot within the City of Creve Coeur.

I understand that the City has established specific guidelines governing privacy fences on corner lots, particularly with respect to sight distance, public safety, and neighborhood aesthetics. I want to assure the Commission that my intent is to fully comply with all applicable ordinances and visibility requirements, including maintaining clear sight triangles at street intersections and adhering to approved fence placement standards.

The primary reasons for requesting this fence are safety, security, and quality of life for my family. I have two young children under 5 years old and a dog, and the fence is essential to help ensure that they can safely use our yard without the risk of running into the street or being exposed to traffic hazards. Due to our corner-lot location and proximity to nearby roadways, this concern is ongoing and significant.

Additionally, our property is affected by noise from the nearby highway, which has increased over time with the construction on highway 270. A six-foot privacy fence would provide a meaningful sound buffer, helping to reduce traffic noise and create a safer and more comfortable outdoor environment for my family.

The proposed fence will be constructed of wood, maintained in good condition, with greenery planted in front, and designed to be consistent with the character of the neighborhood. I am committed to working with City staff to ensure the final layout meets all code requirements and addresses any safety considerations the Commission may have.

Thank you for your time and thoughtful consideration of this request.

Respectfully,

Joe Green

# LADUE HEIGHTS HOA APPROVAL

**From:** Thudium, Marcia <Marcia.Thudium@cbgundaker.com>  
**Sent:** Wednesday, April 22, 2026 9:25 AM  
**To:** Joe Green <joe.green8902@gmail.com>; Susan Conrad <seconrad2011@gmail.com>; bdt49@gmail.com  
**Cc:** Green, Joseph <Joseph.green@haskell.com>; lauren.m.mackay@gmail.com; Green, Lauren <lauren.green@mimh.edu>  
**Subject:** Re: Request for Ladue Heights HOA Approval - Installation of 6-ft Privacy Fence

**Caution: External Email**

Do not click links, open attachments, or reply unless you recognize the sender. Use Outlook's Report function for suspicious emails.

Joe:

Attached is the approved privacy fence request signed by Susan Conrad and myself.

Please acknowledge receipt.

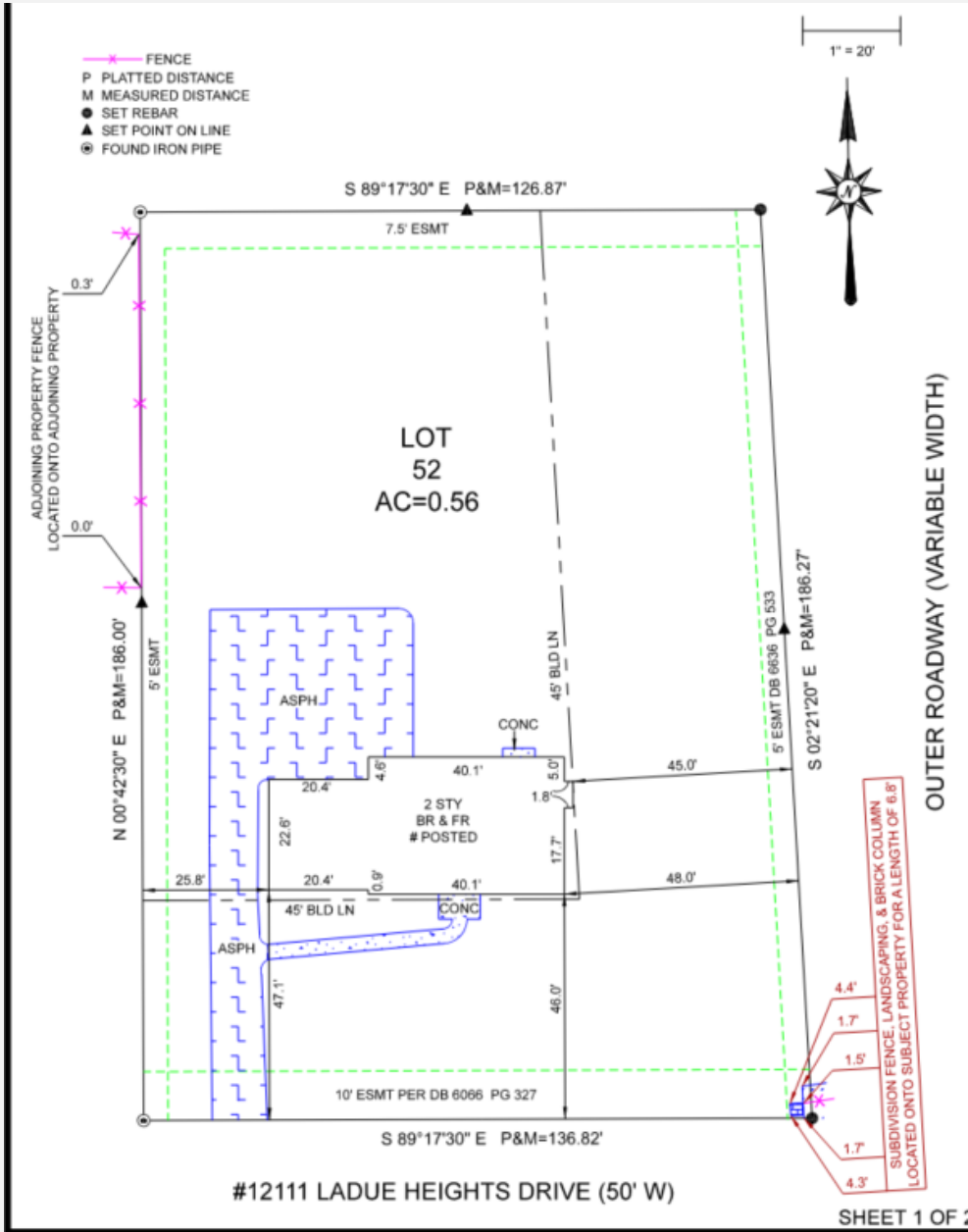
Thanks,

**Marcia Thudium**  
**Sales Associate**  
**CB Realty-Gundaker**  
314-258-1327



**2026 St. Louis Magazine 5 Star Realtor Award**  
**Representing Top 3% of all St. Louis Area agents**  
**"Best in Client Satisfaction" for 12 years**

# PROPERTY SURVEY



SHEET 1 OF 2



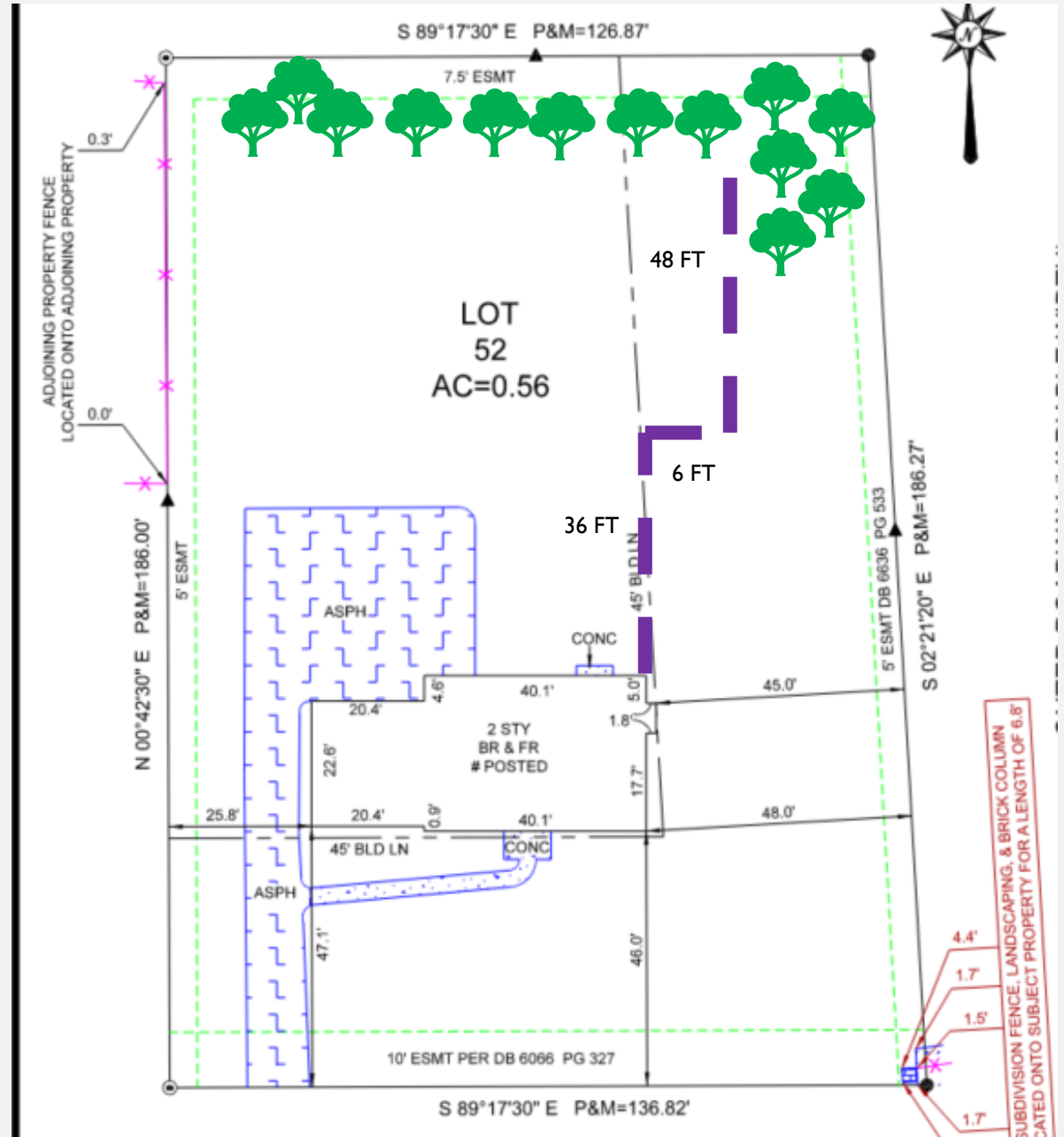
JOB #2309059  
FB 724.13  
FIELD WORK BY: PND/JAC  
DRAWN BY: VAS

THIS IS TO CERTIFY THAT ON  
SEPT 5, 2023  
A REQUEST BY  
FREEDOM TITLE COMPANY  
WAS MADE FOR A BOUNDARY  
SURVEY BY: PND/JAC 7/23/23 12:48



# PROPERTY SURVEY W/ RENOVATIONS MARKED

Proposed Wooden Privacy Fence Location  
\*Setback 20ft+ from the property line

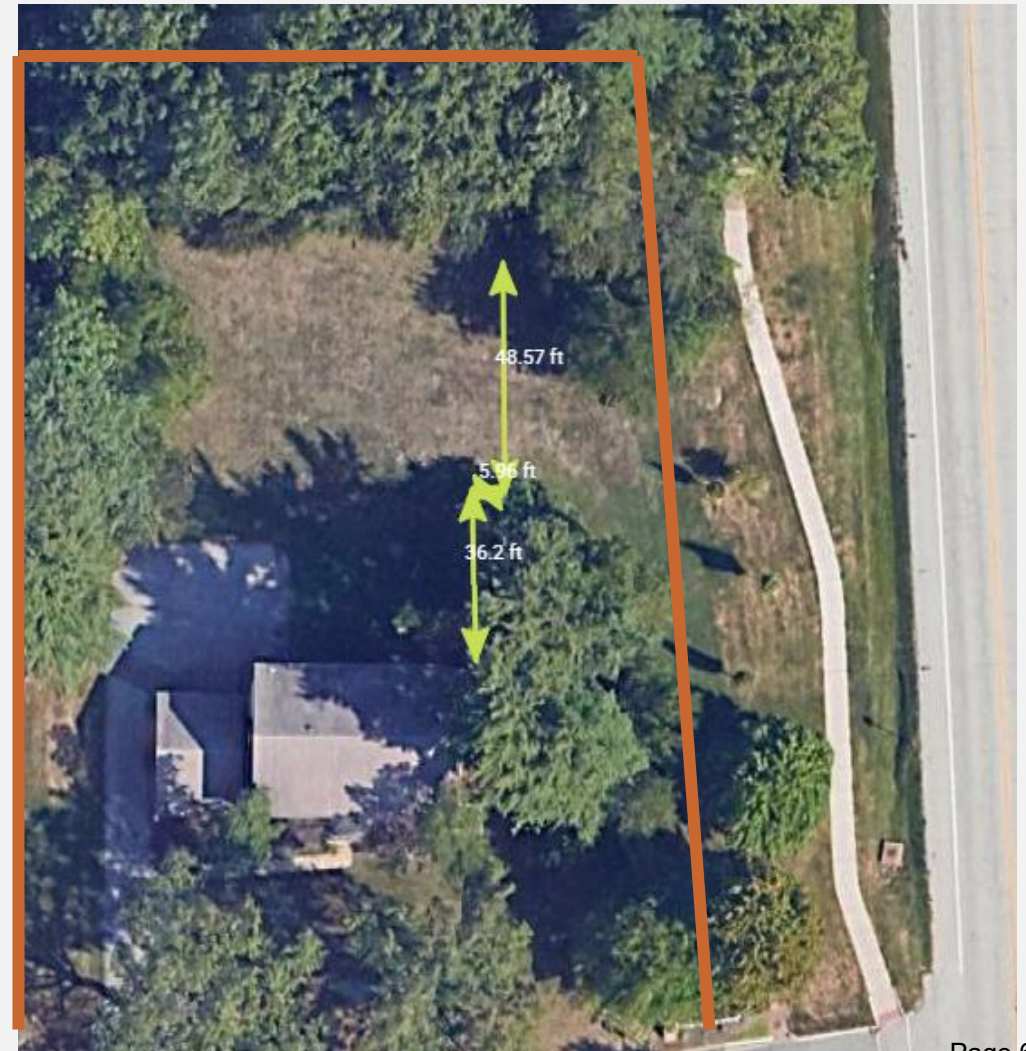


# PROPERTY LINE



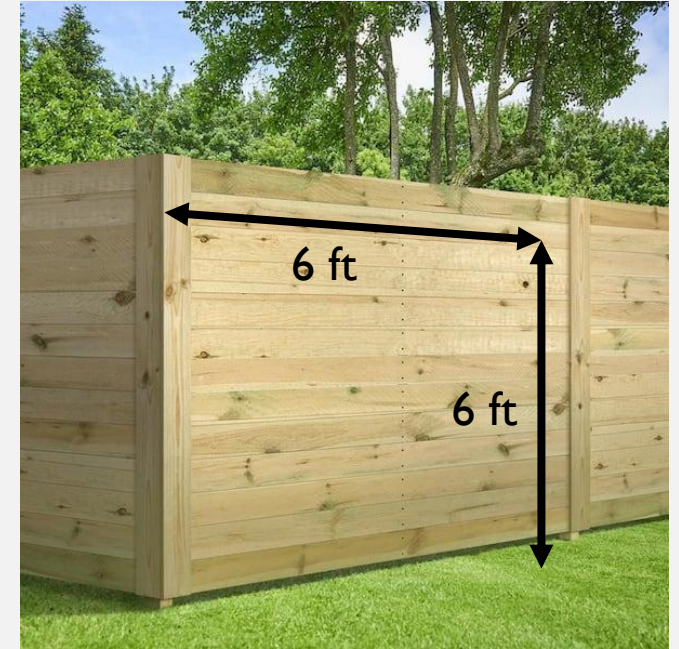
# PROPOSED FENCE LAYOUT

\*Yellow Lines depicting length of fence  
\*\*Yellow horizontal marking indicates 20+ feet inside property line



# DESCRIPTION

- Seeking to install a 6 foot (72”) tall, wooden, privacy fence located 20+ ft setback from the east property line aligned with Coeur De Ville for the property addressed at 12111 Ladue Heights Drive. There is currently no fence installed in the location.
- This fence will be installed on the East side of the property line only and will not enclose the entire backyard of the property.
- The fence will be installed from the NE side of my home to the NE corner of my lot to the tree line
- 6ft x 6ft Horizontal Panels on East property line



WeatherShield  
**5/4 in. x 6 in. x 8 ft. Standard Ground Contact Pressure-Treated Southern Yellow Pine Decking Board**

★★★★☆ (2022) Questions & Answers (159)

**BULK PRICE ELIGIBLE** \$6.68

Buy 96 or more \$6.01

- 2X the protection compared to Above Ground treatment
- Treated for protection against fungal decay, rot and termites
- Use for decks, walkways, landscaping and other outdoor projects
- [View More Details](#)

Nominal Product Length (in.): 96 in

# RENDERING

(VIEW FROM COEUR DE VILLE)



# PRIVACY FENCES IN THE COMMUNITY

121116 Royal Valley Drive



11485 Ladue Road



1004 Mason Road

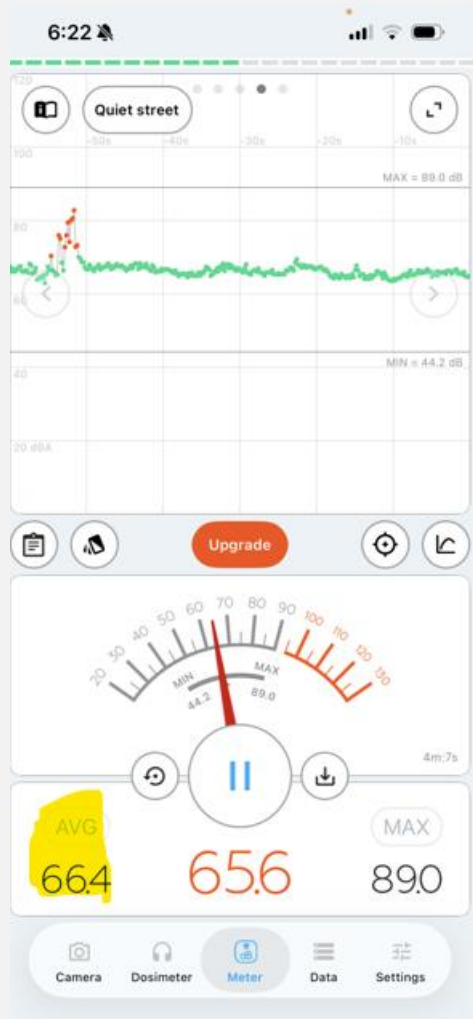


1014 Mason Road



# SOUND REDUCTION PURPOSE

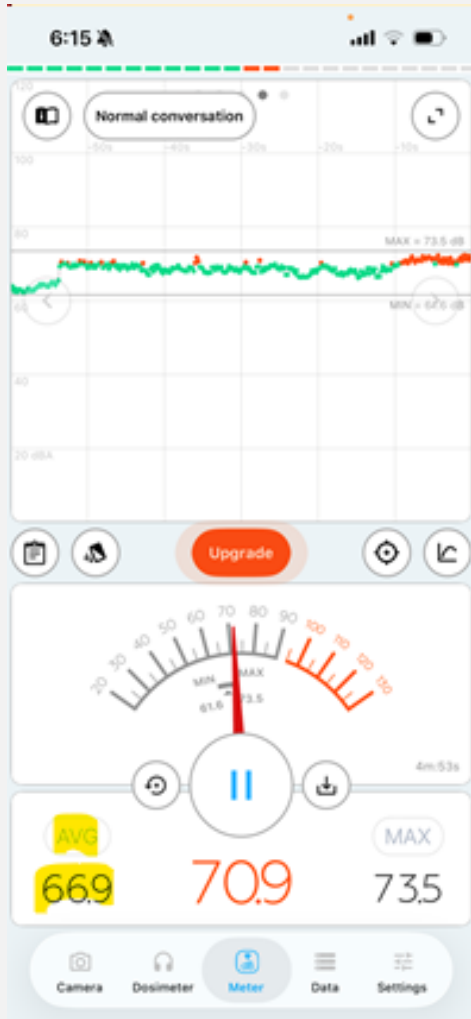
- Federal Highway Administration says that a 6 foot solid wooden noise barrier with limited gaps above street level can decrease sound levels by 5+decibels
  - Source: [Highway Traffic Noise Abatement - Polguide - Regulations And Guidance - Noise - EnvironMent - FHWA](#)
- Part of MoDOT’s criteria for a sound wall includes 66+ decibels in the area
  - Source: [Sound Walls | Missouri Department of Transportation](#)
- The average decibels from Hwy 270, within my property line, exceed MoDOT’s criteria



Mon, 4/13/26  
6:15pm-6:20pm



Tues, 4/14/26  
2:05pm-2:10pm



Tues, 4/14/26  
6:10pm-6:15pm

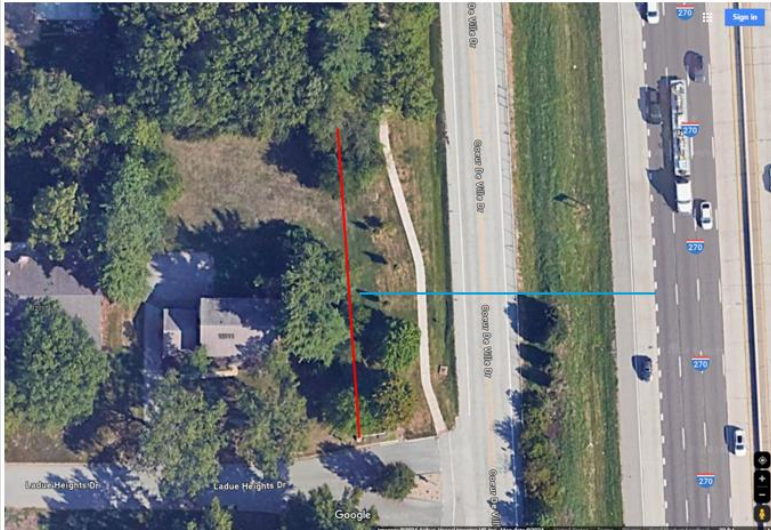
## SOUND STUDIES AND SOUND WALL CRITERIA

- To be eligible to be constructed, a sound wall must meet the following criteria:
- Predicted noise levels for the highway must exceed 66 decibels in the study area

# SAFETY PURPOSE

Fence to be installed parallel to Highway 270, which is one of the most heavily traveled stretches of highway in the state (per MoDOT)

- 120ft from property line to Hwy 270
- 50ft from property line to Coeur De Ville



Proposed fence location will not impact sightlines of drivers on Coeur De Ville or Ladue Heights Dr



Deteriorated chain link fence between Coeur De Ville and HWY 270 with a gate that's often left open by MoDOT Contractors



## **2023 Statistics from MSHP for Creve Coeur**

Total Crashes = 976

Personal Injury Crashes = 255

Persons Injured = 374

Ranked #20 out of 732 MO counties

Ranked #18 out of 732 MO counties

Ranked #17 out of 732 MO counties

Source:

<https://www.mshp.dps.missouri.gov/MSHPWeb/SAC/Compendium/TrafficCompendium.htm> Page 73 of 102



# city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141

(314) 432-6000 • www.crevecoeurmo.gov

## APPLICATION TO PLANNING AND ZONING COMMISSION #26-017: SITE DEVELOPMENT PLAN FOR A FRONT YARD FENCE ADJACENT TO STREET RIGHT-OF-WAY FOR THE PROPERTY ADDRESSED AS 12511 ROYAL MANOR DRIVE

FOR THE MEETING OF: Monday, June 15, 2026

SUBJECT PROPERTY LOCATION: 12511 Royal Manor Drive, zoned A-RDD  
Single Family Residential

**REQUEST:** Pradeep Daripally, homeowner, has submitted an application for a 6 foot (72”) tall, wooden stockade privacy fence parallel to Ladue Road right of way for the through lot property located at 12511 Royal Manor Drive. This property is within the “A-RDD” Single-Family Residential Zoning District. The City of Creve Coeur’s Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district unless such fence is setback at least 15 feet from the property line, no more than 4 feet in height, and is an open slatted decorative metal fencing.

**ADDITIONAL INFORMATION:** All other fences must be approved by site development plan by the Planning and Zoning Commission. City Council action is not required.

**OWNER/APPLICANT:** Pradeep Daripally  
12511 Royal Manor Drive  
Creve Coeur, MO 63141

### Key Issues:

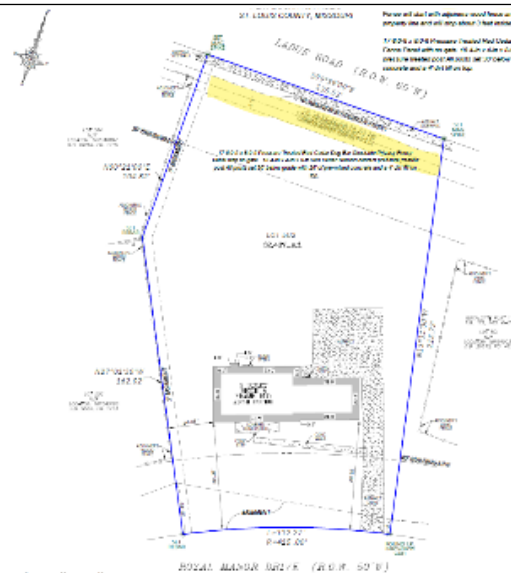
- Does the request integrate with the existing surrounding uses?

### Comprehensive Plan References

- Countryside Estates (CR)
- Design Guidelines

### Zoning Code References

- Section 405.250: A- Single Family Residential
- Section 405.640: Fences and Walls
- Section 405.1080: Site Concept, Site Development, and Minor Site Plan Approval



**REPORT PREPARED BY:** Bethany L. Moore, AICP, City Planner  
**DATE:** 6/8/2026  
**ATTACHMENTS:** Applicant’s Materials

**LAND USE AND ZONING OF SURROUNDING PROPERTIES**

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Single family residence	A Single Family Residential	Ladue Road
South	Single family residence	A-RDD Single Family Residential	Royal Manor Drive
East	Single family residence	A-RDD Single Family Residential	N/A
West	Single family residence	A-RDD Single Family Residential	N/A

**FENCE PLACEMENT AND DESIGN**

The Applicant is seeking to install a 6 foot (72”) tall stockade, wooden, privacy fence segment, located approximately 4 feet from the rear property line adjacent to Ladue Road right-of-way for the through lot property addressed as 12511 Royal Manor Drive. The proposed fence segment would run parallel to the rear property line adjacent to Ladue Road right-of-way and would not enclose the yard. The applicant has mentioned to Staff that future plans include enclosing the rear yard with a 4-foot-tall fence of an open, metal design when finances allow. This future plan is not part of the current request. There is not currently a fence in this location but there are fences along Ladue Road directly adjacent to the subject property and directly across Ladue Road. The existing fences along Ladue Road include a mix of open designed fences and solid privacy fences. There is also existing landscaping along Ladue Road serving as a barrier for the houses that abut it. The subject property includes existing vegetation that would block the fence from visibility along Ladue Road. Staff suggests a condition of approval that a final landscaping plan be submitted showing evergreens installed in any open spaces to fill in the existing vegetation to help screen the site-proof fence from Ladue Road.

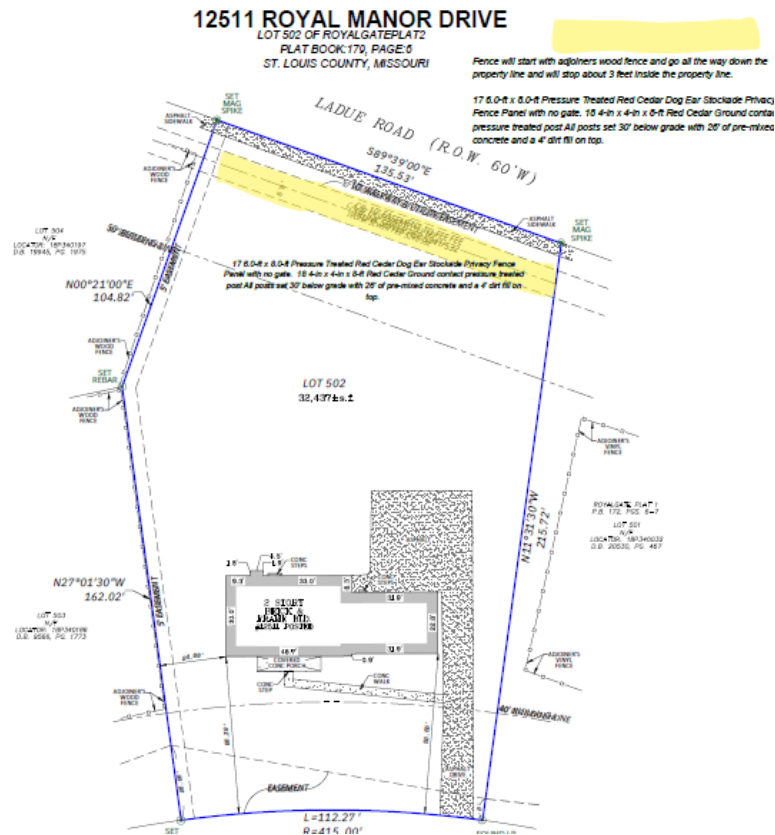


Figure 1: Applicant's Site Plan with proposed fence location shown in yellow.



Figure 2: Fence detail showing 6-foot-tall wooden privacy fence.

#### ANALYSIS

The Zoning Code provides standards for evaluating requests for fences adjacent to street right-of-way under Section 405.640 Fences and Walls:

*C. Fences Or Walls Within The Front Yard Section And Along Street Right-Of-Way.*

*A fence may project within the area equivalent to the front yard of the applicable zoning district, when clearly to the side or rear of the home, provided that such fence is setback at least fifteen (15) feet from the property line, no more than four (4) feet in height, and is an open slatted decorative metal fencing, similar in style for swimming pool enclosures as provided in Subsection (D). Any other fence design or location, outside of the preceding criteria, in the area equivalent to the front yard along any street right-of-way shall be subject to site development plan approval by the Planning and Zoning Commission in accordance with Section 405.1080.*

The applicant is requesting a site proof, 6-foot-tall wooden fence segment 4 feet from the property line which requires site plan approval for the application from the Planning and Zoning Commission. The fence is clearly to the rear of the house on a through lot that abuts Ladue Road right of way and will not enclosure the rear yard. The context of the surrounding area includes wooden fencing in several locations along Ladue Road, both adjacent to the subject property and directly across Ladue Road. The placement of a 6-foot-tall sight-proof fence along Ladue Road would not be an unusual circumstance along the road but landscaping or existing vegetation is also common to screen the fences. Staff recommends a condition of approval that a final landscaping plan be submitted showing evergreens installed in any open spaces to fill in the existing vegetation to help screen the site-proof fence from Ladue Road. This condition is common in requests where a solid wooden fence is placed along street right of way. The planting of the additional landscaping would help to mitigate the visual impact of the fence.

#### CONCLUSION AND ACTION

If the members of the Planning Commission find the applicant's reasons for the fence location, height, and design sufficient, they can approve it as proposed. If the Commission wishes to revise the location, material or height of the fence, discussion with the Applicant and a revised motion would be necessary.

**MOTION**

The motion for the fence adjacent to street right-of-way at 12511 Royal Manor Drive as shown in the enclosed site plan will be in the form of approval, approval with conditions, or deferral. City Council action is not required. The following is an example motion for this application:

“I move to approve the site plan for a 6-foot-tall wooden stockade privacy fence to be located 4 feet from the property line along Ladue Road with a final landscaping plan to be submitted for staff review, for the property addressed as 12511 Royal Manor Drive as discussed within the Staff Report for Application #26-017 for the June 15, 2026, Planning and Zoning Commission meeting.” (Modification or revisions may be included by preceding motion).

---

**APPENDIX 1: COMPREHENSIVE PLAN**




Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 2: ZONING CODE**

Included and attached by reference. See body of report for specific excerpts.

**APPENDIX 3: AERIAL MAP**



APPENDIX 4: SITE PHOTOGRAPHS		Date Taken: 6/9/26
 A wide-angle photograph showing the front of a two-story brick house with a white portico supported by columns. A paved driveway leads from the foreground towards the house. The yard is green and well-maintained, with large trees in the background.	<p>Description: Front of 12511 Royal Manor Drive looking towards back yard where fence is proposed.</p>	
 A photograph showing a close-up view of the back yard. A wooden fence is visible on the left side, and a large tree stands in the center. The brick house is partially visible on the right side of the frame.	<p>Description: Front of 12511 Royal Manor Drive looking towards back yard where fence is proposed.</p>	
 A photograph taken from a street level, showing a paved road in the foreground. A dense line of green trees and bushes runs along the back of the property, indicating the location of the proposed fence. A portion of a dark car is visible on the left side.	<p>Description: Goggle image of proposed fence location from Ladue Road.</p>	



city

of

# CREVE COEUR

PLANNING DIVISION

300 North New Ballas Road, Creve Coeur, Missouri 63141

Tel. (314) 872-2501 • Fax (314) 872-2505

## PLANNING AND ZONING COMMISSION AGENDA APPLICATION SITE DEVELOPMENT PLAN

Select Project Type: Site Development Plan  Site Concept Plan  Minor Site Plan

Title of Project: \_\_\_\_\_

Location of Project: \_\_\_\_\_ Locator # \_\_\_\_\_

Subject for Agenda: \_\_\_\_\_

**Applicant:**

Architect \_\_\_\_\_ Engineer \_\_\_\_\_ Contractor \_\_\_\_\_ Agent \_\_\_\_\_ Owner \_\_\_\_\_

Applicant:	Applicant's Representative (if applicable):
_____ <i>Name</i>	_____ <i>Name</i>
_____ <i>Company (If Applicable)</i>	_____ <i>Company (If Applicable)</i>
_____ <i>Address</i>	_____ <i>Address</i>
_____ <i>Address</i>	_____ <i>Address</i>
_____ <i>Telephone #</i>	_____ <i>Telephone #</i>
_____ <i>Fax #</i>	_____ <i>Fax #</i>
_____ <i>Email:</i>	_____ <i>Email:</i>
_____ <i>Applicant's Signature</i>	_____ <i>Applicant's Representative's Signature</i>

Owner's Acknowledgement (if different from applicant):
_____ <i>Name</i> <span style="float: right;">_____ <i>Company (If Applicable)</i></span>
_____ <i>Address</i>
_____ <i>Phone</i> <span style="margin-left: 150px;"><i>Fax</i></span> <span style="margin-left: 150px;"><i>Email</i></span>
_____ <i>Applicant's Signature</i>

**Description of Request (attach additional sheets as needed)**

General Description: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Rationale**

Please describe in detail, on an attached sheet, the reasons why you believe the request should be approved and what steps are being taken to lessen any impacts on surrounding residences and businesses. An explanation of the building and landscape designs (if changes are proposed) should also be included.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Submittal Checklist**

<input type="checkbox"/> Rationale	<input type="checkbox"/> Building elevations for new construction
<input type="checkbox"/> Site plan 4 hard copies	<input type="checkbox"/> Photographs of existing structures
<input type="checkbox"/> Access and parking plan-4 hard copies; (may be shown on site plan)	<input type="checkbox"/> Materials samples for Commission review
<input type="checkbox"/> Landscape plan 4 hard copies	<input type="checkbox"/> Legal Description in Word format
<input type="checkbox"/> Floor plan 4 hard copies	<input type="checkbox"/> Fees: \$250 (non-refundable) \$2000 (refundable deposit)
<input type="checkbox"/> Electronic copies of all materials	<input type="checkbox"/> Other items as requested by staff

**Preferred Public Hearing Date: Monday, \_\_\_\_\_, 20\_\_\_\_.**

**\*\*Confirm schedule and available meeting dates with Planning Division staff\*\***

<b>Office Use Only</b>	
_____ All Sections Complete	Received By: _____
_____ All Documents, incl. e-Copies	_____
_____ Fees Paid	Date: _____

## Fence Pictures and Dimensions



We will use a 17 6.0-ft x 8.0-ft Pressure Treated Red Cedar Dog Ear Stockade Privacy Fence Panel with no gate.

18 4-in x 4-in x 8-ft Red Cedar Ground contact pressure treated post

All posts are set 30' below grade with 26' of pre-mixed concrete and a 4' dirt fill on top.

# BOUNDARY RETRACEMENT AND IMPROVEMENT SURVEY

## 12511 ROYAL MANOR DRIVE

LOT 502 OF ROYALGATE PLAT 2  
PLAT BOOK: 179, PAGE: 6  
ST. LOUIS COUNTY, MISSOURI



Fence will start with adjoiners wood fence and go all the way down the property line and will stop about 3 feet inside the property line.

17 6.0-ft x 8.0-ft Pressure Treated Red Cedar Dog Ear Stockade Privacy Fence Panel with no gate. 18 4-in x 4-in x 8-ft Red Cedar Ground contact pressure treated post All posts set 30' below grade with 26' of pre-mixed concrete and a 4' dirt fill on top.

LOT 504  
N/F  
LOCATOR: 18P340197  
D.B. 19945, PG. 1975

N00°21'00"E  
104.82'

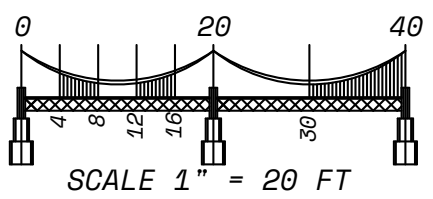
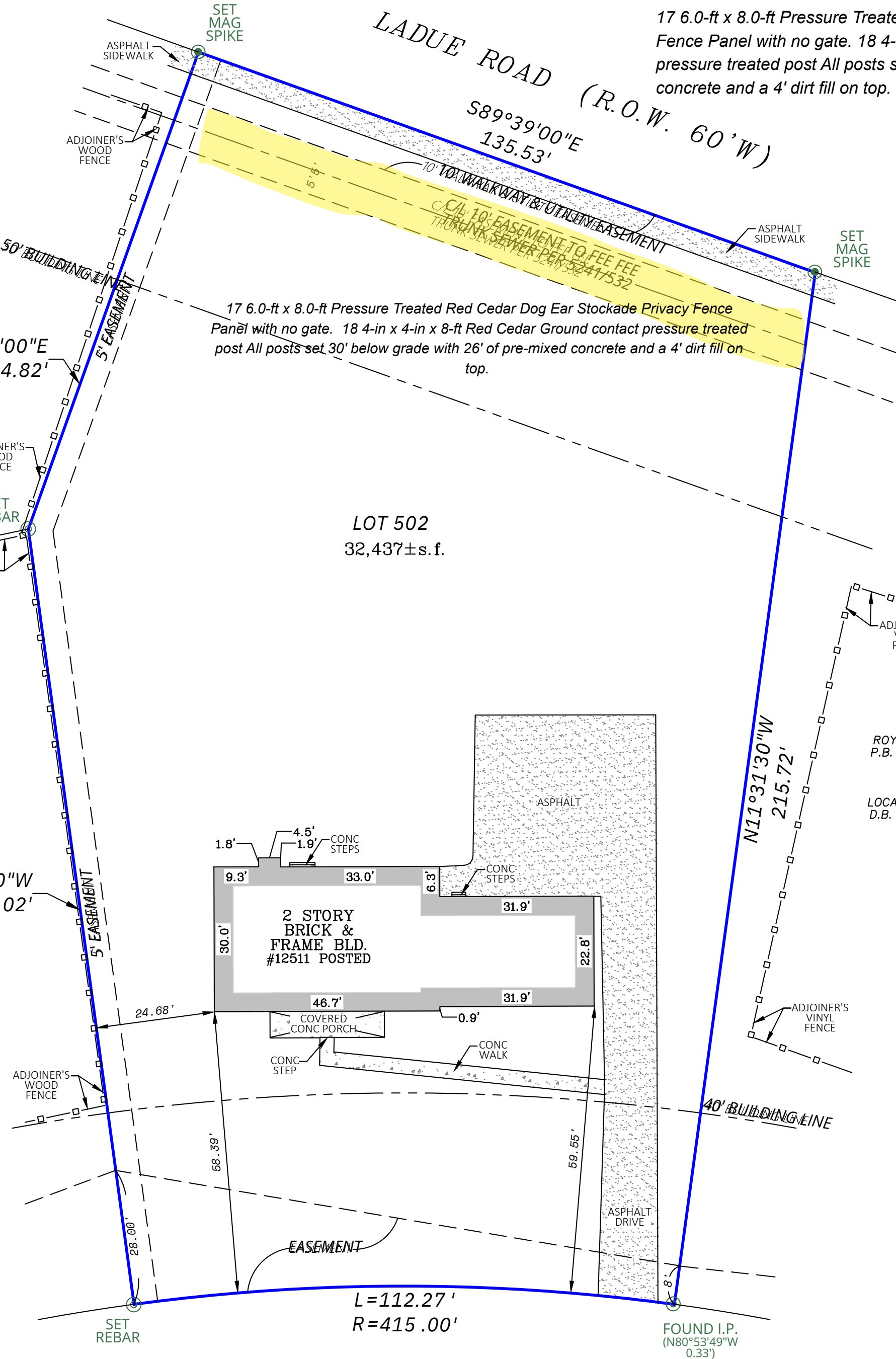
LOT 503  
N/F  
LOCATOR: 18P340186  
D.B. 9566, PG. 1773

N27°01'30"W  
162.02'

LOT 502  
32,437±s.f.

ROYALGATE PLAT 1  
P.B. 172, PGS. 6-7

LOT 501  
N/F  
LOCATOR: 18P340032  
D.B. 20530, PG. 467



TITLE DISCLAIMER

NOTE: THIS DRAWING HAS BEEN COMPILED WITHOUT THE BENEFIT OF A CURRENT CERTIFICATE OF TITLE EXAMINATION AND, THEREFORE, MAY NOT CONTAIN EASEMENTS, RESERVATIONS, EXCEPTIONS, RESTRICTIONS AND COVENANTS OF RECORD.

ROYALGATE PLAT 2  
PLAT BOOK: 179, PAGE: 6

BASIS OF BEARINGS		LINE TYPES	
—○—	CHAIN FENCE	—	BOUNDARY LINE
---	EASEMENT LINE	—	WOOD/VINYL METAL FENCE
---	SETBACK LINE	—	WIRE FENCE
---	PARCEL LINE	—	BUILDING FOOTPRINT
---	U.S. SURVEY SECTION LINE	---	CENTERLINE

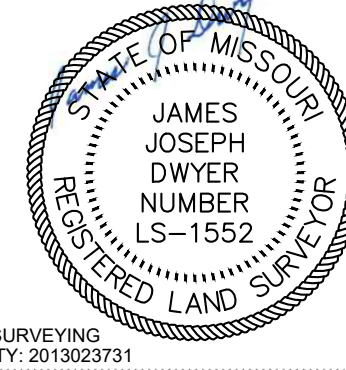
MONUMENTATION	
⊙	FOUND/SET SEMI-PERMANENT
⊕	FOUND/SET PERMANENT
⊗	FOUND/SET CROSS
+	FOUND/SET ANCHOR
⊖	FOUND/SET NOTCH
↗	FOUND/SET ARROW
⊙	SET STAKE
⊙	SITE BENCHMARK

SHEET IDENTIFICATION	
<b>BOUNDARY</b>	
PROJECT NUMBER	
<b>25-272140</b>	
<b>1</b> OF 1	FIELD CREW: <b>SMI</b>
	SURVEYED: <b>10/14/2025</b>
	DRAFTER: <b>LDNIG</b>
	DRAFTED: <b>10/15/2025</b>
	REVIEWER: <b>BLH</b>
REVIEWED: <b>10/15/2025</b>	

SURVEYOR'S STATEMENT

AT THE REQUEST OF SWAPNA DARIPALLY, ALTEA, LLC, HAS DURING THE MONTH OF OCTOBER, 2025, EXECUTED A BOUNDARY RETRACEMENT & IMPROVEMENT SURVEY OF LOT 502 OF ROYALGATE PLAT 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 179, PAGE 6 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION, CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. BUILDING SETBACK INFORMATION DEPICTED HEREON IS FROM THE RECORD PLAT OR CITY BLOCK MAP (IF APPLICABLE). PLANNING AND ZONING RESTRICTIONS WERE NOT OBTAINED OR ADDRESSED AS A PART OF THIS SURVEY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. UTILITY LOCATES WERE NOT REQUESTED AND NO UTILITIES OR SEWERS WERE LOCATED IN CONJUNCTION WITH THIS SURVEY. THE OPINION OF THE ORIGIN OF THE FENCES SHOWN HEREON IS FROM EVIDENCE OBSERVED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE: FENCE CONSTRUCTION, OCCUPANT TESTIMONY, OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE ORIGIN OR OWNERSHIP OF FENCES. THIS BOUNDARY SURVEY IS NON-TRANSFERABLE. DUE TO EACH MUNICIPALITY HAVING DIFFERENT ZONING SETBACK REQUIREMENTS, OVERHANGS SHOWN ON THIS SURVEY MAY BE IN VIOLATIONS THAT THE SURVEYOR IS NOT AWARE OF AND MAKES NO WARRANTIES TO THIS AFFECT.

AS AGENT OF ALTEA, LLC  
DATE: **10-15-25**



ABBREVIATIONS

I.P.=IRON PIPE I.R.=IRON ROD (S)=SURVEYED (R)=RECORD  
NR=NON-RADIAL P.B.=PLAT BOOK PG.=PAGE D.B.=DEED BOOK  
N/F=NOW OR FORMERLY C/L=CENTERLINE S.F.=SQUARE FEET  
CONC=CONCRETE R.O.W.=RIGHT-OF-WAY B.M.=BENCH MARK  
ESMT.=EASEMENT ELE=ELEVATION BLD=BUILDING  
FFE=FINISHED FLOOR ELE FL=FLOWLINE

**ALTEA, LLC**  
Consulting Land Surveyors  
3906S. OLD HWY 94, SUITE 600  
ST. CHARLES, MO 63304  
PHONE: (636) 477-6000  
FAX: (636) 698-0950  
WWW.ALTEALS.COM  
© 2025 ALTEA, LLC

1"=0.08'
2"=0.17'
3"=0.25'
4"=0.33'
5"=0.42'
6"=0.51'
7"=0.58'
8"=0.67'
9"=0.75'
10"=0.83'
11"=0.92'

### General Description:

We are wanting to get approval for our wooden fence. At the rear of the house, 4ft from the property line, we plan to install eighteen (18) 6.0 ft x 8.0 ft pressure-treated pine dog-ear stockade privacy fence panels with no gate. The reason behind this is because I have 2 young boys. One is 5 and the other is 8. My wife and I would feel a lot safer if no one from the main road can just walk into my backyard for any type of reason while my boys are out playing around. I do plan on getting my whole backyard fenced but for financial issues I cannot finish the whole back yard instead, I will do it in sections. On the side we plan to install Pro Series 4 ft H x 8 ft W spaced bar flat metal fence panels.

Pradeep Daripally  
12511 Royal Manor Drive  
Creve Coeur, MO 63141  
615-438-6876  
patel101.p@gmail.com

05-15-2026

City of Creve Coeur  
Planning and Zoning Department

Subject: Request for Approval of Privacy Fence Installation

Dear Planning and Zoning Department,

I am writing to respectfully request approval for the installation of a 6.0-foot by 8.0-foot pressure-treated pine dog-ear stockade privacy fence panel at my property located at 12511 Royal Manor Drive.

The proposed fence will not include a gate and is intended to provide privacy, security, and improved appearance for my property, which is located along a main road. Due to the property's exposure to heavy traffic and visibility from the roadway, the privacy fence would help reduce noise, increase safety for my children and pets, and enhance the overall character of the property.

The fence will be constructed using pressure-treated pine materials and installed in a professional and well-maintained manner in compliance with applicable property line and safety requirements. I understand that properties located on main roads may require additional review, and I respectfully ask the city to consider approving this request based on the practical privacy and safety benefits the fence would provide.

Thank you for your time and consideration. I appreciate your review of my request and look forward to your response.

Sincerely,

Pradeep Daripally



OLIA VILLAGE

THE HEART OF CREVE COEUR

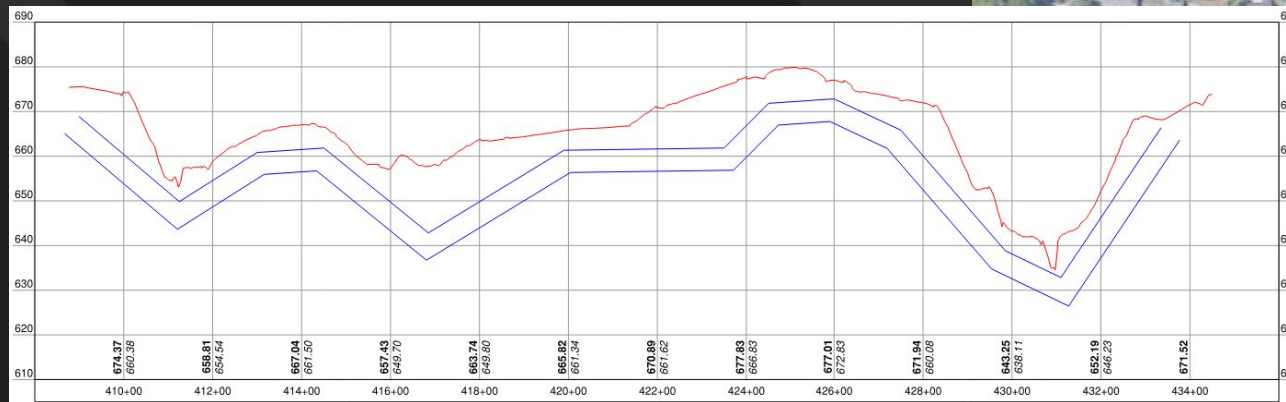
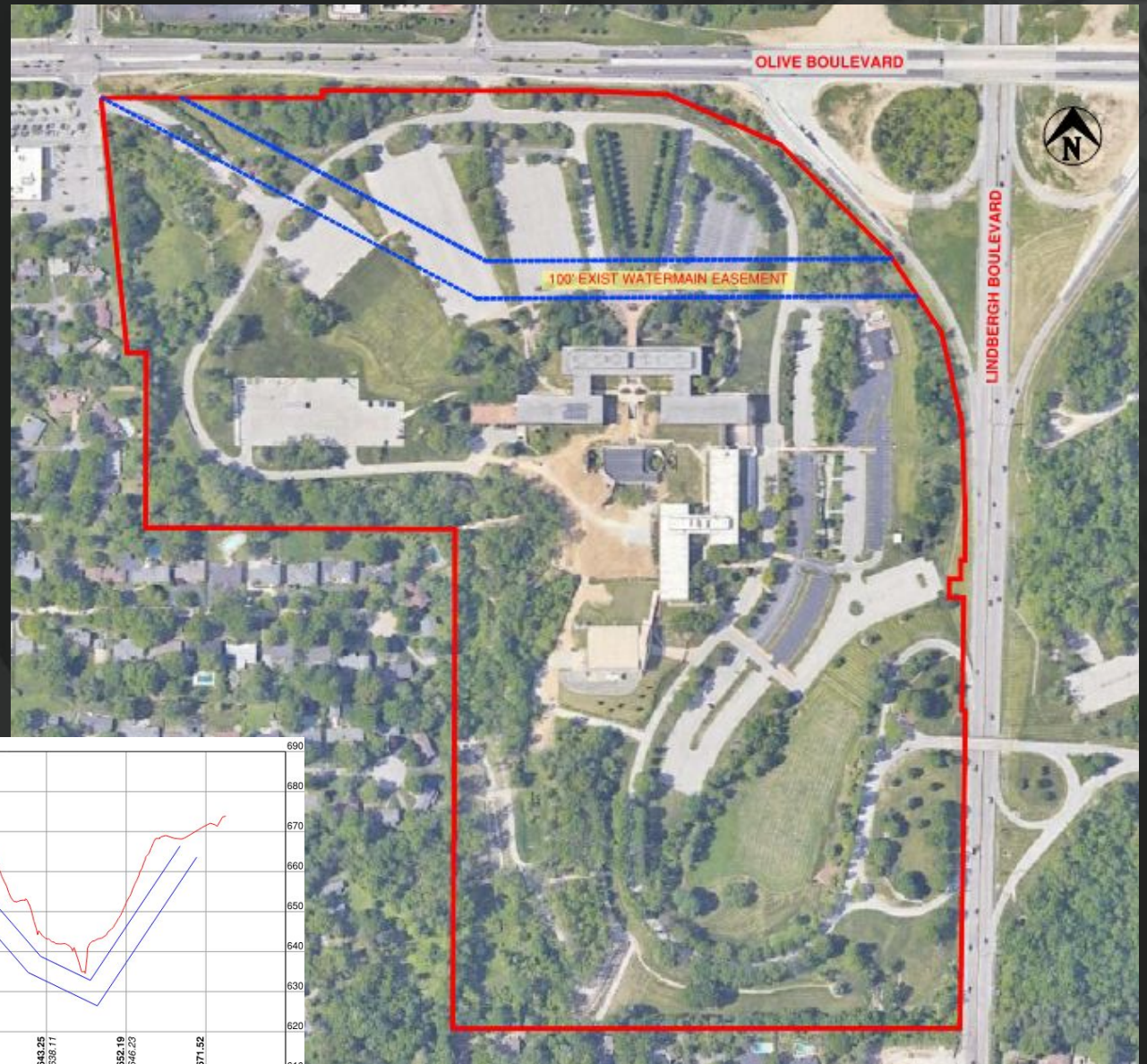
CITY COUNCIL WORKSESSION

06.08.2026



- PLANNED SUBDIVISION OF 17 LOTS
- STRATEGICALLY PLACED DENSITIES
- MINIMIZED SURFACE PARKING LOTS
- RETAINED NATURAL BUFFERS
- UPSCALE LIVE-WORK-PLAY
- AMENITY TO 39N INNOVATION DISTRICT & ENHANCING GREENWAY

- CITY OF ST LOUIS WATER CONDUITS – 100FT WIDE AND VARIES 45FT
- OLIVE & LINDBERGH CONNECTIONS
- 96 ACRES WITH 85FT OF ELEVATION
- REUSE EXISTING CAMPUS BUILDINGS
- EXISTING RESIDENTIAL BUFFERS
- ALL NEW UTILITY INFRASTRUCTURE
- MAINTAIN STREAMS & IMPROVE STORMWATER DRAINAGE









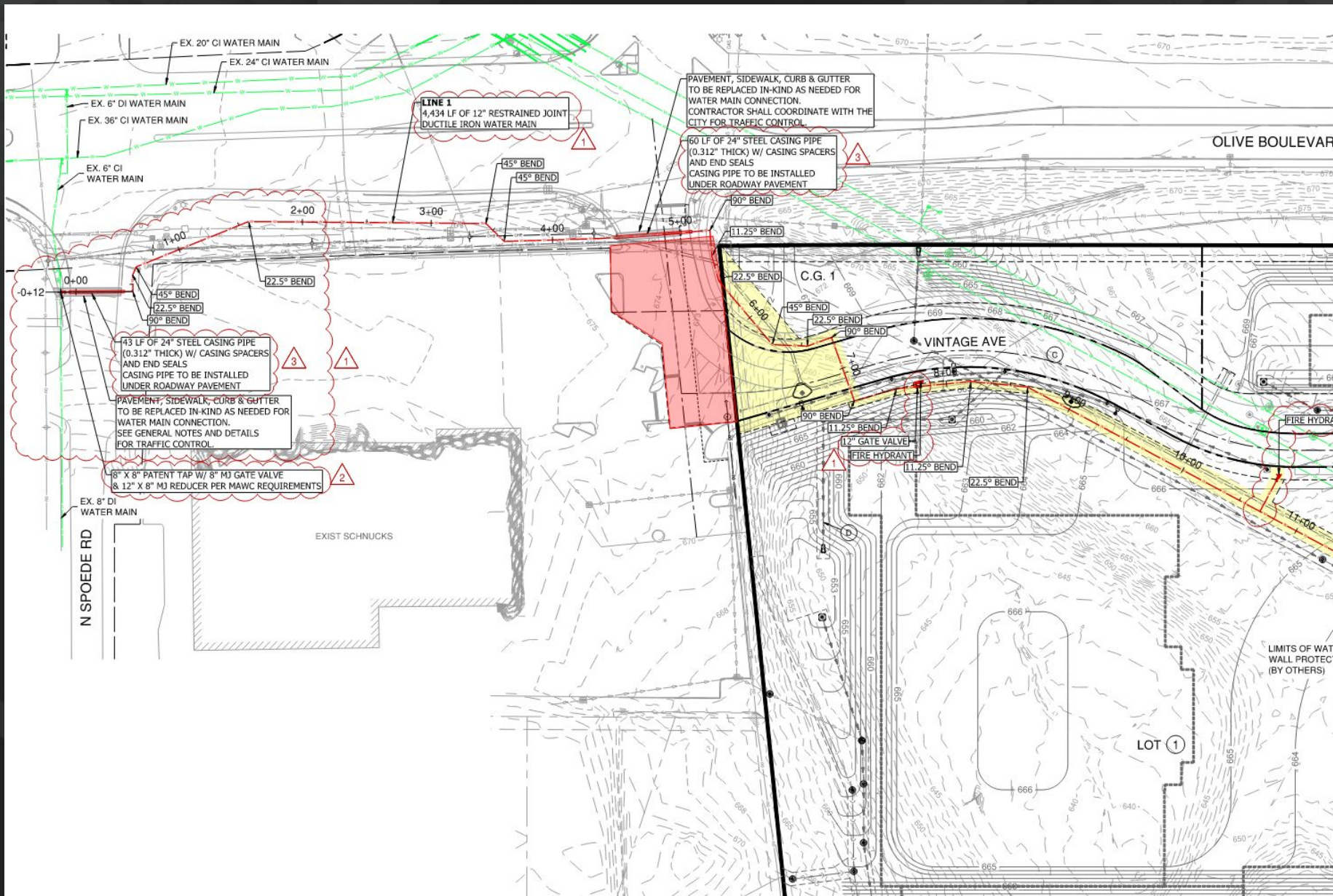
# SCHNUCKS SOUTHWEST VIEW























## A.2 - Main Monument Signs

### Main Monument Signs

SCALE: 3/16" = 1'-0"

PRODUCE & INSTALL 2 MONUMENT SIGNS.

- DOUBLE SIDED ALUMINUM CONSTRUCTION MONUMENT SIGNS
- MAIN CABINET
  - LOGO AND OLIA VILLAGE TO BE 1" PUSH THROUGH ACRYLIC LETTERS
  - REMAINING ELEMENTS TO BE NON LIT FLAT CUT LETTERS
- TENANT CABINET
  - FACES ARE ROUTED ALUMINUM BACKED W/ ACRYLIC
  - ATTACHED W/ COUNTERSANK SCREWS IN TO 1" PROTRUDING LIP FOR CHANGING FACES
  - LED ILLUMINATED
  - LINE & "OLIAVILLAGE.COM" TO BE NON LIT FLAT CUT LETTERS
- WOOD PORTION OF SIGNS TO WOOD LOOKING ALUMINUM PANEL SYSTEM
  - AKUWOOD EXTERIOR PANEL SYSTEM
  - NON ILLUMINATED
- VENEER STONE BASE W/ 4" ALUMINUM CAP TO MATCH SIGN
- 6" CONCRETE MOW PAD
- SIGN DEPTH MAY VARY PENDING FABRICATION
- ALL FINAL DETAILS T.B.D.

SIMULATED NIGHT VIEWS. ACTUAL APPEARANCE MAY VARY.



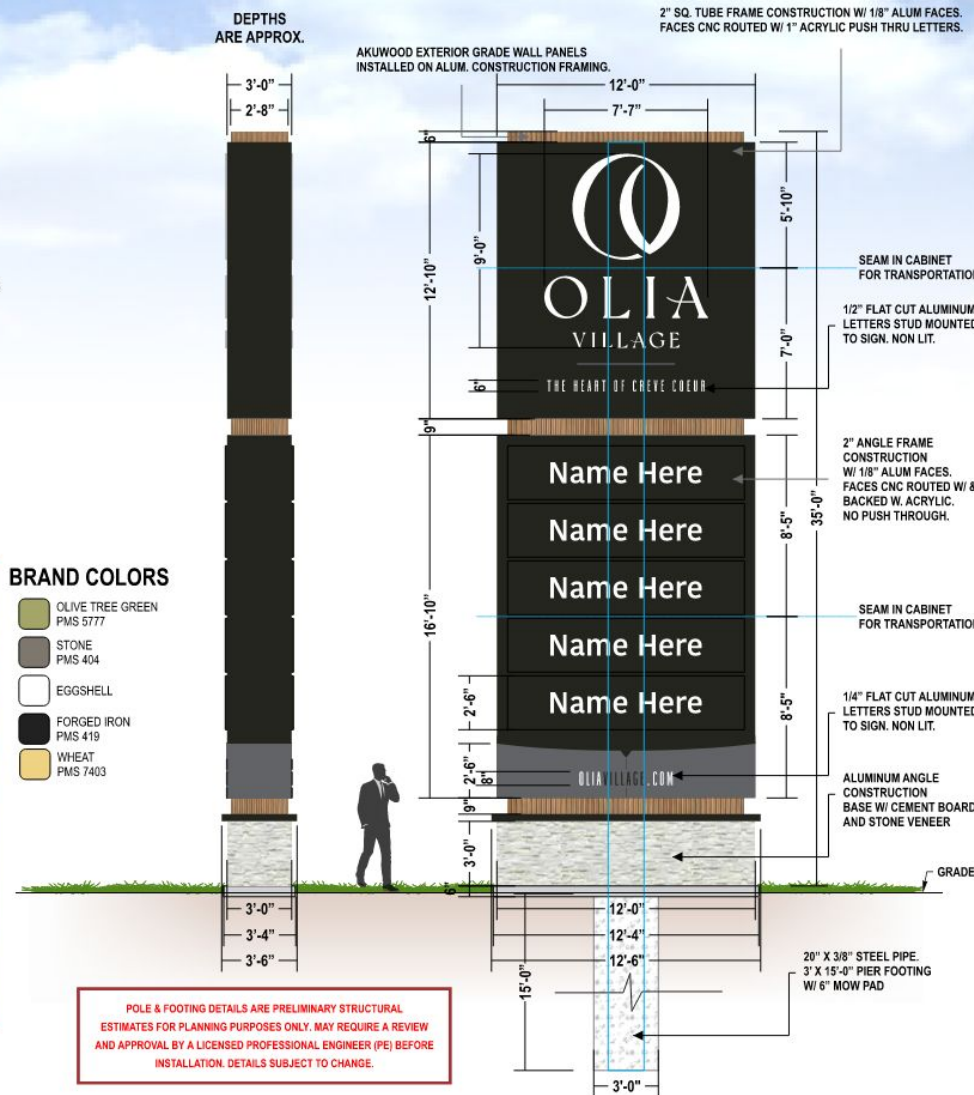
LINDBERGH BLVD.



OLIVE BLVD.

### BRAND COLORS

- OLIVE TREE GREEN  
PMS 5777
- STONE  
PMS 404
- EGGSHELL
- FORGED IRON  
PMS 419
- WHEAT  
PMS 7403





# OLIA VILLAGE

THE HEART OF CREVE COEUR

