



Board of Adjustment
Meeting Agenda
City of Creve Coeur Government Center
300 North New Ballas Rd

March 18, 2021

4:00 PM

City Council Chamber

As a precautionary measure to help prevent exposure and spread of COVID-19, the Board of Adjustment meeting scheduled for Thursday, March 18, 2021, at 4:00 p.m. will be livestreamed online.

The Council Chambers will be closed to the public; however, citizens are encouraged to participate and submit public comments in the following ways:

1. **Video Livestream** — Watch a live video broadcast of the Board of Adjustment Meeting here: <https://us02web.zoom.us/j/84136261111>. The public will be required to provide a name and email address to enter the meeting. The email address will not be saved or used to contact you. Citizens will have the opportunity to make public comments live during the meeting using the video livestream program (**How to Participate in Online Public Meetings**).
2. **Teleconference** — Call in to the meeting by dialing 1-646-876-9923 /// Webinar ID: webinar ID: 841 3626 1111.
3. **Email** — Public comment may also be emailed to the City no later than 3:00 p.m. on Thursday, March 18, 2021. Submit public comments to Whitney Kelly, City Planner, at wkelly@crevecoeurmo.gov.
4. **Live Audio** — Listen to a live audio broadcast of the Planning and Zoning Commission meeting by visiting the **Agendas & Minutes** page and clicking on the "Audio" link at the start of the meeting (audio only).

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

I. CALL TO ORDER

Glenn Wilen (Chair)
Robert Mooney
Martin Satz
DP Villacis
James Kostelc

Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, AICP, Director of Community Development
Ms. Whitney Kelly, AICP, City Planner
Ms. Jessica Stutte, Planning Assistant/Recording Secretary

II. ADDITIONS TO-ACCEPTANCE OF THE AGENDA

III. APPROVAL OF MINUTES

1. February 18, 2021 Board of Adjustment Draft Meeting Minutes

IV. NEW BUSINESS**1. Variance Request for the Property at 12134 Hibler Drive to Allow for a Pre-Existing Non-Conforming 36.6% Site Coverage, Where the Maximum Coverage for the B Single Family District is 35%**

Keith Goldstein, homeowner, has submitted an application for a variance for the property at 12134 Hibler Drive, Creve Coeur, MO 63141 to allow for the pre-existing site coverage of 36.6%, where properties in the B Single Family District have a maximum site coverage of 35%, per Section 405.260(E)(3)(e).

V. OTHER BUSINESS**VI. ADJOURNMENT**

Pursuant to Section 610.022 RSMO, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Posted: _____
Jason W. Jaggi
Director of Community Development



Board of Adjustment
Meeting Draft Minutes
City of Creve Coeur Government Center
300 North New Ballas Rd

February 18, 2021

4:00 PM

City Council Chamber

I. CALL TO ORDER

Alexandra Gada	Board Member	(Absent)
Robert Mooney	Board Member	(Remote)
Martin Satz	Board Member	(Remote)
Glenn Wilen	Chair	(Remote)
James Kostelc	Board Member	(Remote)
DP Villacis	Vice-Chair	(Remote)

The following staff were also present: attending remotely, Carl Lumley, City Attorney; Jason Jaggi, Director of Community Development; Whitney Kelly, City Planner; Jessica Stutte, Planning Assistant/Recording Secretary, and, Chris Tumbarello, IT Coordinator.

II. ADDITIONS TO-ACCEPTANCE OF THE AGENDA

Mr. Satz made a motion to approve the agenda. Mr. Kostelc seconded. All in favor.

III. APPROVAL OF MINUTES

1. January 21, 2021 Board of Adjustment Draft Meeting Minutes

Mr. Mooney made a motion to approve the minutes. Ms. Villacis seconded. All in favor.

IV. NEW BUSINESS

1. Variance Request for the Property at 834 N. Spoede Road to Allow for the Reconstruction of the Home with Non-Conforming Setbacks to Include a Second Floor, and Addition Where the Required Front Yard Setback Along Ramblewood Lane is 45 Feet and Side Yard is 12 Feet For the C-Single Family Residential District

Ryan Burkeen, of Xtreme Team LLC, has submitted an application to allow for a second story and building addition to the pre-existing, non-conforming home for the property addressed as 834 N. Spoede Road, zoned C Single Family Residential. The existing home was built at 40 feet from Ramblewood Lane, and a side yard at 9 feet-8 3/4 inches, where Section 405.270(E)(4) Yard and Setback requirements has a minimum 45 foot front yard, 12 foot side yard and 30 foot rear yard. The proposal includes rebuilding the home at the non-conforming setbacks, with a garage addition and second story addition at the required setback.

Those speaking to the request were sworn in.

Mr. Dan Gabris, of Gabris Law, explained the nature of the request. He said it met the zoning requirements at the time it was built in 1954. He said the owner, Mr. Burkeen, would like to construct a 2nd story addition using the 1st floor foundation. He said their request was for the front and side yard. The front yard would be 5 feet short of the requirements today and the side yard 3 feet short. He said the home became non-conforming when the zoning code changed in 1959.

Attachment: BOA DRAFT Minutes 2.18.2021 (February 18, 2021 Board of Adjustment Draft Meeting Minutes)

Mr. Gabris said he and his client were in agreement to repair any damage done to the street as a result of the construction process. He said they would work with residents to address damage and traffic concerns and do what they can to mitigate any traffic effects and repair any damage to the street.

Mr. Mooney asked what work has been done on the foundation.

Mr. Gabris said he thought the work done was due to minor water damage and some piercing.

Mr. Wilen said that would be reviewed by the Building Division.

Mr. Gabris said the feedback he had received was that pierced foundations were preferred.

Ms. Villacis asked about the plumbing.

Mr. Ryan Burkeen, owner, said the plumbing would be replaced above the concrete. He said they may need to do a sewer lateral, but that would be outside.

Mr. Satz said that would be reviewed by someone else in the City.

Ms. Villacis asked if the home would be re-oriented.

Mr. Wilen said the front door would be on Ramblewood.

Mr. Kostelc said he had driven by and thought it was a great idea because the garage would be more accessible.

Ms. Kelly said the property is unique and met the conditions set forth in the code at the time it was built. She said the home would be re-oriented to have the main entrance along Ramblewood. She said the main issues are the front and side setbacks. She said they are asking to use the original foundation in the non-conforming, pre-existing setback. She said the setback is consistent with the rest of Ramblewood Dr. She said the variance would not adversely affect adjacent property owners or residents. She said the other portions of the home would meet the current code. She said staff is in agreement with the applicant in that it would not adversely affect residents or violate the spirit of the code.

Mr. Satz asked if the city has adequate safeguards in place to satisfy neighbor concerns.

Mr. Jaggi said there were ordinances in place to limit hours of construction and other requirements. He said the street is private. He suggested the street condition be assessed prior to work starting.

Ms. David, a neighbor, said she was reassured by Mr. Gabris' statements that pavement remediation would occur if needed.

Mr. Deming, a neighbor, said he was also concerned about the road. He said he had damage occur in the past and appreciated the assurance they would take care of any damage that would occur.

Mr. Lumley offered the exhibits into the record and the public hearing was closed.

Mr. Wilen made a motion to approve as proposed. Ms. Villacis seconded.

Motion passed with four in favor and Mr. Mooney against.

Mr. Wilen made a motion for staff to prepare the Finding of Facts and Conclusion of Law. Ms. Villacis seconded.

Four in favor, Mr. Mooney against.

RESULT:	APPROVED [4 TO 1]
AYES:	Satz, Wilen, Kostelc, Villacis
NAYS:	Mooney
ABSENT:	Gada

V. OTHER BUSINESS

Ms. Stutte let the Board know to look for the Missouri Ethics Commission financial disclosure forms she would be sending out. She asked board members to complete and return them promptly.

Ms. Kelly said there was an application for the Board to review March 18th.

VI. ADJOURNMENT

Mr. Mooney made a motion to adjourn. All in favor. Meeting closed at 4:45pm.



300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

**APPLICATION TO THE BOARD OF ADJUSTMENT
VARIANCE REQUEST FOR THE PROPERTY AT 12134 HIBLER DRIVE TO
ALLOW FOR A PRE-EXISTING NON-CONFORMING 36.6% SITE
COVERAGE, WHERE THE MAXIMUM COVERAGE FOR THE B SINGLE
FAMILY DISTRICT IS 35%**

FOR THE MEETING OF: Thursday, March 18, 2021

SUBJECT PROPERTY LOCATION: 12134 Hibler Drive, zoned B Single Family Residential District.

REQUEST: Keith Goldstein, homeowner, has submitted an application for a variance for the property at 12134 Hibler Drive, Creve Coeur, MO 63141 to allow for the pre-existing site coverage of 36.6%, where properties in the B Single Family District have a maximum site coverage of 35%, per Section 405.260(E)(3)(e).

ADDITIONAL INFORMATION: In 2014, the prior homeowners increased the site coverage over the allowed maximum site coverage for the B Single Family District, when the driveway was converted to concrete and included expanding front driveway and extending the patio area. The Applicant submitted a building permit to add a covered awning over the patio area, where the violation was identified. Instead of removing the 1.6% of coverage over the maximum allowed from elsewhere on the property, the Applicant is seeking a variance to use the area as is, at the existing site coverage of 36.6%

Key Issues:

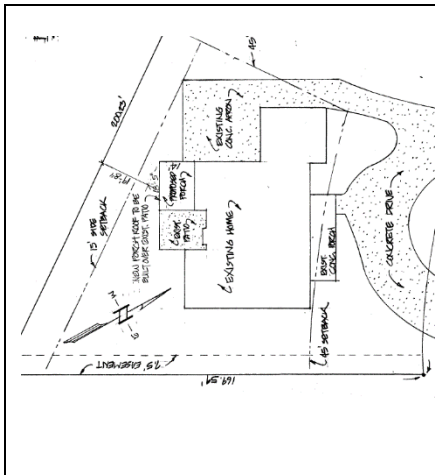
- Degree of variance
- Impact to neighborhood
- Property versus owner hardship

Zoning Code References

- Section 405.230: Establishment of Size, Dimension and Access Criteria.
- Section 405.260: B Single-Family Residential
- Section 405.610: Non-Conformities
- Section 405.1040: Board of Adjustment
- Section 405.1110 Variances and Appeals

APPLICANT/ PROPERTY OWNER:

Keith Goldstein
12134 Hibler Dr
Creve Coeur, MO 63141



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner

DATE: 3/10/2021

ATTACHMENTS: Applicant's Materials submitted February 16, 2021
Public Comments received by 3/11/2021

BASIS FOR APPEAL AND STATED HARDSHIP

The subject property is approximately 22,239 square feet and originally developed in the City in 1971 according to the standards of the B Single Family District which requires a minimum lot size of 20,000 square feet.

In 2014, the prior homeowner's contractor received an excavation permit (permit number 28423) from the City to replace the existing driveway from asphalt to concrete, the permit was finalized after the fact where it was noted that the Contractor did not call for inspections. The excavation permit is issued and inspected by the Public Works Department for work in the public right-of-way and does not involve review of site coverage on private property. It appears that when doing the work, the front driveway was widened and the patio area was extended thus increasing the overall site coverage to 36.6%, where the maximum site coverage for the B Single Family District is 35%, per Section 405.260(E)(3)(e).

The Applicants recently purchased the home in August 2020 and were not aware of the coverage issue. The Applicants submitted an application for a roof to extend over the patio area on the home and to further extend the patio area. The reported site coverage was then found to be over the allowable limit. The Applicant then removed the request for extending the patio area but is seeking approval to utilize the existing patio area, maintain the non-compliant site coverage of 36.6%, and to allow for the new roof over the patio area. Staff has suggested that removing the coverage elsewhere to bring the site into compliance would be an option.



Figure 1: St. Louis County Image from 2014



Figure 2: St. Louis County Image from 2016

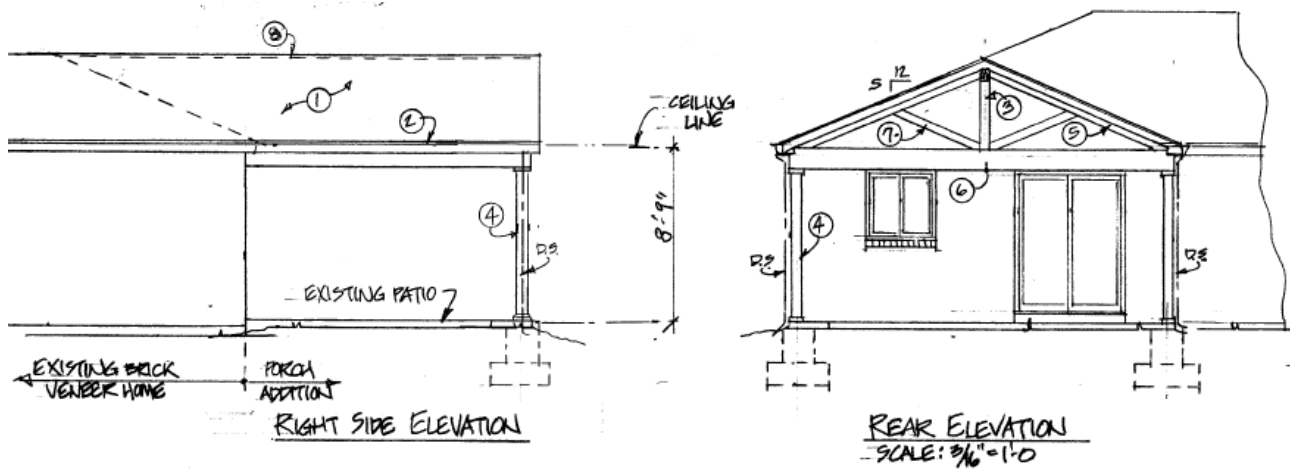


Figure 3: Applicant's proposed roof structure

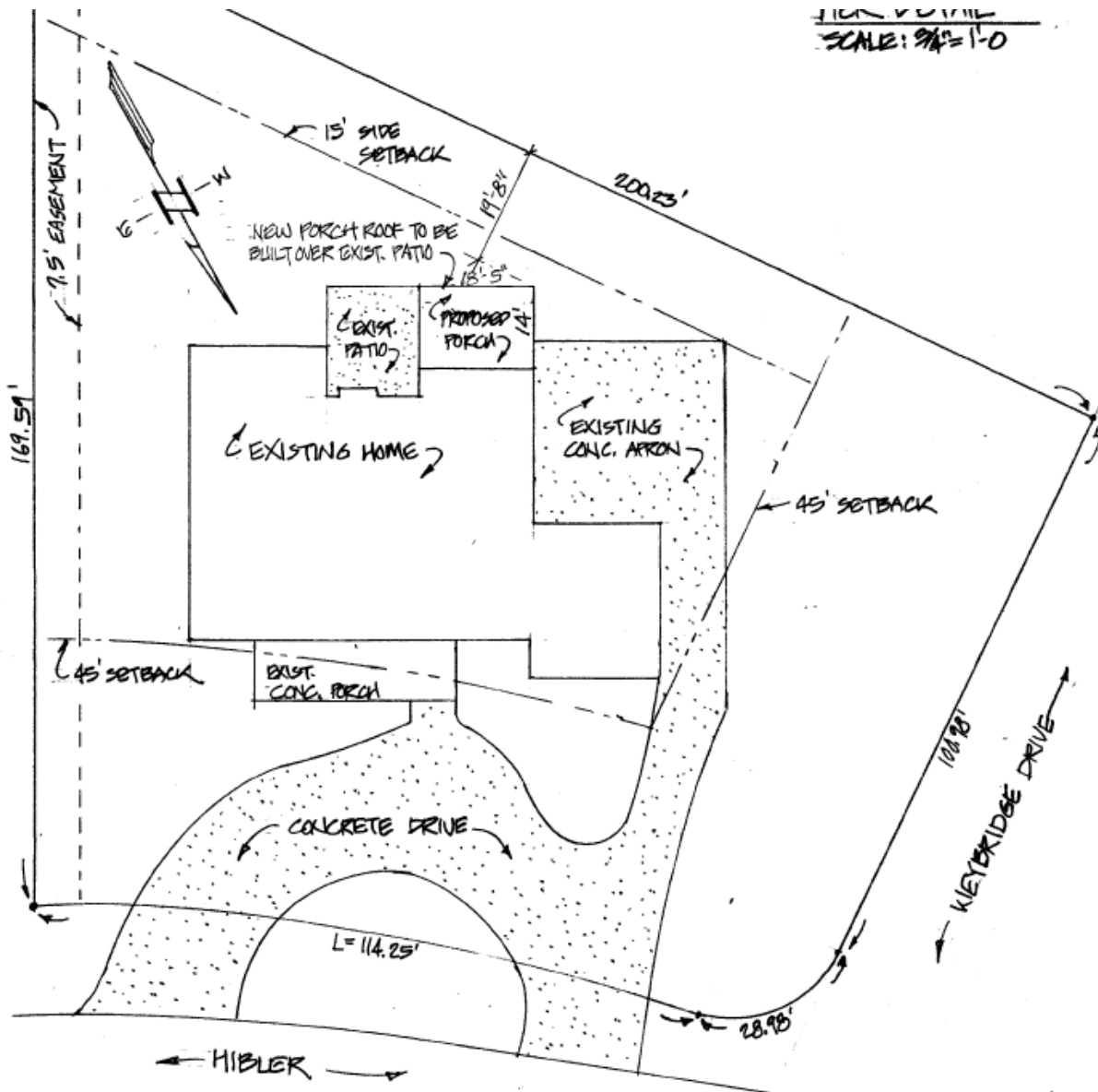


Figure 4: Close-up of the Applicants site plan.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Residence	B Single Family Residential	Hibler Drive
South	Residence	B Single Family Residential	NA
East	Residence	B Single Family Residential	NA
West	Residence	B Single Family Residential	Weybridge Drive

STAFF ANALYSIS

Performing an analysis of a variance appeal primarily requires a six-part examination of the facts, as required by *Section 405.1100, Criteria for Variances, Generally*, of the Zoning Ordinance. To wit:

- 1. The variance requested arises from a condition which is unique to the property in question and which is not ordinarily found in the same zoning district;**

The house and lot in question are not unique in size or configuration for this subdivision and are consistent with the B Single Family Zoning District.

- 2. The variance requested is because of a unique hardship not created by the applicant nor the owner of the property;**

The Applicant's decision is to add an amenity to the house while maintaining the non-compliant site coverage, where removing 1.6% of coverage elsewhere on site is an option. Whether or not the Applicants should be held to the standards where it was under the prior action of a previous property owner that resulted in the violation is the decision of the Board to consider. Whether or not the cost to remove coverage represents a unique hardship is a financial consideration for the property owner, which is not tied to a unique condition on this property.

- 3. The granting of the variance shall not adversely affect adjacent property owners or residents;**

Granting the variances would allow for more coverage than any other similar properties throughout the City would be allowed, which could be seen as granting an unfair advantage to the Applicant.

- 4. The strict application of the provisions of the Zoning Ordinance from which a variance is requested, will cause severe practical difficulty or extreme hardship for the property owner represented in the application;**

No evidence has been submitted that suggests that the property is so adversely affected by the zoning district regulations that will cause an extreme hardship. It is the Applicant's desire not to remove coverage elsewhere on the site to bring the site into compliance with the regulations. Further, as identified above, the house and lot are developed in a comparable manner to other properties in the neighborhood and the strict application of the Zoning Ordinance does not diminish the features of the property in comparison to the others around it. The question before the Board, under this criterion, is whether or not the inability to update one's house with the added cost of converting coverage to a permeable system or removing coverage elsewhere, without a variance, represents an extreme hardship and would provide sufficient justification for a variance.

5. The variance desired will not adversely affect the public health, safety, order, convenience, or general welfare of the community, and

Nothing in the request will affect the public health, safety, order, convenience, or general welfare of the community.

6. Granting the variance desired will not violate the general spirit and intent of this Chapter.

Certainly, the City has enjoyed the benefits of significant private investments in the existing housing stock; much of it made possible by the large lots that afford most houses plenty of “room to grow.” In many prior applications, the root of the problem is that the house does not have “room to grow” because either the lot is non-conforming for size and/or the house was built to a standard that does not conform with City’s current zoning. This does not appear to be the case with this application. The issue at hand involves correcting the actions of the previous homeowner which created a non-conforming condition on this property in association with the requested permit for the patio covering. The request variance is relatively minor and was not the fault of the current owners. However, there appear to be opportunities to remove coverage elsewhere to bring the property into compliance. Granting the approval could be seen as allowing other homeowners to do the same and seek approval after the fact.

Additional Criteria for Non-Use Variances

In addition to the above, Section 405.1110.E. *Criteria for Area Variances*, states that an applicant for an area variance must meet the following criteria:

- 1. By reason of exceptional narrowness, shallowness, or shape of the specific piece of property, or whereby reason of exceptional topographical conditions or other extraordinary or exceptional circumstances that the strict application of the terms of the zoning regulations actually create a hardship to the property in a manner dissimilar to that of other similarly situated property in the zoning district in which it is located.**

There is not evidence that the lot is so unique nor will create a hardship to the property in a manner dissimilar to all the other similarly situated properties in this zoning district. However, it is the mistake of the prior homeowner/contractor for expanding the existing coverage over the allowed maximum site coverage of 35%,

- 2. Granting the variance would not result in the diversion of additional stormwater that would adversely affect adjacent property.**

The lot was originally and appropriately graded to accommodate the house at this same position and the proposed renovations would not alter the water flow patterns off the site. That said, the additional coverage is 1.6% over the allowed maximum coverage of 35% is not likely to create a problem for the adjacent property or overwhelm the system in place.

ACTION

Following its deliberation, the Board of Adjustment may vote in favor or against a motion to approve the request. Pursuant to Section 405.1110 of the Zoning Code, approval of a variance requires written findings of fact supporting the specified variance criteria. In order to make the vote on the application clear, an affirmative motion should be made, and members can vote to approve or disapprove that motion. An example motion for the requested variance to the front-yard setback would be:

“I move to approve a variance to allow for the use of the existing patio area and allow for the proposed roof at the existing, illegal, non-conforming site coverage of 36.6%, as proposed for the meeting of March 18, 2021 for the property addressed as 12134 Hibler Dr, where the required maximum site coverage for the B Single-family Residential District is 35%, based upon a positive finding that:

1. The variance requested arises from a condition which is unique to the property in question, and which is not ordinarily found elsewhere in the same zoning district;
2. The variance requested is because of a unique hardship not created by the Applicant nor the owner of the property;
3. The granting of the variance will not adversely affect adjacent property owners or residents;
4. The strict application of the maximum site coverage of 35% will cause severe practical difficulty and extreme hardship for the property owner represented in the application;
5. The proposed site coverage of 36.6% will not adversely affect the public health, safety, order, convenience, or general welfare of the community;
6. Granting the setback variances will not violate the general spirit and intent of this Chapter;
7. The strict application of the maximum site coverage requirements actually creates a hardship to the property in a manner dissimilar to that of other similarly situated property in the zoning district; and,
8. Granting the variance will not result in the diversion of additional stormwater that would adversely affect adjacent property.”

If the Board wishes to modify the application or add specific conditions of approval, they should do so by separate motion, prior to voting on the overall approval.

After the Board reaches a final decision regarding the request, a follow-up motion directing Staff to prepare and authorizing the Chair to execute the Findings of Fact and Conclusions of Law should be made. An example of such motion is:

“I move to direct Staff to prepare and authorize the Chair of the Board of Adjustment to execute Findings of Fact and Conclusions of Law regarding the variance requested for 12134 Hibler Road based upon the testimony received and the deliberations of the Board on this application, as decided on March 18, 2021.”

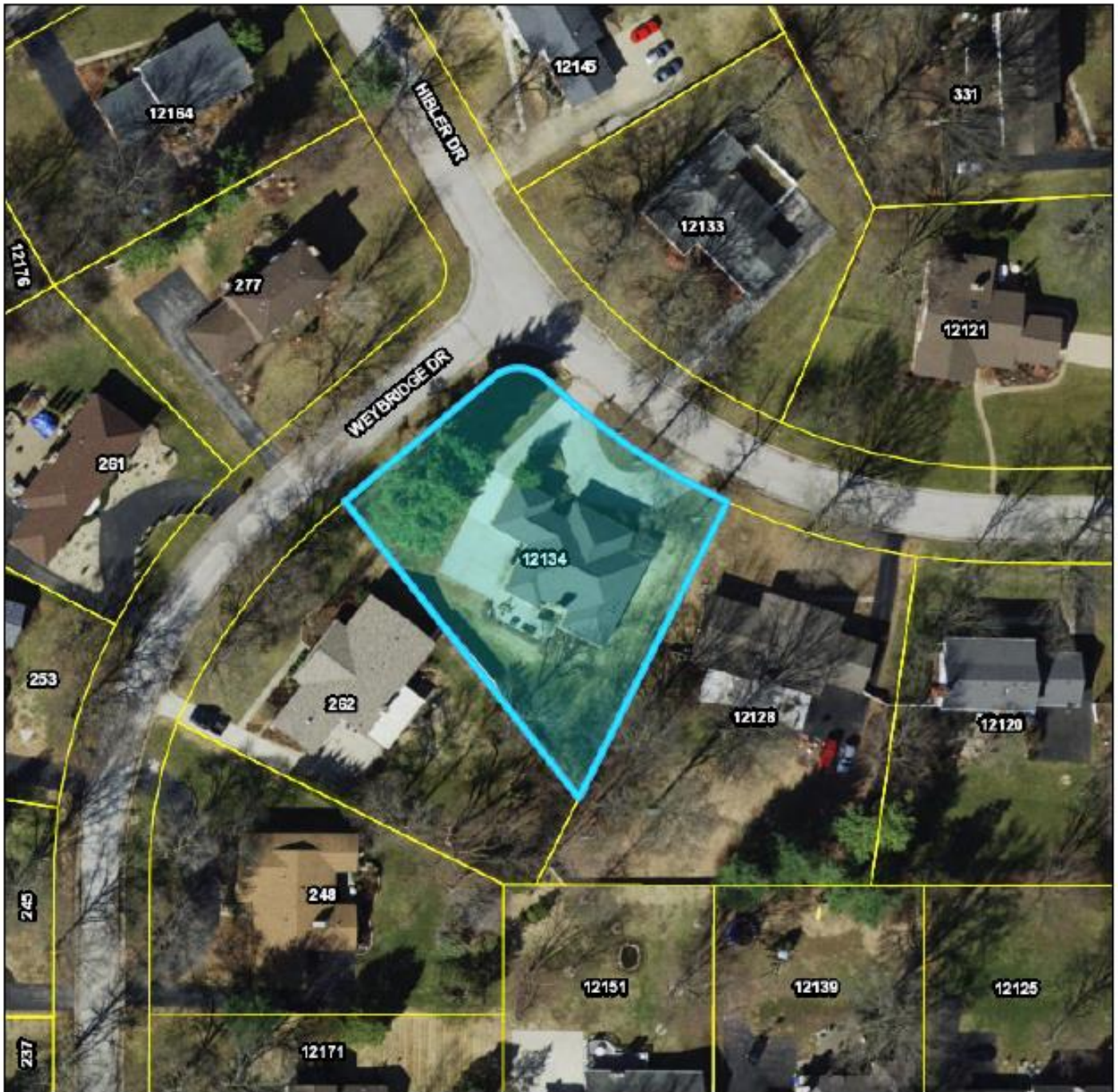
APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO



City Limits

Parcels

February 17, 2021



Prepared By

I HORNER SHIFFRIN

Attachment: 12134 Hibler Dr Variance BOA Staff Report-March 18 (12134 Hibler Drive Site Coverage Variance)

APPENDIX 4: SITE PHOTOGRAPHS

Photo Dates: 03/08/2021



Description: View of the existing home from Hibler Drive looking south.



Description: View of the existing patio area looking east from the rear property line.



Description: View looking south from the corner of the garage at toward the back area.

city
of

CREVE COEUR

File # _____

300 North New Ballas Road • Creve Coeur, Missouri 63141
 (314) 872-2500/872-2501 • Fax (314) 872-2505 • Relay MO 1-800-735-2966
 www.creve-coeur.org

BOARD OF ADJUSTMENT APPLICATION NON-USE VARIANCE

Applicant:	Applicant's Representative (if applicable):
Name: <u>Keith Goldstein</u>	Name: _____
Company (If Applicable): _____	Company (If Applicable): _____
Address: <u>12134 Hibler Drive</u>	Address: _____
Address: <u>Creve Coeur, MO 63141</u>	Address: _____
Telephone #: <u>314-565-5465</u>	Telephone #: _____
Fax #: _____	Fax #: _____
Email: <u>kgoldstein@ccmo.org</u>	Email: _____

APPLICANT: Architect _____ Engineer _____ Contractor _____ Agent _____ Owner ☒

The undersigned hereby requests to be placed on the Agenda for the Board of Adjustment meeting at 4:00 P.M. on Thursday, Feb/Mar, 2021.

[Signature]
 Applicant's Signature

 Applicant's Representative's Signature

2/9/2021
 Date

 Date

Submittal Checklist

- Two (2) checks, \$50.00 filing fee & \$250.00 non-refundable escrow
- Four (4) sets of signed and sealed plans (Folded to a size no larger than 11"x14") for the improvements necessary for the proposed use
- Written Justification
- Electronic copy of all submitted documents

Jason Jaggi, AICP, Director of Community Development
 Whitney Kelly, AICP, City Planner
 Jessica Stutte, Administrative Assistant (872-2501)

Updated 12/2020

Attachment: Goldstein Board of Adjustment Application.pdf (12134 Hibler Drive Site Coverage Variance)

INSTRUCTIONS: Complete all of the following sections to the best of your ability. Provide additional materials as needed such as supplemental pages, diagrams, plans, or photographs. Please consult with Planning Division staff (314-872-2501) if you have any questions.

1. I request a variance so that the following may be built or installed on the property (attach building plans, landscape plans, surveys, etc. showing before and after conditions on the property):

We are requesting a waiver for the current concrete limit and approval to cover $\frac{1}{2}$ of our existing patio. The previous owners converted asphalt to concrete which extended the property to $36\frac{1}{2}\%$ concrete.

2. In support of my request, I offer the following:

- Unique physical characteristics of the property (creek, steep slope, lot shape, etc.):

Covering $\frac{1}{2}$ the existing patio does not impact anything else regarding the property.

- Unique non-physical characteristics of the property (location, access, history, etc.):

n/a

- Any other differences between the Subject Property and other properties in the surrounding area which would warrant different treatment of the Subject Property:

Other homes have covered patios or 3 season rooms.

- Current uses and structures on the property:

Single family dwelling.

3. Explain why the zoning laws unfairly burden the property compared to the other properties around it:

We purchased the home in 8/2020. The Sellers Disclosure noted that projects had not been completed without a permit. However, we have been informed that the driveway, rear entry pat & patio were converted from asphalt to concrete between 2014-2016 resulting in 36 1/2 % of property covered in concrete which exceeds the 35% limit.

4. Do you believe the problems described above hurt the market value of the property compared to similar properties in the area and, if so, what can you offer as evidence that this is true?

The concrete limit is preventing us from covering half the patio which could increase the property value.
We are not requesting an extension of concrete. We only want to cover half of the existing.

5. Assuming the variance is approved, describe the potential effects or impacts on neighboring properties:

no impact. The Neighborhood Association has approved the project.

6. Assuming the variance is approved, describe any utilities or City and emergency services that will have to be added to or upgraded as a result?

No impact

7. Assuming the variance is approved, describe how much additional traffic will be created on the property and in the surrounding area as a result:

No impact

8. Assuming the variance is approved, describe any additional street access or parking that will be needed:

No additional access or parking

9. Zoning district in which the property is located: A (Ladue@I-270)

10. Size of the lot (total square feet or acres): 22,239 sq ft.

11. Please provide any other information in support of this request (on a separate sheet if needed):

We are requesting approval for this project so we can use the outside space with protection from sun and weather. The patio receives full sun and is therefore not usable during most of the day.

General Construction Notes:**GENERAL DATA**

- Do not scale drawings. Use written dimensions.
- Prior to beginning the work, the General Contractor shall review all elevation restrictions and site conditions at the jobsite and notify the owner of any drawing errors or inconsistencies prior to construction.
- These drawings convey design concept. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, for selecting fabrication processes, for techniques of assembly, and for performing the work in a safe manner.

SITWORK

- Do not connect downspouts, basement areaway drains, or foundation wall drains to the sanitary sewer. Provide concrete splash blocks at all downspouts. Downspouts shall direct water away from the foundation so as to prevent soil erosion.
- It is the responsibility of the contractor or his subcontractors to determine the subsurface characteristics of the soil at the building site. Soil must provide a minimum bearing pressure of 1500 pounds per square foot. When in doubt, contractor will employ a soils engineer to determine the soil characteristics.

CONCRETE

- Concrete minimum compressive strength shall be:
 - 3000 PSI min. at 28 days in vertical walls not exposed to weather (excluding top 8" exposed)
 - 3000 PSI min. at 28 days in vertical surfaces that are exposed to weather.
 - 3500 PSI min. at 28 days in all exposed flatwork surfaces, including garage slabs, walks, steps and porches.
 - All concrete shall be air-entrained as per Table 402.2 of the 2015 IRC.
- Piers shall extend a minimum of 24" into undisturbed soil and a minimum of 30" below finished grade.
- All voids under porch concrete slabs shall be filled with granular fill.

THERMAL AND MOISTURE PROTECTION

- All required underlayment to be a minimum of Type I per ASTM D226-06 or Type 1 per ASTM D4869-05e01 (15# asphalt felt). Mineral-surfaced roll roofing shall conform to D 3909 or ASTM D6380, M. It shall not be installed on roof slopes below 1:12.
- Corrosion-resistant metal flashing shall be used at all roof intersections, roof and wall intersections, intersections with chimneys, etc.
- Roofing felts shall extend at least 18" beyond a roof valley or hip in either direction.
- Caulking and Sealants: exterior joints around windows and door frames, between wall and foundation, between wall and roof, between wall panels, at penetrations or utility services through walls, floors and roofs, and all other openings in the exterior envelope shall be sealed in an approved manner.
- For roof slopes greater than 4:12 contractor shall install a minimum of one layer of 15 lb felt.

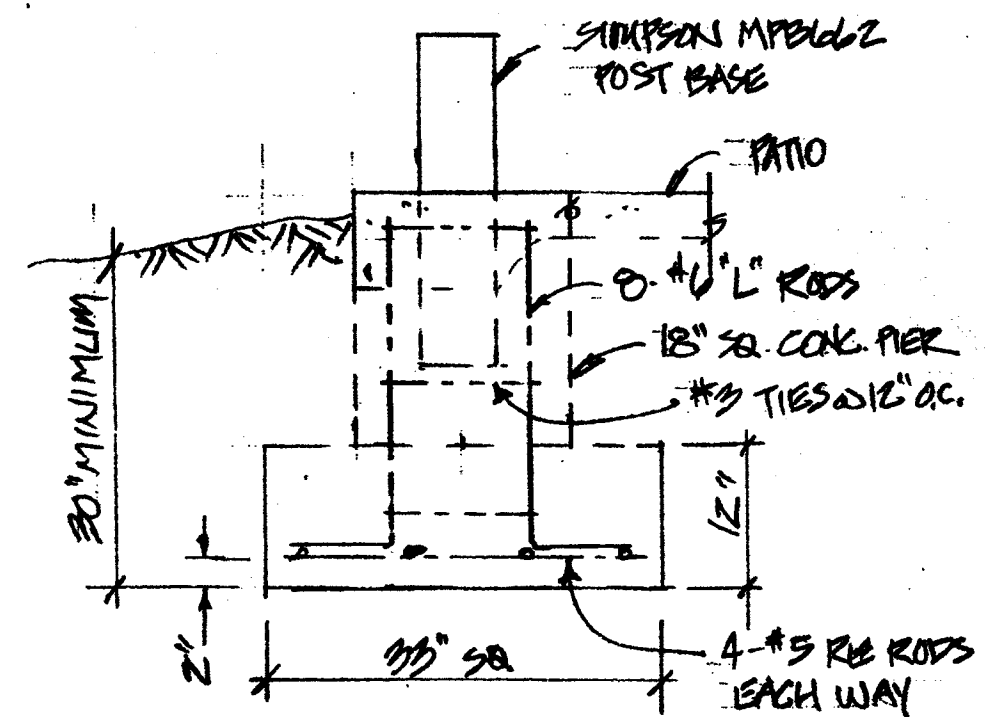
WOOD and PLASTICS

- All lumber shall be grade marked #1 unless otherwise noted.
- All framing shall be in conformance with the National Forest Products Manual for House Framing.
- Join and install Micro-Lam or Parallam Beams as per manufacturer's recommendations.
- All nailing and fastening shall comply with Table R602.3(1) thru R602.3(4) of the 2015 International Residential Code. Interior Gypsum shall be fastened in accordance with Table R702.3.5. Gypsum sheathing shall be fastened in accordance with Table R602.3(1).
- Cutting, notching and/or boring holes in wood beams, joists, rafters, or stud walls shall not exceed the limitations set forth in Section R502.8, R602, and R802.7 of the 2015 International Residential Code.
- All soffits and dropped ceilings shall be firestopped.
- Truss design shall be provided by Truss Fabricator. Trusses shall comply with AFPA NDS-91 and TPI 1-2002. Truss company to verify knee heights and roof configuration, and to notify the owner of any inconsistencies prior to fabrication.
- All roof framing shall be designed to support the following minimums:

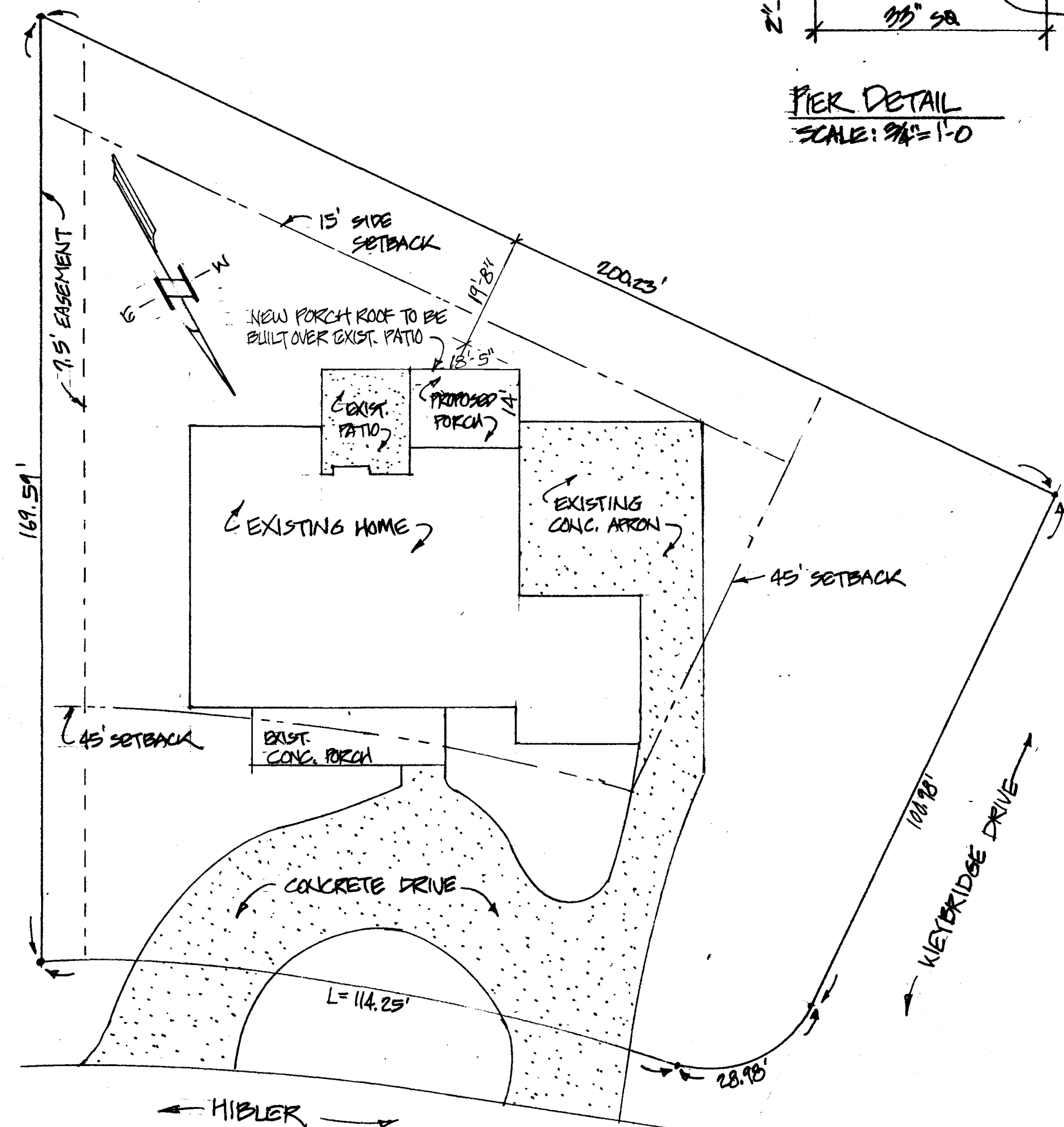
Top chord or roof rafters	L.L. 20 lb. per sq. ft.
Bottom chord or ceiling joists	D.L. 10 lb. per sq. ft.
Bottom chord or ceiling joists	L.L. 20 lb. per sq. ft. (when there is the possibility of attic storage. Attic storage shall be addressed when a 42" high x 24" wide rectangle can be placed perpendicular to the rafter/ceiling joists or trusses)
- Tie-down straps shall be used on all roof trusses at bearing walls.

ELECTRICAL

- All electrical work shall comply with 2014 National Electric Code and 2015 Int. Residential Code standards and equipment and Ordinance #19998 and 21553 ("E" references).



PIER DETAIL
SCALE: 3/4" = 1'-0"



SITE PLAN
SCALE: 1" = 20'

NOTE: BUILDING AREA IS ESSENTIALLY LEVEL.
NO CHANGE TO EXISTING GRADE.
LOT AREA = 22,239 SQ. FT.

Impervious Lot Coverage

Existing Home	3372 sq. ft.
Existing Patio	455
Exist Apron & Drive	3972
Existing front porch	340

Total: 8139 sq. ft.

8139/ 22239 (total lot) = 36.6%

Martin Harris Designs

Hermann, Mo.

314-799-7610

jfmartin1@sbcglobal.net

SCALE: VARIES

APPROVED BY:

DRAWN BY

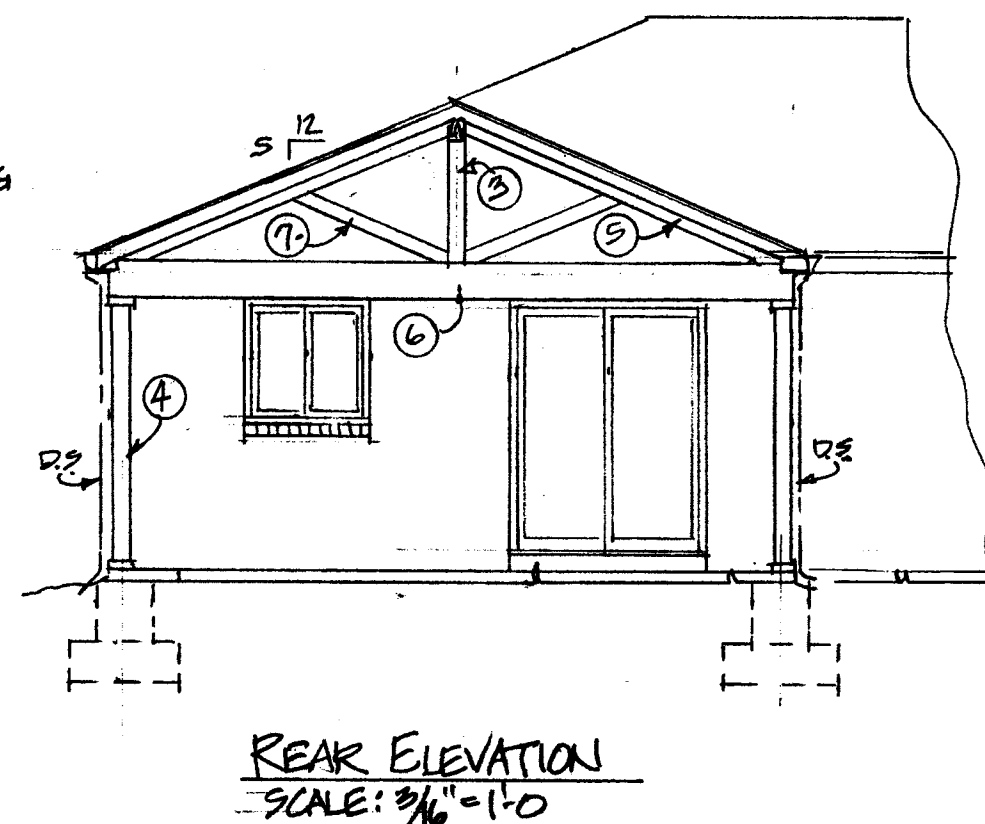
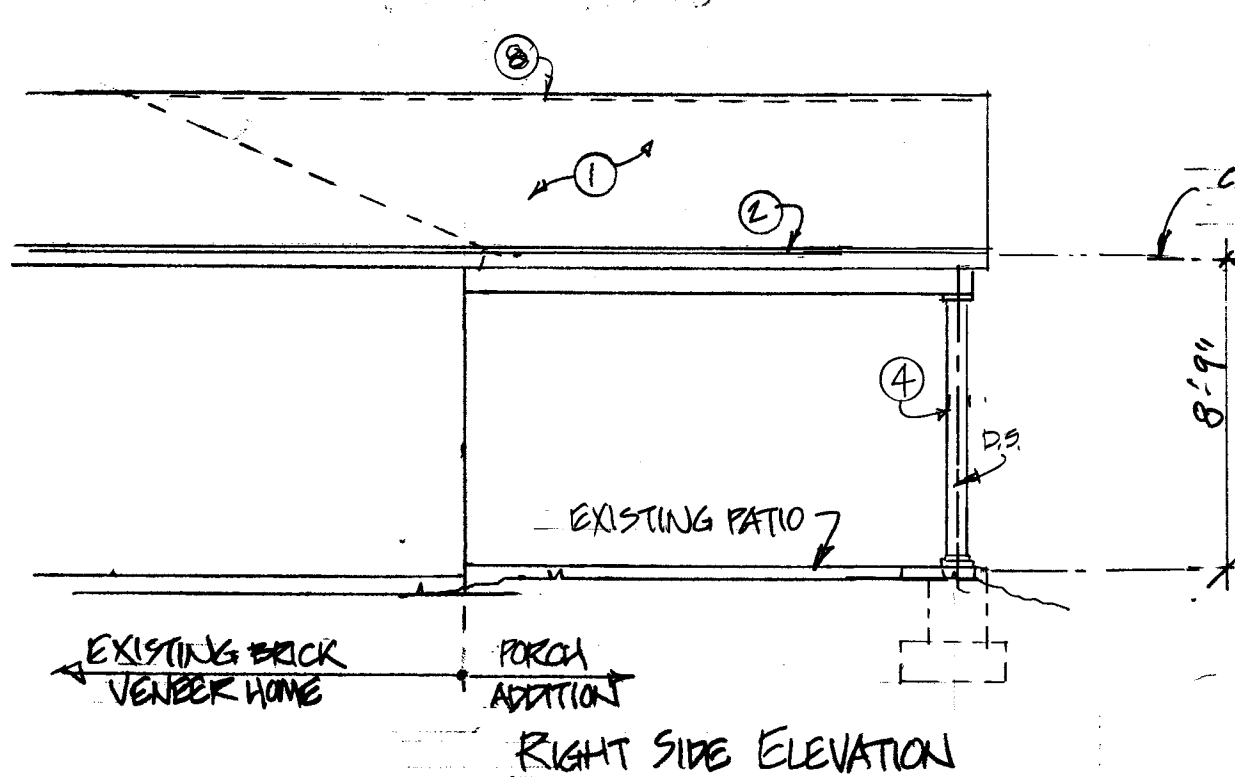
DATE: 10/16/2020

REVISED 2/16/2021

Porch Addition Plans for: **Mr. & Mrs. Keith Goldstein**
12134 Hibler, Creve Coeur

Engineer: Michael E. Dace, PE 573-468-6068
400 Timberlane Dr., Sullivan, Mo.

DRAWING NUMBER
2 OF 2

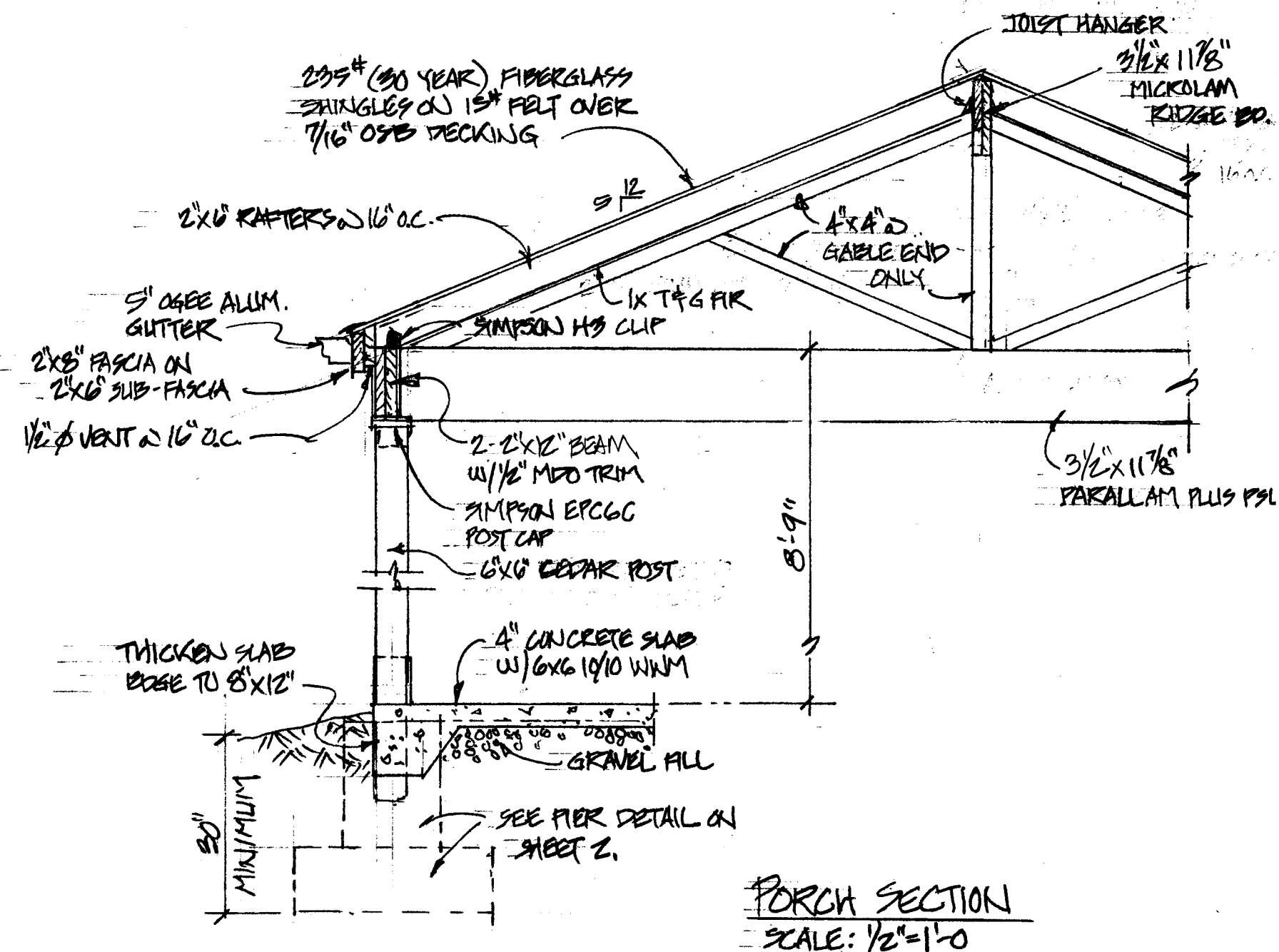


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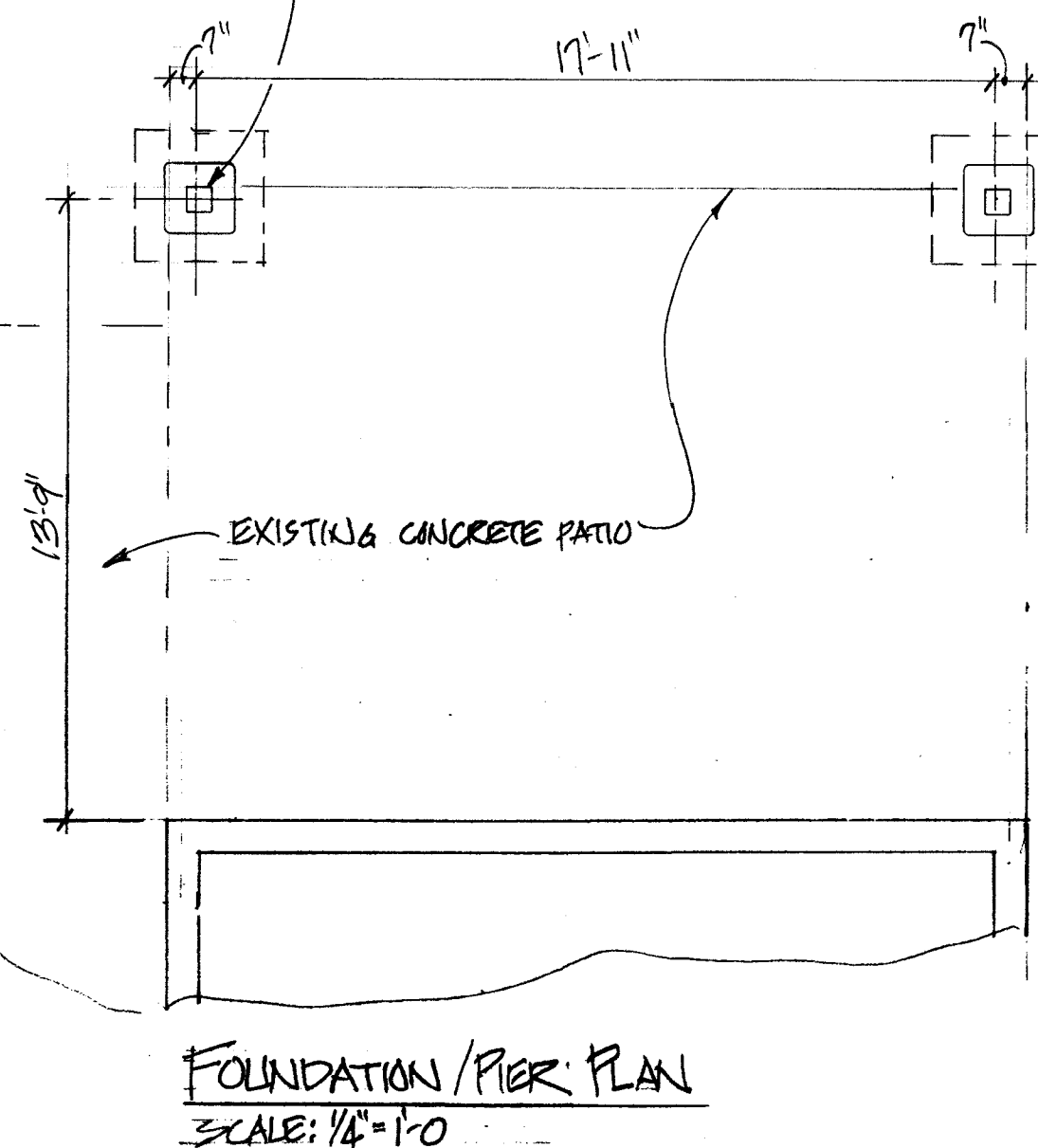
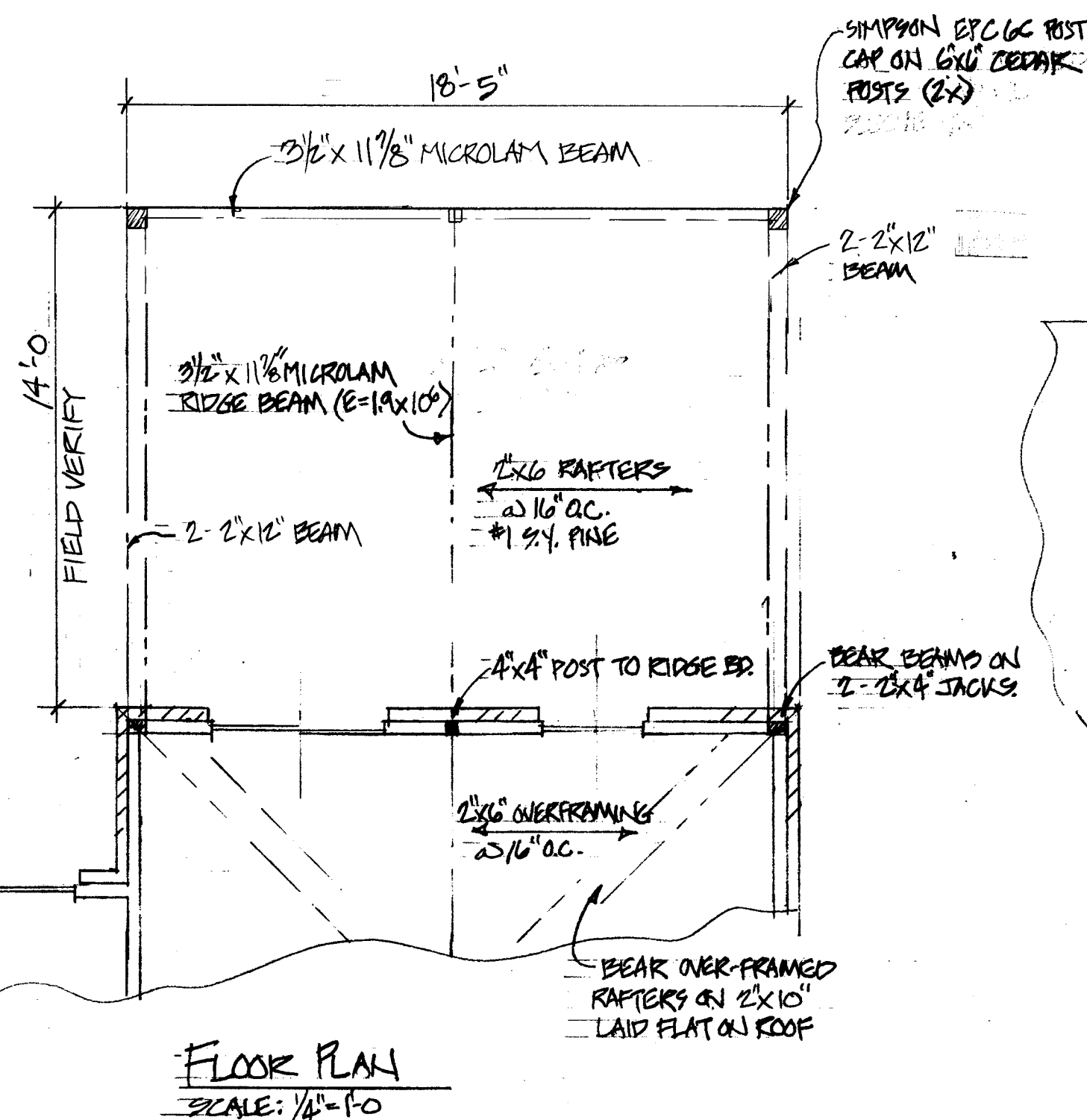
1. Install aluminum flashing at all roof-to-roof and all roof-to-wall intersections.
2. Concrete piers shall be poured on undisturbed soil and shall be a minimum of 30" below finished grade.
3. Install splash blocks on all downspouts. Do NOT connect to the sanitary sewer.
4. Install aluminum drip edge at all eave edges.

LEGEND:

- 1 235# (30 year) fiberglass shingles on 15# felt
- 2 5" ogee aluminum gutter w/ 4" dia. Downspouts
- 3 4" x 4" pressure-treated wood brace/post
- 4 6" square pressure-treated wood post with vinyl sleeve
- 5 4" x 4" false rafter
- 6 3 1/2" x 11 7/8" Parallam Plus PSL
- 7 4" x 4" decorative brace
- 8 Cor-a-vent ridge vent



6" x 6" treated wood posts with Simpson MPB66Z post base in 18" square concrete pier belled to 33" square (to solid and undisturbed ground (30" minimum). See section/detail.



Martin Harris Designs

Hermann, Mo.

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SCALE: VARIES

APPROVED BY:

DRAWN BY

DATE: 10/16/2020

REVISED 1/19/2021

Porch Addition Plans for: Mr. & Mrs. Keith Goldstein
12134 Hibler, Creve Coeur

Engineer: Michael E. Dace, PE 573-468-6068
400 Timberlane Dr., Sullivan, Mo.

DRAWING NUMBER
1 OF 2



Whitney Kelly <wkelly@crevecoeurmo.gov>

Variance request 12134 Hibler

terry gloriod <tlgloriod@gmail.com>

Thu, Mar 4, 2021 at 3:19 PM

To: wkelly@crevecoeurmo.gov

Dear Board Members,

Our residence is at 262 Weybridge Dr, adjacent to 12134 Hibler. We support the variance request and urge your approval.

Very truly yours

Terry and Jean Gloriod

Sent from my iPad

Attachment: Public Comment received (12134 Hibler Drive Site Coverage Variance)