



AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
TUESDAY, FEBRUARY 20, 2018

6:30 PM

Pursuant to Section 610.022 RSMo, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

CALL TO ORDER

ROLL CALL

Ms. Beth Kistner (Chair)
Mr. Tim Carney
Ms. Muriel Hall
Mr. Don Magruder
Mr. Gene Rovak
Ms. Heather Silverman
Mr. Matthew Schuh
Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Whitney Kelly, City Planner
Ms. Jessica Stutte, Planning Assistant/Recording Secretary

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

- 1. February 5, 2018 Planning and Zoning Commission Draft Meeting Minutes**

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS**NEW BUSINESS**

1. PUBLIC HEARING. Application #18-005: Conditional Use Permit For Poké Munch Restaurant Within Kings Landing Mixed-Use Apartment Complex At 630 N. New Ballas Road

Nadeem Hosseini, of 2 Much Sauce, has submitted an application for a new conditional use permit for a 1,000 square foot restaurant, Poké Munch, with 23 indoor seats and 12 outdoor seats, at 630 N. New Ballas Road, within the Kings Landing Mixed-Use Apartment complex. The subject property is zoned CB, Core Business District. All limited-service restaurants (NAICS 722513) are permitted as a conditional use with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission.

2. Application #18-006: Minor Site Plan Approval For The Renovation Of The Building At 641 N. New Ballas Road

Robert M. Koenig, AIA, Treanor HL, on behalf of Reproductive Medicine Associates of New Jersey, has submitted an application for a minor site plan approval for the renovation of the existing building at 641 N. New Ballas Road, for a new medical office/clinic. Section 405.1080 requires minor site plan approval by the Planning and Zoning Commission for any proposed alteration that would significantly affect the exterior of a building, and any new site coverage over 500 square feet. The proposal includes new façade improvements and landscaping throughout the site. Site Coverage will be reduced from 65.2% to 65.0%.

WORK AGENDA**DEPARTMENT REPORTS**

Director of Community Development

1. Community Survey

ADJOURNMENT

Posted: _____
Jason W. Jaggi
Director of Community Development



DRAFT MINUTES
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, FEBRUARY 5, 2018
6:30 PM

CALL TO ORDER

ROLL CALL

Beth Kistner	Commission Chair	
Tim Carney	Commission Member	
Gene Rovak	Commission Member	
Muriel Hall	Commission Member	
Don Magruder	Commission Member	
Heather Silverman	Commission Member	
Matthew Schuh	Commission Member	(Absent)

The following staff were also present: Carl Lumley, City Attorney; Jason Jaggi, Director of Community Development; Whitney Kelly, City Planner; and, Jessica Stutte, Planning Assistant/Recording Secretary.

ACCEPTANCE OF THE AGENDA

Ms. Kistner proposed to move item 5 of new business to the front of the agenda.

Mr. Magruder made a motion to move item 5 of new business to the front of the agenda, Ms. Silverman seconded.

Ms. Silverman made a motion to approve the agenda as modified, Mr. Rovak seconded. All voted in favor.

APPROVAL OF MINUTES

1. January 16, 2018 Planning and Zoning Commission Draft Meeting Minutes

Mr. Carney made a motion to approve, Mr. Rovak seconded. All voted in favor.

PUBLIC COMMENT

None

UNFINISHED BUSINESS

1. PUBLIC HEARING. Application #17-028: THE REZONING OF 11318 OLIVE BOULEVARD TO PLANNED COMMERCIAL DEVELOPMENT DISTRICT FOR THE RENOVATION OF THE EXISTING BUILDING INTO a 260 ROOM HOTEL, WITH a FREE STANDING RESTAURANT AND COMMERCIAL/RETAIL BUILDINGS

This hearing also included item 17-029. Those planning to speak to the request were sworn in.

Mr. Tim Trynicki gave a brief history of the project. He said a number of modifications had been made per the suggestions of staff and the commission. He said that they meet the elements of the Planned Commercial District Development Design Criteria.

He said they have addressed the buffer concerns as well as adding in evergreens outside the wall. He said they addressed the quality of the materials and energy conserving materials. He said the new brick has been increased. The stucco has been changed to simulated granite. He said they have added some framing features on the 5th and 6th floors.

On the recommendation of staff they moved the park space to the east side.

They also moved the walking space per staff suggestion. Masonry brick and stone will be the primary building materials of the future buildings per staff suggestion.

He said they would like to talk to the commission about 3 points.

The first point is the 2 year requirement for starting the retail space; he said the market is uncontrollable and while they hope to have tenants within 2 years, they cannot guarantee it.

The second point is the parking. He said the parking demand for the hotel and restaurant will peak at the same time. He said they want parking for the project to be visible. He said the spaces close to the front are necessary for the elderly and disabled. He said the way the parking is laid out is done is per the city's code.

He went over cross access to the west. He said there is no benefit to them. He said it will only be dangerous scenario for either restaurant patrons or hotel patrons.

Ms. Kistner asked about the cross access and safety. She suggested the guests who would leave to the west would create less traffic by leaving through the cross access.

Mr. Trynicki said the cross access is not good for their business.

Mr. Rovak said cross access has worked well in Creve Coeur. He said the applicants say it will be of no value to the hotel, but he believes it will be a good addition.

Mr. Trynicki said it is a tough layout for cross access.

Ms. Silverman attempted to explain the benefit of the cross access for their patrons.

Mr. Trynicki said they really don't believe it will be of any benefit to them to have cross access.

Mr. Carney asked if there was consideration for a pedestrian access. He said the cross access would be a benefit to the hotel to have access. He said a sidewalk for access would be a benefit to the hotel and restaurant patrons.

Mr. Jaggi went over some of the proposed items by the applicant.

He said the fence and trees are an improvement. He said the simulated granite is an improvement. He continued that the location change of the park meets with staff approval. He said the materials for the proposed buildings meet the approval of staff but would also have to come back before the

Commission for their approval at the time a design is developed. He continued by showing renderings.

He suggested some movement of spaces to the west. He showed the access to Mosley and suggested some spaces be removed to add greenspace.

He said the landscaped area needed some more hedge rows

Mr. Jaggi went over the draft ordinance and explained when they would come back. He went over why staff suggested the 2 year time period. He said there needed to be some responsibility to complete the commitment.

He went over some minor conditions including a bike rack and easement dedications.

Ms. Kistner asked if there was a change to the canopy area.

Mr. Jaggi said the canopy did not change.

Ms. Kistner asked about the 2 year requirement and if the restaurant and retail would not be built would the opinion of staff change.

Mr. Jaggi said it was likely, but as the applicant indicated the future is unknown and if the other 2 buildings were not built an amendment would be necessary.

Ms. Kistner asked what if any repercussions would happen.

Mr. Carney asked if language could be added that if the 2 buildings were not built could some beautification happen instead.

Mr. Jaggi said it was a possibility.

Ms. Kistner asked what total number of spaces would be lost if they followed staff recommendations.

Mr. Jaggi said he believed the total to be 15-20 spaces. He showed on the rendering what staff suggested.

Ms. Kistner asked about the height of the fountain.

Mr. Jaggi said 4-5 feet off the ground.

Mr. Magruder asked about the number of handicapped spaces close to the door.

Mr. Jaggi said there were about 9 near the entrance.

Ms. Silverman asked what code required in terms of parking.

Mr. Jaggi said it was determined by use and the multi-use application gave them some flexibility.

Mr. Magruder asked how many handicapped spaces would be provided.

Mr. Jaggi said it was a ratio based on the total number of spaces provided in the lot.

Ms. Kistner asked when the hours and other items would be determined for the restaurant.

Mr. Jaggi said it could be built into the ordinance or the city could require them to come back with the site plan.

Ms. Kistner said she would like them to be subject to the same conditions as other restaurants.

Mr. Magruder asked where the cross access would be.

Mr. Jaggi said it would be behind Pei Wei.

Mr. Jaggi said it does give motorists another way to exit the site.

Mr. Rovak added that it makes it far more convenient for a motorist using multiple sites and eliminates cars on Olive.

Mr. Magruder said it didn't look like it would be a huge volume of cars.

Mr. Jaggi said the safety concern is that patrons would be walking back and forth.

Mr. Carney asked if Mr. Jaggi had spoken with the Pei Wei and bank owners

Mr. Jaggi said the future of that area was discussed in 2005.

Ms. Patti Trout said the drawing looks like Fridays. She said if they have a restaurant contract she wants to know what it is. She said they need cross access. She suggested they build the other buildings before they start the hotel. She said she wants a 10 million dollar bond.

Mr. Scott Shaw said he has more concerns. He said he shares a lot of boundary with HBE. He said the trees are dying and the wall does not extend far enough east. He said there is a delivery truck route that would run right next to his home. He said the residents are not safe. He said they turned every light on in the hotel and it was too bright. He asked for no approval.

Mr. Adam Littich said he would like to point out specific traffic concerns. The traffic study suggests 65% of the hotel traffic will come from the west. He said he has not seen data for their claim. He pointed out on page 154 of their traffic study, they assume no traffic will leave the site from Mosley going west. His final point is grading.

Ms. Betty Mueller said her property butts up to the property. She said traffic was bound to increase with hotel and restaurant guests, especially during already busy rush times. She suggested they enforce cross access. She suggested Mosley be left turn only. She suggested parking be eliminated on the east side of the building.

Mr. Kurt Lord said he opposes the development and the square footage is excessive. He said the building footprint for retail is the same size as Fresh Market. He said the city needs to insist on the cross access.

Mr. Frank Sprich said the area is residential. He said if the cross access to Mosley is acceptable then cross access to Pei Wei should be as well.

Mr. Mike McDonald said the pool should be moved to the west. He suggested a 10 foot fence the entire length of the property and asked that white pines be planted. He mentioned that Goddard was a school and brought up liquor license. He said that they were required to build a cross access. He said that HBE should be required to have additional cross access.

Mr. Ray Mueller said his property is adjacent. He said there is not the amount of shrubbery shown on the model. He said there are school buses on Mosley.

Mr. Gary Bonkamp said he heard there are fuel tanks on the property. He was concerned about safety.

Ms. Carol Lippman said she is kitty corner from the development. She said they don't want the development. She said they don't want 24 hour development. She said traffic will greatly increase.

Ms. Lauren Mame said she did not like the idea of a hotel in her back yard.

Mr. Lumley added the exhibits to the record and the public hearing was closed.

Ms. Silverman said she would like to see pedestrian access and would like to see cross access.

Ms. Kistner said she also agreed cross access was necessary and a detriment to the property.

Commission members agreed.

Mr. Carney said it would be a mistake not to require it.

Ms. Kistner asked about the liquor license.

Mr. Jaggi said it would be an approval process through City Council.

Ms. Kistner asked about the fuel tanks.

Mr. Jaggi said it was investigated and it was not a concern to a prior prospective buyer. He said the Department of Natural Resources will handle it.

Mr. Rovak suggested adding a condition that DNR is added.

Ms. Kistner asked about increasing the height of the wall to 10ft.

Mr. Jaggi said there aren't any instances of walls that high in a residential area. He said there is berming, a fence and landscaping. Mr. Jaggi said if it is a concern they could go up to 8 ft otherwise he felt it would be out of place.

Mr. Magruder mentioned lengthening the fence.

Mr. Jaggi said the fence does not go the full length. He said there would be site limitations with a full fence. He said they didn't feel it was needed.

Mr. Rovak asked how they would know the level of hotel quality and the operator.

Mr. Jaggi said on page 70 there is an email from Hilton stating where they are in the process. Mr. Jaggi said certain standards have been built in to the conditions and read from the draft ordinance.

Ms. Kistner said the required amenities would also address that.

There was some discussion as to the maximum size of the proposed retail building.

Mr. Rovak made a motion to approve based on the conditions in the draft ordinance, seconded by Ms. Silverman

A motion was made to remove condition remove 3B2 by Ms. Silverman seconded by Mr. Carney. All aye.

Mr. Carney said he thought the fence should be 8ft. He said extending the fence would help with security, sound and blocking light.

Mr. Carney made a motion for an 8ft fence with a landscape buffer to take the material as far east and west as possible, Mr. Magruder seconded. All aye.

Ms. Kistner said she liked the 2 year limit to keep the applicant accountable.

Ms. Kistner asked about cross access and if anyone would like to see that removed.

Ms. Silverman made a motion to ensure the buried storage tanks get handled as required by DNR, Mr. Carney seconded. All aye.

Ms. Kistner mentioned the pool on the south side asked if it as an issue.

Mr. Rovak asked if the pool had its own fence.

Mr. Jaggi said it had an 8 ft fence.

Mr. Magruder said noise bounces.

Mr. Jaggi suggested a limitation on hours.

Mr. Jaggi said enclosed pools reflect a lower class of hotel. He said there will be two fences between the pool and the property line.

Mr. Rovak made a motion to limit the hours of the pool to be from 8am to 9pm, seconded by Mr. Carney. All aye.

Ms. Kistner called for a vote on the main motion as amended.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Gene Rovak, Commission Member
SECONDER:	Heather Silverman, Commission Member
AYES:	Kistner, Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh

2. Public Hearing. Application #17-029: to Amend Section 405.390(D)(2)(B)(1) of the Planned Commercial Development Requirements to Allow for Secondary Access to an Arterial Road with Primary Access from Olive Boulevard.

A motion was made to approve as revised by staff by Ms. Silverman, seconded by Mr. Magruder.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Heather Silverman, Commission Member
SECONDER:	Don Magruder, Commission Member
AYES:	Kistner, Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh

NEW BUSINESS

1. Public Hearing. Application #18-003 : an Amendment to the Conditional Use Permit and Site Development Plan for Lou Fusz Kia at 1025 North Lindbergh Blvd to Include Used Car Sales at 10329 Old Olive Street Road

This hearing included item 17-038. Those speaking to the request were sworn in.

Mr. Stephen Hollander, the architect, explained their request. He said Subaru would be connected with Kia and primarily used as their pre-owned center.

He said staff requested shrubbery and they have no issue with that.

Mr. Hollander went over the request. He said the corner element is their jewel box. He said staff has requested the building be all one building and Mazda has agreed to meet staff requests.

He showed the commission material samples.

Mr. Carney asked about the Ash trees.

Mr. Hollander said the arborist said the trees are healthy and they will remain.

Mr. Jaggi said this would allow Lou Fusz to tie their used sale lots together as a network. He said in the future this would not transfer to another used car lot. He said they have asked them to be consistent with their landscaping and add shrubbery. He said they requested a Master Sign Plan for the campus on the west side. He said they worked with Mazda to eliminate the double stacking of display cars along Lindbergh. The trash enclosure will be redone. He said the jewel box would be black and the building would be gray with white metal paneling.

Mr. Rovak asked what the Master Sign Plan would include.

Mr. Jaggi said it would include the west side. Subaru would not be included.

Mr. Lumley entered the exhibits and the public hearing was closed.

Motion to approve subject to conditions in the draft ordinance.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Heather Silverman, Commission Member
SECONDER:	Gene Rovak, Commission Member
AYES:	Kistner, Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh

2. Public Hearing. Application #17-038: Conditional Use Permit and Site Development Plan for Modification to the Exterior of the Existing Building for Lou Fusz Mazda

Motion to approve subject to conditions in the draft ordinance.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Don Magruder, Commission Member
SECONDER:	Heather Silverman, Commission Member
AYES:	Kistner, Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh

3. Application #18-001 Approval of a Revised Site Concept Plan for Missouri Baptist University, Boundary Adjustment, and Site Development Plan for New Parking Lot Improvements Over the Existing Gravel Lot

Mr. Stock, of Stock and Associates, showed the property they wished to develop. He said the property line follows a creek and would be used to develop a future parking lot.

Staff had no comments.

Mr. Mike Droll asked where the residential halls are on the slide. He asked if anything was changing by the residential halls. He asked for confirmation that the creek would not be affected.

Mr. Stock confirmed there would be no change to the creek.

Motion to approve subject to conditions in the draft ordinance in staff report.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Tim Carney, Commission Member
AYES:	Kistner, Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh

4. Public Hearing. Application #18-002: Site Concept Plan and Site Development Plan Approval for Mercy Hospital for a 260,100 Square Foot Outpatient Center at 12120, 12130 Conway Road & 3011 Ballas Road

Ms. Kistner recused herself.

Those speaking to the request were sworn in.

Mr. Stock, of Stock and Associates, spoke to the Campus extension to the south. He said some buildings would be removed and ROW widened. Some of the area affected is in Town and Country. He said they are still going through the process with Town and Country. He showed the boundary lines for Mercy and site configurations.

He showed the materials.

He went through staff recommendations and commented that staff is concerned with the amount of EIFS.

He said the location of the garage had moved from the east to the west. He said the parking structure does not exceed 3 stories.

He showed the current site plan and the site plan as proposed.

He said they are far in excess of the required setbacks.

He showed the landscape plan. He said the green space is increasing.

He showed the mechanical penthouse and the material on each elevation and the views of the materials as seen from the elevations. He showed a rendering with the different elements and the ring road. He showed the Ballas Road canopy.

He showed the view from Ballas towards the garage and how the mature trees screen the garage along with the wall.

He went over the traffic studies. He showed that an additional left turn lane would be added for westbound 270 traffic. He said the islands would be removed to allow dual lanes to 270 W. He said there would be removal of a lane and re-striping.

He went over 755 N Ballas and their concerns about preserving their drive in and out.

Ms. Kelly said the amount of EIFS is inconsistent with the design guidelines. She said it is the predominant material and staff recommends that there be more brick to match the other buildings and meet the requirements of the design guidelines. She said there needs to be a substantial change to connect the two buildings as they only share a structural wall below grade. She pointed the Commission to page 573 to require the drive in front of the Ronald McDonald house be eliminated. She said staff recommends the cross access property at the 755 property not be gated.

Mr. Carney asked if the textured stone were carried higher if it would improve the percentage of materials.

Ms. Kelly said they did not get into that kind of detail.

Ms. Hall asked what Ms. Kelly had received at 5 PM.

Ms Kelly said they had received MoDot's recommendations regarding the traffic study.

Ms. Silverman asked if there was a reason there was not further connectivity to the buildings.

Mr. Magruder asked if there was interior access.

Mr. Stock said there was underground access.

Ms. Kelly said there needed to be a meaningful above grade connection.

Mr. Mike Taterka said he would have thought more notice would be given considering Conway road is going to be part of Mercy complex. He said he is concerned with traffic.

Mr. Larry Sturm said he lives in the Village of Westwood. He said he lives within 500 feet. He was initially concerned there would only be one entrance, but is somewhat relieved there is more than one access point. He said he was concerned about people leaving the bus station to go to the hospital. He said he wished there wasn't a need for such a large building. He said the helicopters hovering overhead are unpleasant at 5 am

Mr. Vince Keady said he was here to represent the owners of 755 S New Ballas. He said they were concerned about the access and the buffering. He said their main concern is the access along Ballas.

Mr. JR Mayer Jr. said their main objective is to have the same amount of egress in and out today for 755. He said in regard to the mechanical building they are concerned about the buffer and the steam blowing on them in cold weather. He said they offered a solution, but those discussions are ongoing.

Mr. Rovak asked that what MoDOT sent out be forwarded to Mr. Jaggi.

Mr. Stock tried to clarify the confusion over MoDOT communications and said he will work together to get the situation resolved.

Mr. Stock said the trustees were notified and residents from every direction were invited to 3 open houses.

Mr. Paul Sevalle pointed out the pre-cast concrete. He showed the coping and the band is pre-cast. He said that while there is EIFS, it is broken up. He said there is pre-cast around the sill around the windows.

Mr. Magruder said they would like to see more brick.

Mr. Stock addressed the gate. He said the concern of 755 is to allow them access to Conway. He said Mercy is open to the gate, but they are still in discussion about the cross access. Mr. Stock addressed the steam and wind patterns. He said it was unlikely they would be affected by the steam, but they understand the concern.

Mr. Rovak asked for the additional load numbers in percentages for Conway and Ballas.

Mr. Stock said it was about 400 additional trips.

Mr. Lumley offered the items into the exhibit and the public hearing was closed.

Mr. Stock said it was not indicated as a need and they would prefer not to have video detection at this time at Muckerman.

Mr. Rovak asked if that was the preferred method for determining traffic.

Mr. Stock said it was.

Mr. Carney asked about pedestrian crosswalks.

Mr. Stock said it would include pedestrian crosswalks on the east side as well as by the Metro bus.

Mr. Rovak asked why video detection was brought up in the staff report.

Mr. Jaggi said he thought it was a desire of the city to see that happen in the future but it is outside the scope of this project.

Mr. Rovak asked if the city would be satisfied knowing more of the building is pre-cast.

Ms. Kelly said she would still like to see more brick to be consistent with the rest of the campus.

Mr. Sevalle said with the exception of the penthouse the building is 92% not EIFS when the glass is included.

Ms. Silverman said in this case she tends to agree with the applicant in that the EIFS is not overpowering.

Mr. Carney said from the renderings it looked like there was more EIFS than in reality.

Mr. Sevalle pointed out the location of the EIFS

Mr. Carney asked why they changed the materials where they did.

Mr. Sevalle said they did it to make the jewel box stand out more.

Ms. Silverman said she agreed with Ms. Kelly regarding the connection of the two buildings.

Mr. Sevalle said they are providing a canopy to connect the two.

Mr. Rovak said he would like to see more to connect the two.

Mr. Stock said it looks connected with the canopy.

Mr. Lumley said if they clearly shared a structural wall above grade there would be no debate.

Ms. Silverman said they don't meet the ordinance requirements.

There was continued discussion about the connection of the two buildings.

Ms. Silverman said if a glass enclosure was added she would be more comfortable.

Mr. Carney made a motion to approve with the conditions in the staff report with the exception of the installation of video detection and the elimination of EIFS, and with an additional condition of further attachment of the parking garage to the building. Mr. Magruder seconded.

RESULT:	APPROVED [5 TO 0]
MOVER:	Tim Carney, Commission Member
SECONDER:	Don Magruder, Commission Member
AYES:	Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh
RECUSED:	Kistner

5. Right of Way Acquisition at 105 North New Ballas Road

Mr. Wohlberg, City Engineer for the City of Creve Coeur, said the City seeks to confirm acquisition of 140 sq. feet of ground under pavement at Ballas and Ladue in connection with a sidewalk project. He said even if the sidewalk does not come to fruition they would still like to clear up this ROW.

Ms. Kistner asked if the property owner behind the area was in opposition.

Mr. Wohlberg responded they were not.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Tim Carney, Commission Member
SECONDER:	Don Magruder, Commission Member
AYES:	Kistner, Carney, Rovak, Hall, Magruder, Silverman
ABSENT:	Schuh

WORK AGENDA

DEPARTMENT REPORTS

None

ADJOURNMENT

Adjourned at 11:00PM.



300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

**APPLICATION TO PLANNING AND ZONING COMMISSION
#18-005 FOR A CONDITIONAL USE PERMIT FOR POKÉ MUNCH
RESTAURANT WITHIN KINGS LANDING MIXED-USE APARTMENT
COMPLEX AT 630 N. NEW BALLAS ROAD**

FOR THE MEETING OF: Tuesday, February 20, 2018

LOCATION: 630 N. New Ballas Road, within King's Landing Mixed-Use Apartment development.

REQUEST: Nadeem Hosseini, of 2 Much Sauce, has submitted an application for a new conditional use permit for a 1,000 square foot restaurant, Poké Munch, with 23 indoor seats and 12 outdoor seats, at 630 N. New Ballas Road, within the Kings Landing Mixed-Use Apartment complex. The subject property is zoned CB, Core Business District. All limited-service restaurants (NAICS 722513) are permitted as a conditional use with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission.

ADDITIONAL INFORMATION: Poké Munch is a fast casual Hawaiian style sushi concept restaurant. The proposed location is the end ground floor tenant space of the King's Landing Mixed-Use Apartment complex. The space was a former mortgage/bank use. The Development received approval in 2003, that included the shared parking between the retail/restaurants, and the apartment complex as provided under Section 405.800(G)(3) where up to 50% of the parking spaces for multi-family dwelling units may be provided and used jointly by banks, offices, retail stores, repair shops, service establishments and similar uses not normally open, used or operated during evening hours if specifically approved by the Planning and Zoning Commission.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?
- Is the request consistent with the required findings for a conditional use permit?

Comprehensive Plan References

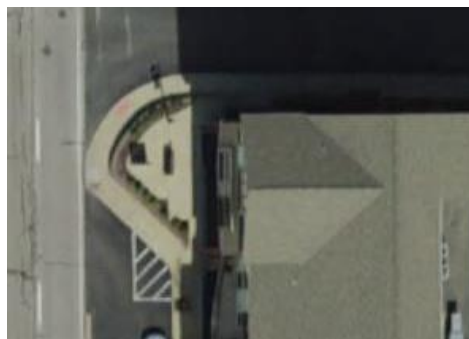
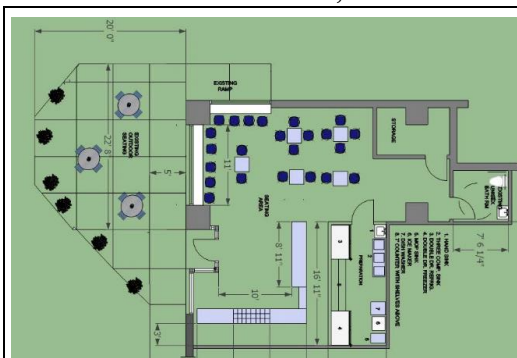
- Community Center District (CC)

Zoning Code References

- Section 405.210: Regulation of Uses
- Section 405.370: CB-Core Business District
- Section 405.470: Conditional Uses
- Article VII: Off-Street Parking and Loading Regulations.

APPLICANT: Nadeem Hosseini
2 Much Sauce
1262 Shorewinds Trail
St. Charles, Mo 63303

PROPERTY OWNER: Christina Adkins
IRT Management, LLC (King's Landing)
618 N. New Ballas Road
Creve Coeur, MO 63141



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: 2/15/2018
ATTACHMENTS: Applicant's Materials received January 16, 2018
Draft Ordinance

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Retail/Office:	CB-Core Business District	Stephanie Lane
South	Retail	CB-Core Business District	NA
East	Office	CB-Core Business District	NA
West	Retail/Office	CB-Core Business District	N. New Ballas Road

COMPREHENSIVE PLAN REVIEW

Creve Coeur 2030 Plan

The *Creve Coeur 2030 Plan* includes the overall goal for Placemaking & Community Identity by creating mixed-use, walkable districts (p. 45), and for the long-term Economic Growth & Community Services goal of provide the community services, amenities and experiences necessary to leverage and capture the changing consumer preferences for more lifestyle centers (p. 47). The subject property is located within the Community Center District within the Central Business District area, that is intended for a walkable, mixed-use shopping, dining, and entertainment district with gridded street pattern and storefront street level development, for high-intensity, mixed-use development, including dining, retail, office and multi-family residential development with centralized shared-use structured parking located at the interior of the block (p. 72). The applicant is filling a space within the ground floor mixed-use area of the King's Landing Apartment Complex that have a shared, structured parking for the complex, and will be adding outdoor dining in front of the space. The applicant is not making any other changes to the building or the site. Therefore the proposal meets with the purpose of the District in as much as this request can.

ZONING REVIEW

Restaurants are permitted with conditions in all commercial zoning districts within the city, and the applicant is leasing a tenant space within the King's Landing Mixed-Use Apartment Complex. The request is for a new conditional use permit for a 1,000 sq. ft., limited service restaurant (NAICS 722513) with 23 indoor seats and 12 outdoor seats. The existing leasing information sign and park bench will need to be relocated.

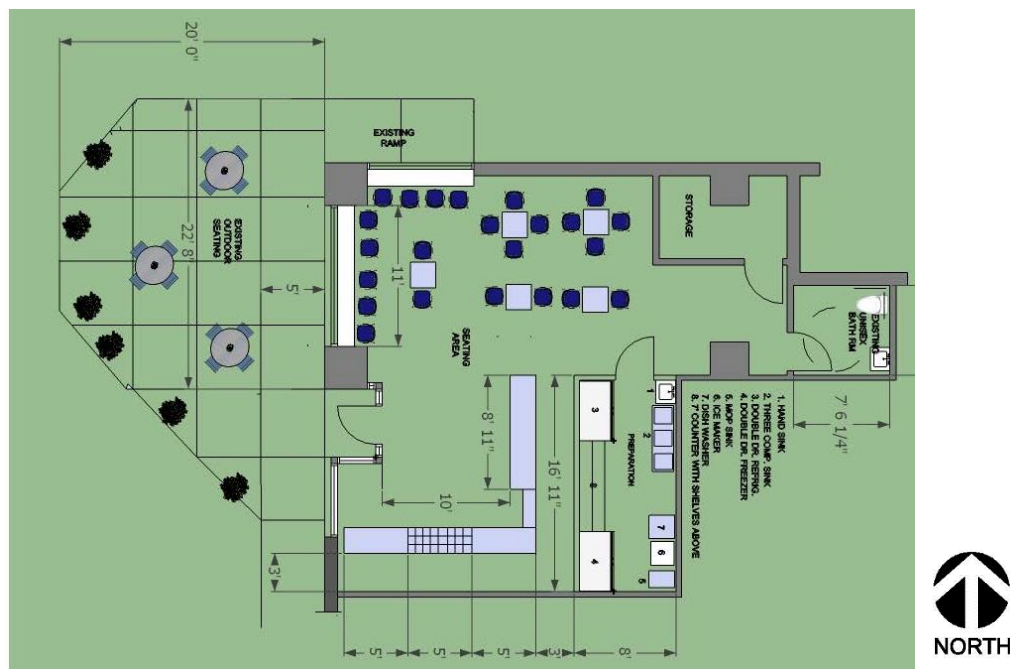


Figure 1: Close-up of the Architectural Floor Plan

Use Intensity:

Section 405.470(14)(b) limits food services and drinking places to no more than 40% of the building square footage collectively in the "CB", "PO", "PC" and "LI" Districts for properties that are less than two acres. The King's Landing property is 3.137 acres, with 154 apartment and with a mix of office/retail/restaurant space on the ground floor, zoned CB-Core Business District. The only other restaurant within the complex is Fortel's Pizza Den, 3,204 square feet, located within the tenant space 624 N. New Ballas Road.

Fencing

With the addition of outdoor seating in this area, and that the patio space is elevated, a safety fence may be necessary to meet with Building Code requirements. Therefore, the approval should include approval of a maximum of a 4 foot tall open slatted black wrought-iron style fence surrounding the patio space.

Parking:

Parking regulations for restaurants are discussed under Section 405.820(F)(5) Required Off-Street Parking Spaces: One (1) parking space per every three (3) seats of maximum occupancy recorded under the conditional use permit plus one (1) parking space per every two hundred fifty (250) square feet of total building floor area plus one (1) parking space per each eight (8) seats in an outdoor seating area. Thus, for this request a total of 14 spaces are required. As stated above, the development received approval in 2003, that included the shared parking between the retail/restaurants, and the apartment complex as provided under Section 405.800(G)(3) where up to 50% of the parking spaces for multi-family dwelling units may be provided and used jointly by ground floor retail commercial, and restaurant uses, and similar uses not normally open, used or operated during evening hours. In 2017, the Apartment complex relocated the management office to the ground floor and renovated the space into two new apartments, increasing the number of units from 152 to 154, (where the original conditional use for the complex authorized up to 170 maximum units). A parking calculation was revised at that time that showed:

Parking Requirements Retail

Retail/Bank

4 Parking spaces per 1,000 square feet net leasable area (85% of gross leasable area)
(7,645 square feet x
85%) = 6,498 square feet / 1,000 x 4 = 25.9 Parking Spaces.
Total Parking Required Retail 6,498 / 1,000 x 4 = 26

Restaurant Fortells

96 indoor seats / 3 = 32 Parking spaces + 24 outdoor seats / 8 = 3 parking spaces + 3,276
square feet floor
area / 250 = 13.1 parking spaces = 48.1
Total Parking Required Restaurant 48

Total Parking for retail + restaurant 74 less 15% = 63 required

Per City of Creve Coeur Staff report dated April 10, 2003 in reference to the amount of parking spaces required, the staff report allows for up to 50% of the required apartment spaces to be shared with the retail.

$\frac{1}{2}$ of 269 = 135 Shared Spaces

Staff Report states that since 136 are greater than the spaces required for retail customers, the portion of the apartment spaces covers the retail needs.

Existing Parking Provided

Parking Garage

Total Parking Garage Provided 292

Surface parking spaces on site 14

Total existing off street parking provided 306

Parking calculations taken from field visits and

The City of Creve Coeur Staff report dated April 10, 2003
Total Parking Required for Residents 269
Total Parking Required for Retail/Restaurant 63
Total amount required for the development 332

Summary

Required 332
Shared 135 – 63 = 72
Total Required 260
Total Provided 306
This development has 46 extra spaces presently

With the additional restaurant seating with this request, the surplus of parking would then decrease to 36 spaces (10 spaces for seating, floor area was already accounted for). Therefore, Staff does not anticipate a problem with parking at this location, as the residents that would patron the restaurant would already have parking associated with the apartment development.

RECOMMENDED CONDITIONS FOR APPROVAL

Based on the above analysis, the request for a conditional use permit meets all of the requirements, in the same degree or greater than the prior use, of the Comprehensive Plan and Zoning Ordinance. Staff recommends approval subject to the conditions below which are included in the draft ordinance:

1. The Conditional Use Permit shall be for the operation of a 1,000 square foot eating and drinking establishment at 630 N. New Ballas Road, within the Kings Landing Mixed-Use Apartment.
2. Maximum seating permitted is limited to 23 indoor seats and 12 outdoor seats. The Zoning Administrator may authorize additional outdoor seating, based up review of an outdoor seating plan to ensure all relevant Zoning and Building Codes are adequately addressed.
3. A maximum four-foot tall open slatted wrought iron style fence/safety barrier may be installed around the patio area to meet with Building Code requirements.
4. Hours of operation shall be 11:00 a.m. to 9:00 p.m., seven days a week. Additional business hours may be permitted with the Zoning Administrator's approval including, but not limited to, the catering of special events.
5. Employee parking, delivery and company vehicles shall be parked interior to the site and as far from the public right-of-way as possible.
6. Outdoor speakers may be used in the patio area only and shall not produce any sound exceeding 60dB at a straight-line distance of 100 feet or greater.
7. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code, and in substantial compliance with the King's Landing Master Sign Plan as provided by Ordinance No. 4095.
8. Any mechanical equipment installed for the site shall be properly screened with approved materials.
9. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
10. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
11. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days.

each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.

12. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

ACTION

If the Planning and Zoning Commission finds the attached draft conditional use permit ordinance to be in conformance with the purposes and regulations of the Comprehensive Plan and Zoning Code, it may vote on a recommendation to the City Council. Any changes to the draft ordinance should be discussed and made by separate actions.

MOTION

The following is an example of an appropriate motion for this application:

“I move to recommend approval of Application #18-005 for a Conditional Use Permit for an eating and drinking establishment for Poké Munch located at 630 N. New Ballas Road, within the King’s Landing Mixed-Use Apartment Complex, subject to the conditions discussed in the Staff Report and Draft Ordinance for the meeting of February 20, 2018” (conditions may be added, eliminated, or modified by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

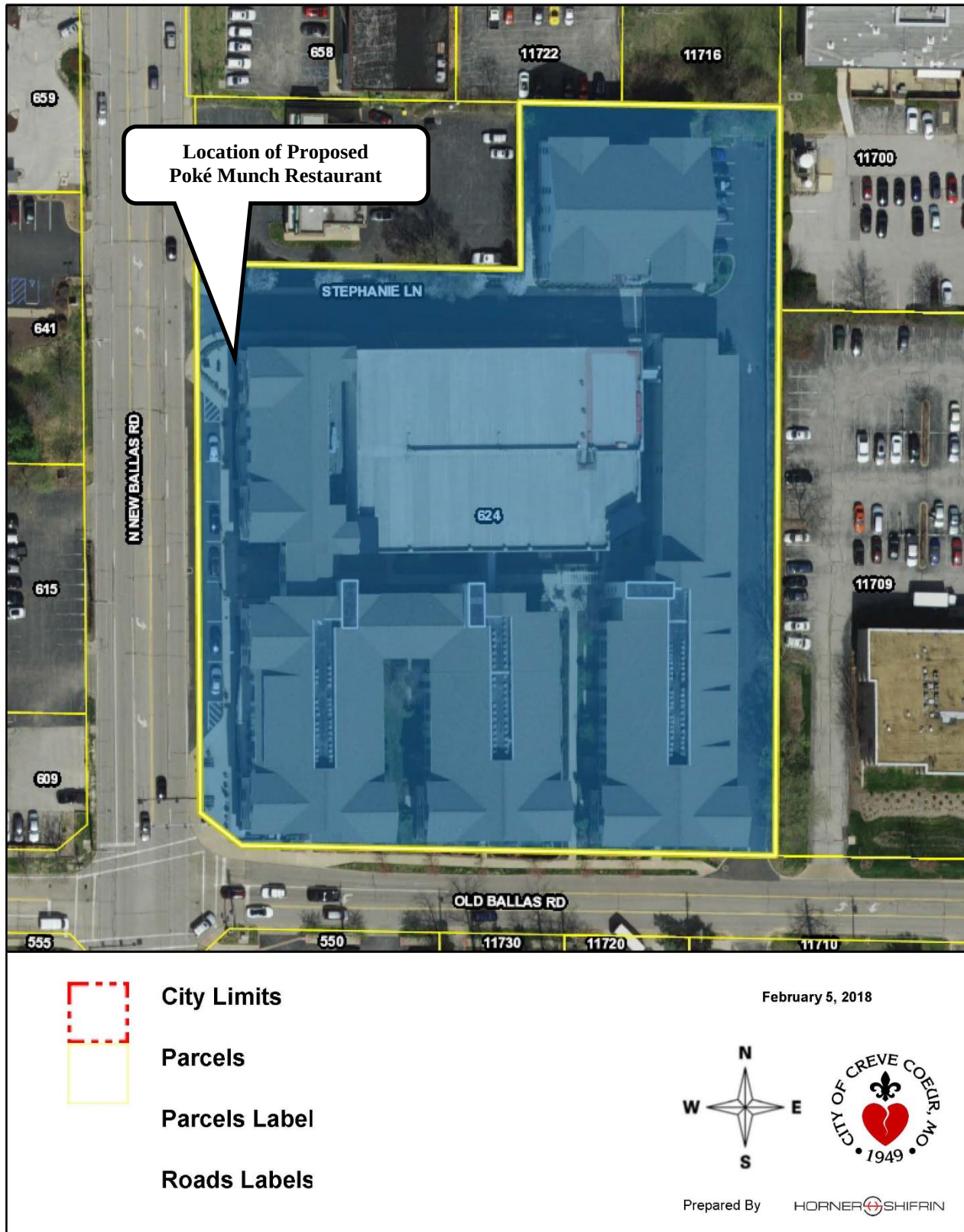
Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO

Kings Landing Mixed-Use Apartments



Attachment: 18-005.PokeMunchCUP. Staff Report.2-20-2018 (#18-005: Poké Munch CUP)

APPENDIX 4: SITE PHOTOGRAPHS

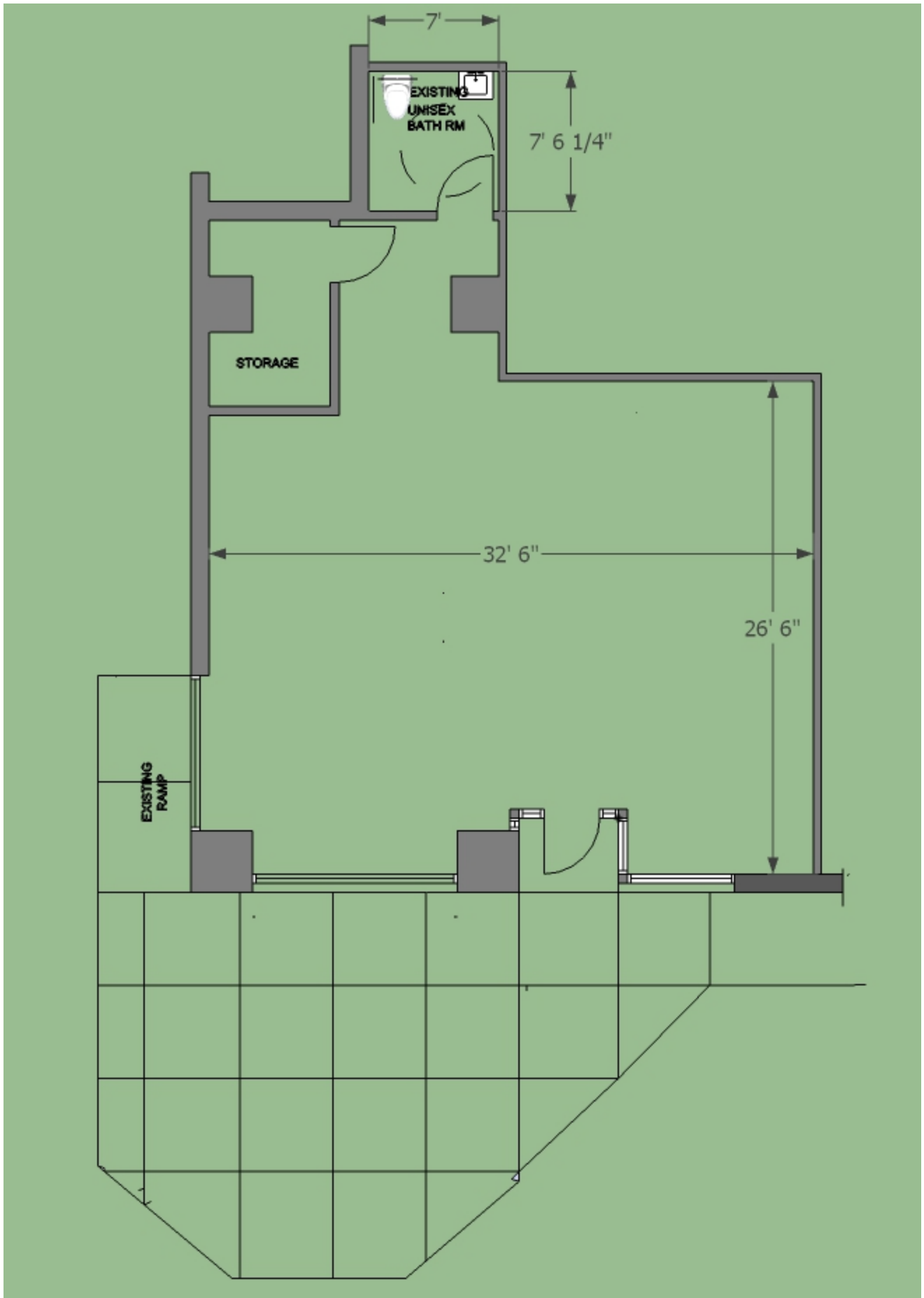
Photo Date:2/15/2018



Description: View of the tenant space from across N. New Ballas Road Looking east.



Description: View of the King's Landing Building from across N. New Ballas Road looking southeast.



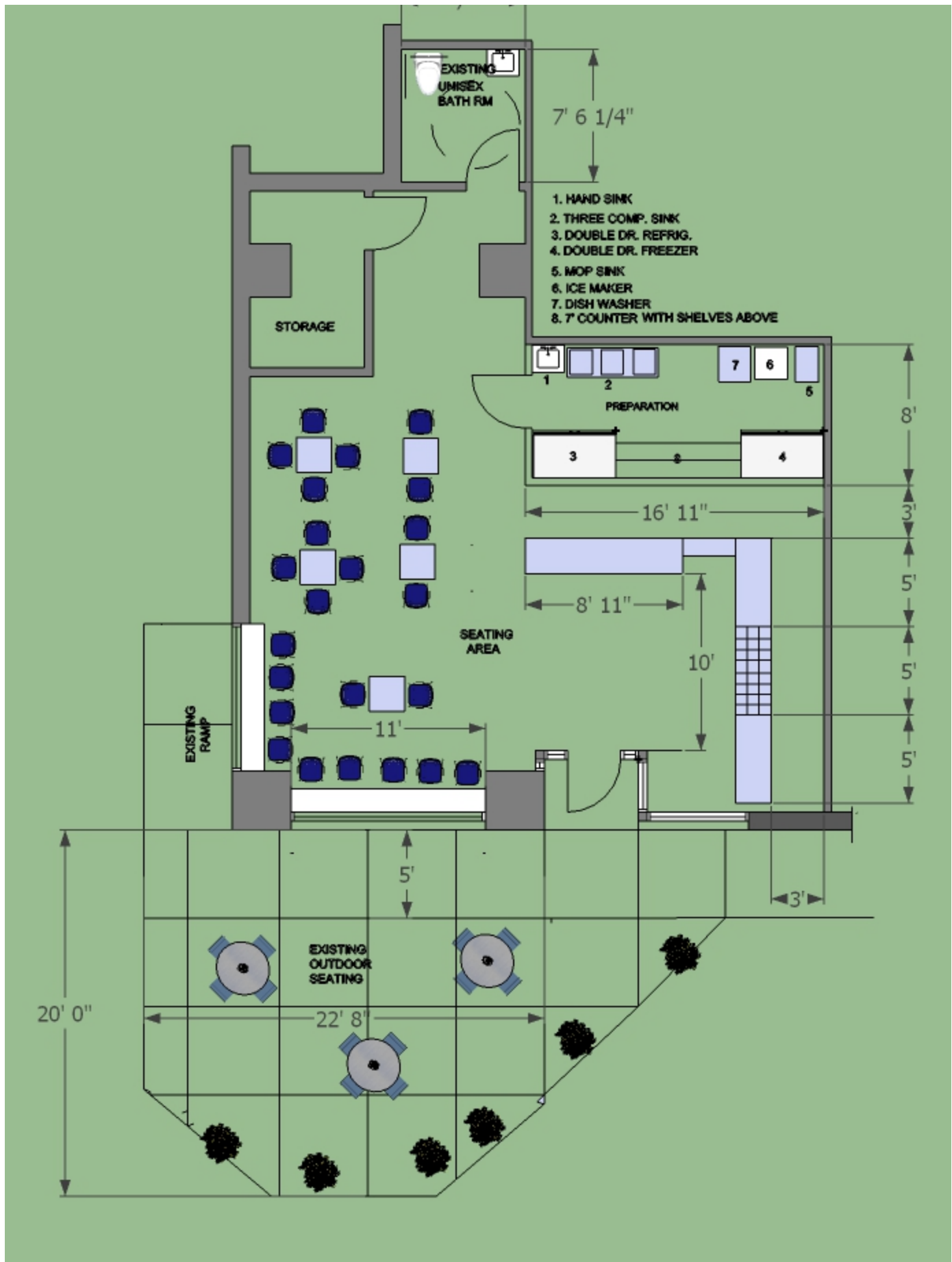
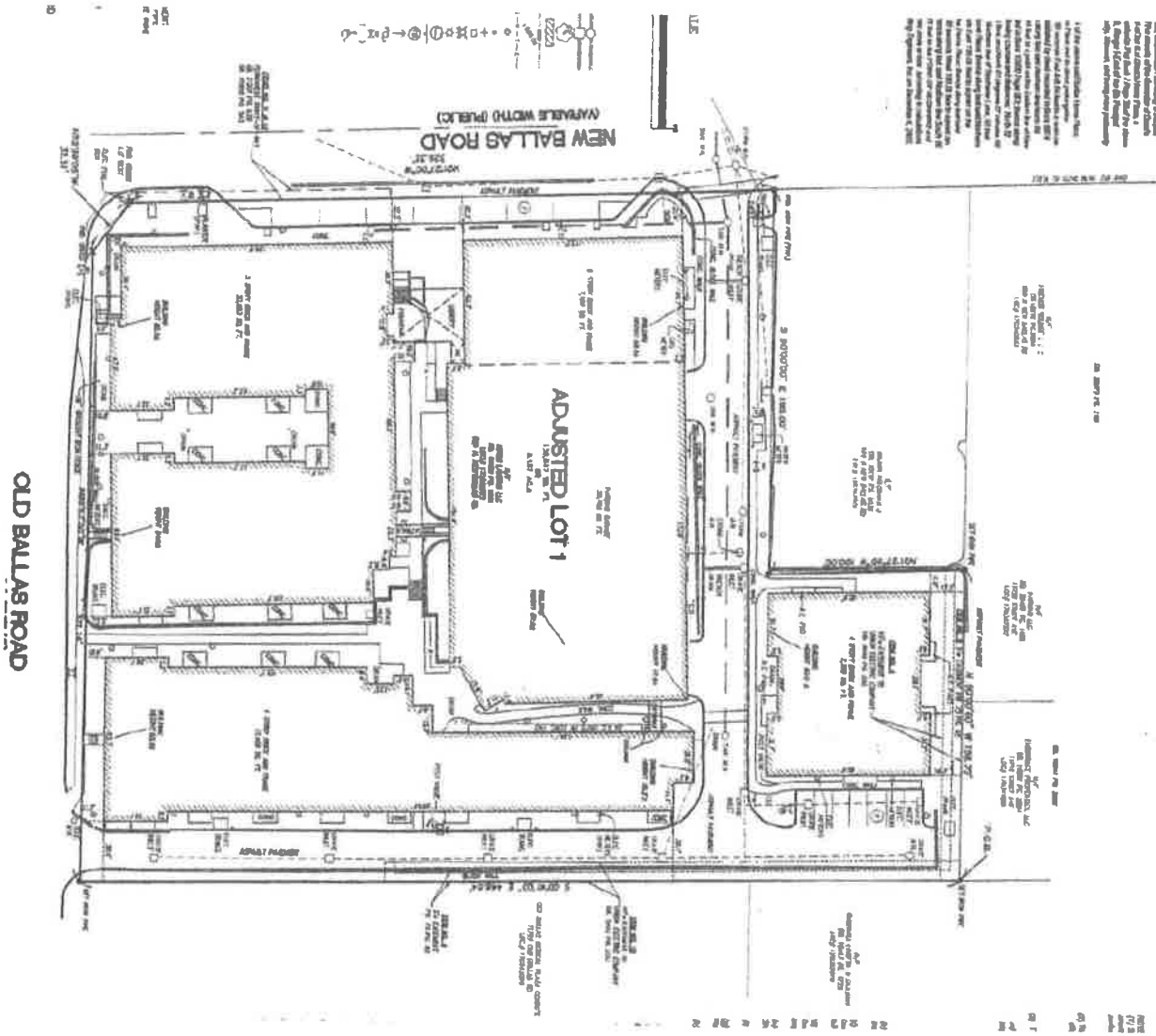


EXHIBIT B

SITE PLAN





Poke Munch

Where fresh and healthy is the only option

Business Plan
Prepared May 2017

Contact Information

Nadeem Hosseini
nadeemhosseini@gmail.com
3145562670
www.pokemunch.com

Executive Summary

Opportunity

Problem

If you live in any major U.S. city, you've probably caught wind of the nation's new favorite food — the poke bowl.

Not “poke” like the always awkward Facebook feature, but “POH-keh” — cubed raw fish, seasoned any way you want it.

While it may seem like a new trend, this simple and addictive Hawaiian dish has been around for centuries. It's basically Hawaii's favorite food and for good reason: Poke is healthy, delicious and totally unique, however it still has not emerged in our region.

Solution

At Poke Munch You'll see ahi yellow fin tuna, spicy garlic salmon, tofu with soy sauce, sesame and green onion, kimchee tako (octopus) and more. The cubed fish is eaten either on its own or over a bowl of sushi rice hence the bowl part of the name kind of like deconstructed sushi.

The new poke bowls incorporate ingredients like quinoa, zucchini noodles and tomatoes. They're definitely health-oriented, but these reimagined bowls are a far cry from Hawaii's classics. Poke Munch will be the first of its kind to offer this trendy cuisine to the Saint Louis market. We will mimic the success of Poke restaurants that have been established in larger markets, and create new flavors to our match local market. We will be doing so by sourcing local ingredient, and serving sustainably sourced food items.

Market

With our Creve Coeur location we are well situated to serve three core groups: Close by office workers, on site residents, and the weekend crowd out for evening entertainment. Factor in the broad decline of the fast-food industry, the rising popularity of healthy fast-casual options and the city's strong population growth, and we see a great opportunity here.

Competition

We have a unique offering, since no other eateries in our area serve Poke, but there are plenty of other food providers nearby. These include local fast-casual eateries, chain locations for Panera, fast-food places, and sit down restaurants. We differentiate ourselves by offering local ownership, healthier food than the nearby burger joint and fast-food places, more interesting food than the chain locations, and a faster, less expensive experience than the sit-down restaurants downtown.

Why Us?

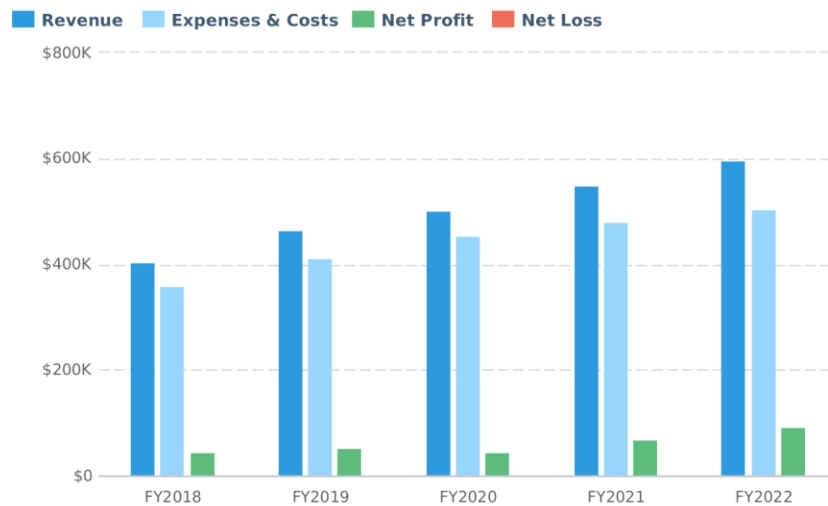
We have come up with a fresh concept, a popular menu, and an ambitious but achievable plan to build it into a thriving new business.

Expectations

Forecast

We are projecting sales of \$405,000 in year 1 and \$465,540 in year 2 with a gross margin of 25%. That assumes we can serve 10 customers per hour with an average price of \$11-13 per customer. Our co-founders will draw only minimal salaries, starting in month 3, so we can reinvest our profits into growing the business. Foodstuffs and additional staff will be our biggest expenses, followed by smaller allotments for marketing. If we decide to pursue events, catering, or a second location in year 2, our earning potential should jump way up. For now, though, we are focused on making our core business a great success.

Financial Highlights by Year



Company

Overview

The Poke Munch LLC is registered as a limited-liability corporation. Our two founders are co-owners with equal shares. No outside investors are involved at this point in time, though there might be an opportunity for that as the business grows.

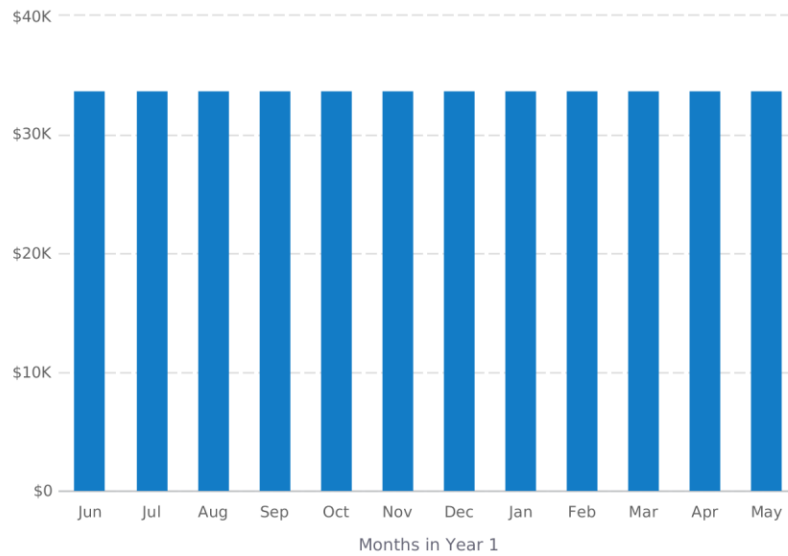
Financial Plan

Forecast

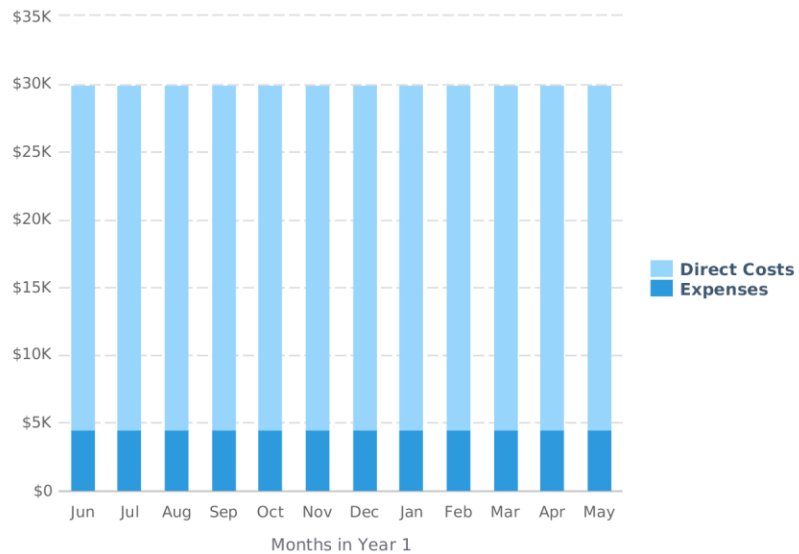
Key Assumptions

We expect to serve an average of 10 customers per hour during year 1 and then increase that to 11 per hour in year 2. We our food prep is simple, so the small kitchen does not have any constraints. We want our dishes to be as fresh as possible, so we'll figure out the best mix of preparing food on demand and preparing ahead of time. The weekend evenings should be slightly less busy than lunch, so we are assuming 8 weekend customers per hour in year 1 and 10 in year 2. The average customer order value should be around \$11 for year 1 and \$13 for year 2. In year 2, we will be adding daily drink and dinner specials.

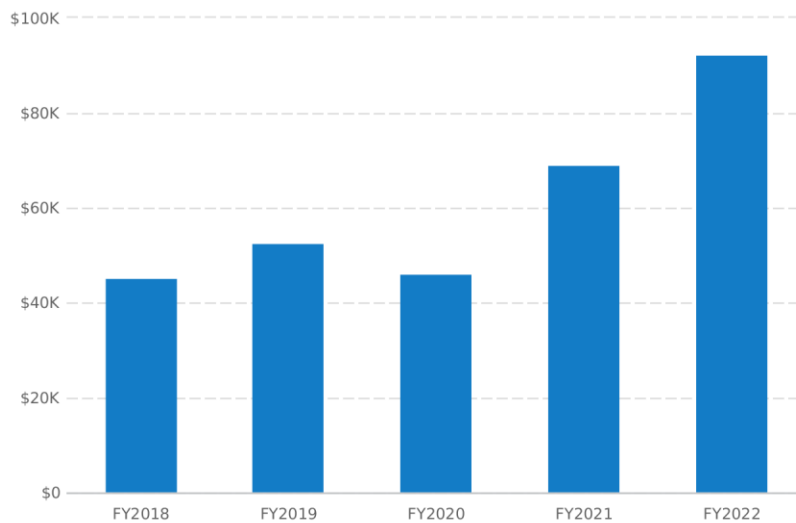
Revenue by Month



Expenses by Month



Net Profit (or Loss) by Year



Financing

Use of Funds

The biggest expense will be the purchase and build out of the outlet. We estimate \$160,000 in construction cost and furniture fit out, which includes the City permits and licensing cost another. We have budgeted \$20,000 for the first two months of marketing and advertising and \$10,000 for our initial food supplies. The remaining funds will be used as reserves until our sales ramp up. We don't plan on paying ourselves salaries until month 3, and even then we will keep them low so we can invest as much as we can back into the business.

Sources of Funds

Because of the risks involved, banks are not generally interested in lending money for new food and beverage businesses. We have our startup costs covered already. In future years, we plan to grow through bootstrapping, keeping our salaries low and reinvesting our profits in the business, rather than taking on additional debt.

Statements

Projected Profit & Loss

	FY2018	FY2019	FY2020	FY2021	FY2022
Revenue	\$405,000	\$465,540	\$501,270	\$549,299	\$597,312
Direct Costs	\$305,100	\$356,414	\$400,477	\$419,648	\$438,564
Gross Margin	\$99,900	\$109,126	\$100,793	\$129,652	\$158,748
Gross Margin %	25%	23%	20%	24%	27%
Operating Expenses					
Salary					
Employee Related Expenses					
Rent	\$24,000	\$24,000	\$24,000	\$24,000	\$24,000
Marketing	\$6,000	\$6,000	\$6,000	\$6,000	\$6,000
Utilities	\$6,000	\$6,000	\$6,000	\$6,000	\$6,000
Insurance	\$7,200	\$7,200	\$7,200	\$7,200	\$7,200
Total Operating Expenses	\$43,200	\$43,200	\$43,200	\$43,200	\$43,200
Operating Income	\$56,700	\$65,926	\$57,593	\$86,451	\$115,548
Interest Incurred					
Depreciation and Amortization					
Income Taxes	\$11,340	\$13,185	\$11,519	\$17,290	\$23,110
Total Expenses	\$359,640	\$412,799	\$455,196	\$480,138	\$504,874
Net Profit	\$45,360	\$52,741	\$46,074	\$69,161	\$92,438
Net Profit / Sales	11%	11%	9%	13%	15%

Projected Balance Sheet

	FY2018	FY2019	FY2020	FY2021	FY2022
Cash	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293
Accounts Receivable	\$0	\$0	\$0	\$0	\$0
Total Current Assets	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293

Total Assets	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293
Accounts Payable	\$0	\$0	\$0	\$0	\$0
Income Taxes Payable	\$2,835	\$3,296	\$2,879	\$4,322	\$5,778
Sales Taxes Payable	\$7,961	\$9,152	\$9,853	\$10,798	\$11,741
Short-Term Debt					
Prepaid Revenue					
Total Current Liabilities	\$10,796	\$12,448	\$12,732	\$15,120	\$17,519
Long-Term Debt					
Total Liabilities	\$10,796	\$12,448	\$12,732	\$15,120	\$17,519
Paid-in Capital					
Retained Earnings		\$45,360	\$98,101	\$144,175	\$213,336
Earnings	\$45,360	\$52,741	\$46,074	\$69,162	\$92,438
Total Owner's Equity	\$45,360	\$98,101	\$144,175	\$213,336	\$305,774
Total Liabilities & Equity	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293

Projected Cash Flow Statement

	FY2018	FY2019	FY2020	FY2021	FY2022
Net Cash Flow from Operations					
Net Profit	\$45,360	\$52,741	\$46,074	\$69,161	\$92,438
Depreciation and Amortization					
Change in Accounts Receivable	\$0	\$0	\$0	\$0	\$0
Change in Inventory					
Change in Accounts Payable	\$0	\$0	\$0	\$0	\$0
Change in Income Tax Payable	\$2,835	\$461	(\$417)	\$1,443	\$1,456
Change in Sales Tax Payable	\$7,961	\$1,191	\$701	\$945	\$943
Change in Prepaid Revenue					
Net Cash Flow from Operations	\$56,156	\$54,393	\$46,358	\$71,550	\$94,837
Cash at Beginning of Period	\$0	\$56,156	\$110,549	\$156,907	\$228,456
Net Change in Cash	\$56,156	\$54,393	\$46,358	\$71,550	\$94,837
Cash at End of Period	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293

Appendix

Profit and Loss Statement

Profit and Loss Statement (With Monthly Detail)

FY2018	Jun '17	Jul '17	Aug '17	Sep '17	Oct '17	Nov '17	Dec '17	Jan '18	Feb '18	Mar '18	Apr '18	May '18
Revenue	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750	\$33,750
Direct Costs	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425	\$25,425
Gross Margin	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325	\$8,325
Gross Margin %	25%	25%	25%	25%	25%	25%	25%	25%	25%	25%	25%	25%
Operating Expenses												
Salary												
Employee Related Expenses												
Rent	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000	\$2,000
Marketing	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500
Utilities	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500	\$500
Insurance	\$600	\$600	\$600	\$600	\$600	\$600	\$600	\$600	\$600	\$600	\$600	\$600
Total Operating Expenses	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600	\$3,600
Operating Income	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725	\$4,725

Poke Munch

Interest Incurred												
Depreciation and Amortization												
Income Taxes	\$945	\$945	\$945	\$945	\$945	\$945	\$945	\$945	\$945	\$945	\$945	\$945
Total Expenses	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970	\$29,970
Net Profit	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780
Net Profit / Sales	11%	11%	11%	11%	11%	11%	11%	11%	11%	11%	11%	11%

Attachment: Poke Munch Business Plan (#18-005: Poké Munch CUP)

Poke Munch

	FY2018	FY2019	FY2020	FY2021	FY2022
Revenue	\$405,000	\$465,540	\$501,270	\$549,299	\$597,312
Direct Costs	\$305,100	\$356,414	\$400,477	\$419,648	\$438,564
Gross Margin	\$99,900	\$109,126	\$100,793	\$129,652	\$158,748
Gross Margin %	25%	23%	20%	24%	27%
Operating Expenses					
Salary					
Employee Related Expenses					
Rent	\$24,000	\$24,000	\$24,000	\$24,000	\$24,000
Marketing	\$6,000	\$6,000	\$6,000	\$6,000	\$6,000
Utilities	\$6,000	\$6,000	\$6,000	\$6,000	\$6,000
Insurance	\$7,200	\$7,200	\$7,200	\$7,200	\$7,200
Total Operating Expenses	\$43,200	\$43,200	\$43,200	\$43,200	\$43,200
Operating Income	\$56,700	\$65,926	\$57,593	\$86,451	\$115,548
Interest Incurred					
Depreciation and Amortization					
Income Taxes	\$11,340	\$13,185	\$11,519	\$17,290	\$23,110
Total Expenses	\$359,640	\$412,799	\$455,196	\$480,138	\$504,874
Net Profit	\$45,360	\$52,741	\$46,074	\$69,161	\$92,438
Net Profit / Sales	11%	11%	9%	13%	15%

CONFIDENTIAL - DO NOT DISSEMINATE. This business plan contains confidential, trade-secret information and is shared only with the understanding that you will not share its contents or ideas with third parties without the express written consent of the plan author.

Balance Sheet

Balance Sheet (With Monthly Detail)

FY2018	Jun '17	Jul '17	Aug '17	Sep '17	Oct '17	Nov '17	Dec '17	Jan '18	Feb '18	Mar '18	Apr '18	May '18
Cash	\$7,379	\$14,758	\$22,136	\$18,719	\$26,098	\$33,477	\$30,058	\$37,437	\$44,816	\$41,399	\$48,777	\$56,156
Accounts Receivable	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Inventory												
Other Current Assets												
Total Current Assets	\$7,379	\$14,758	\$22,136	\$18,719	\$26,098	\$33,477	\$30,058	\$37,437	\$44,816	\$41,399	\$48,777	\$56,156
Long-Term Assets												
Accumulated Depreciation												
Total Long-Term Assets												
Total Assets	\$7,379	\$14,758	\$22,136	\$18,719	\$26,098	\$33,477	\$30,058	\$37,437	\$44,816	\$41,399	\$48,777	\$56,156
Accounts Payable	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Income Taxes Payable	\$945	\$1,890	\$2,835	\$945	\$1,890	\$2,835	\$945	\$1,890	\$2,835	\$945	\$1,890	\$2,835
Sales Taxes Payable	\$2,654	\$5,308	\$7,961	\$2,654	\$5,308	\$7,962	\$2,653	\$5,307	\$7,961	\$2,654	\$5,307	\$7,961
Short-Term Debt												
Prepaid Revenue												
Total Current Liabilities	\$3,599	\$7,198	\$10,796	\$3,599	\$7,198	\$10,797	\$3,598	\$7,197	\$10,796	\$3,599	\$7,197	\$10,796
Long-Term Debt												

Poke Munch

Total Liabilities	\$3,599	\$7,198	\$10,796	\$3,599	\$7,198	\$10,797	\$3,598	\$7,197	\$10,796	\$3,599	\$7,197	\$10,796
Paid-in Capital												
Retained Earnings												
Earnings	\$3,780	\$7,560	\$11,340	\$15,120	\$18,900	\$22,680	\$26,460	\$30,240	\$34,020	\$37,800	\$41,580	\$45,360
Total Owner's Equity	\$3,780	\$7,560	\$11,340	\$15,120	\$18,900	\$22,680	\$26,460	\$30,240	\$34,020	\$37,800	\$41,580	\$45,360
Total Liabilities & Equity	\$7,379	\$14,758	\$22,136	\$18,719	\$26,098	\$33,477	\$30,058	\$37,437	\$44,816	\$41,399	\$48,777	\$56,156

Poke Munch

	FY2018	FY2019	FY2020	FY2021	FY2022
Cash	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293
Accounts Receivable	\$0	\$0	\$0	\$0	\$0
Inventory					
Other Current Assets					
Total Current Assets	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293
Long-Term Assets					
Accumulated Depreciation					
Total Long-Term Assets					
Total Assets	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293
Accounts Payable	\$0	\$0	\$0	\$0	\$0
Income Taxes Payable	\$2,835	\$3,296	\$2,879	\$4,322	\$5,778
Sales Taxes Payable	\$7,961	\$9,152	\$9,853	\$10,798	\$11,741
Short-Term Debt					
Prepaid Revenue					
Total Current Liabilities	\$10,796	\$12,448	\$12,732	\$15,120	\$17,519
Long-Term Debt					
Total Liabilities	\$10,796	\$12,448	\$12,732	\$15,120	\$17,519
Paid-in Capital					
Retained Earnings		\$45,360	\$98,101	\$144,175	\$213,336
Earnings	\$45,360	\$52,741	\$46,074	\$69,162	\$92,438
Total Owner's Equity	\$45,360	\$98,101	\$144,175	\$213,336	\$305,774
Total Liabilities & Equity	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293

CONFIDENTIAL - DO NOT DISSEMINATE. This business plan contains confidential, trade-secret information and is shared only with the understanding that you will not share its contents or ideas with third parties without the express written consent of the plan author.

Cash Flow Statement

Cash Flow Statement (With Monthly Detail)

FY2018	Jun '17	Jul '17	Aug '17	Sep '17	Oct '17	Nov '17	Dec '17	Jan '18	Feb '18	Mar '18	Apr '18	May '18
Net Cash Flow from Operations												
Net Profit	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780	\$3,780
Change in Accounts Receivable	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Change in Accounts Payable	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Change in Income Tax Payable	\$945	\$945	\$945	(\$1,890)	\$945	\$945	(\$1,890)	\$945	\$945	(\$1,890)	\$945	\$945
Change in Sales Tax Payable	\$2,654	\$2,654	\$2,653	(\$5,307)	\$2,654	\$2,654	(\$5,309)	\$2,654	\$2,654	(\$5,307)	\$2,653	\$2,654
Net Cash Flow from Operations	\$7,379	\$7,379	\$7,378	(\$3,417)	\$7,379	\$7,379	(\$3,419)	\$7,379	\$7,379	(\$3,417)	\$7,378	\$7,379
Net Cash Flow from Investing & Financing												
Cash at Beginning of Period	\$0	\$7,379	\$14,758	\$22,136	\$18,719	\$26,098	\$33,477	\$30,058	\$37,437	\$44,816	\$41,399	\$48,777
Net Change in Cash	\$7,379	\$7,379	\$7,378	(\$3,417)	\$7,379	\$7,379	(\$3,419)	\$7,379	\$7,379	(\$3,417)	\$7,378	\$7,379
Cash at End of Period	\$7,379	\$14,758	\$22,136	\$18,719	\$26,098	\$33,477	\$30,058	\$37,437	\$44,816	\$41,399	\$48,777	\$56,156

Poke Munch

	FY2018	FY2019	FY2020	FY2021	FY2022
Net Cash Flow from Operations					
Net Profit	\$45,360	\$52,741	\$46,074	\$69,161	\$92,438
Depreciation and Amortization					
Change in Accounts Receivable	\$0	\$0	\$0	\$0	\$0
Change in Inventory					
Change in Accounts Payable	\$0	\$0	\$0	\$0	\$0
Change in Income Tax Payable	\$2,835	\$461	(\$417)	\$1,443	\$1,456
Change in Sales Tax Payable	\$7,961	\$1,191	\$701	\$945	\$943
Change in Prepaid Revenue					
Net Cash Flow from Operations	\$56,156	\$54,393	\$46,358	\$71,550	\$94,837
Investing & Financing					
Assets Purchased or Sold					
Investments Received					
Change in Long-Term Debt					
Change in Short-Term Debt					
Dividends & Distributions					
Net Cash Flow from Investing & Financing					
Cash at Beginning of Period	\$0	\$56,156	\$110,549	\$156,907	\$228,456
Net Change in Cash	\$56,156	\$54,393	\$46,358	\$71,550	\$94,837
Cash at End of Period	\$56,156	\$110,549	\$156,907	\$228,456	\$323,293

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BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE ISSUANCE OF A NEW CONDITIONAL USE PERMIT FOR A 1,000 SQUARE-FOOT EATING AND DRINKING ESTABLISHMENT, FOR POKÉ MUNCH, LOCATED AT 630 N. NEW BALLAS ROAD, WITHIN THE KINGS LANDING MIXED-USE APARTMENT COMPLEX

WHEREAS, under Section 405.370(C), all eating and drinking places in the “CB”, Core Business zoning district require the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, Nadeem Hosseini, of 2 Much Sauce, submitted an application for a new conditional use permit for a 1,000 square foot restaurant, Poké Munch, with 23 indoor seats and 12 outdoor seats, at 630 N. New Ballas Road, within the Kings Landing Mixed-Use Apartment Complex; and,

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Tuesday, February 20, 2018, beginning at 6:30 p.m. or immediately following the close of the previous public hearing, on said application for the conditional use permit as provided by Section 405.1070(D)(2); and,

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and,

WHEREAS, the Planning and Zoning Commission reviewed and, by a ____ vote, recommended approval of the conditional use permit, subject to the conditions contained herein, at its meeting on February 20, 2018; and,

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed conditional use, when subject to certain conditions set forth herein:

1. Will contribute to and promote the community welfare and convenience at the specific location.
2. Will not cause substantial injury to the value of neighboring property.
3. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation therefrom.
4. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

Section 1: A Conditional Use Permit is authorized to be issued pursuant to Section 3 hereof for the operation of a restaurant located at 630 N. New Ballas Road, in the “CB” Core Business

Attachment: 18-005. PokeMunch CUP. Draft Ordinance.2-20-2018 (#18-005: Poké Munch CUP)

BILL NO. _____

ORDINANCE NO. _____

zoning district, within the King's Landing Mixed-Use Apartment Complex, whose legal description is as follows:

A tract of land being part of Ballas Home Place, a subdivision according to the plat thereof recorded in Plat Book 75 Page 45 of the records of the Recorder of Deed's Office in St. Louis County, Missouri, also part of Lot 6 of Studt's Home Place, a subdivision according to the plat thereof recorded in Plat Book 7 Page 38 of the above said records in Section 3, Township 45 North, Range 5 East of the 5th Principal Meridian, City of Creve Coeur, St. Louis County, Missouri, and being more particularly described as follows:

Beginning at the Northeastern corner of Lot 4 of the above said Ballas Home Place; thence along the Eastern line of Ballas Homes Place and its direct prolongation Southwardly, South 00 degrees 41 minutes 00 seconds East 448.64 feet to a point on the Northern line of Old Ballas Road, as established by deed recorded in Book 6974 Page 153 of the above said records; thence along last said Northern line North 89 degrees 57 minutes 00 seconds West 321.14 feet to a point on the Eastern line of New Ballas Road, as established by deed recorded in 10900 Page 563; thence along the Eastern line of New Ballas Road the following courses and distances: North 52 degrees 39 minutes 05 seconds West 31.51 feet, and North 01 degrees 27 minutes 00 seconds West 329.35 feet to a point on the Northern line of Stephanie Lane, 50 feet wide, as shown on the above said Ballas Home Place; thence along last said Northern line South 90 degrees 00 minutes 00 seconds East 195.00 feet to a point on the Western line North 01 degrees 27 minutes 00 seconds West 100.00 feet to a point on the Northern line of the above said Lot 4; thence along last said Northern line South 90 degrees 00 minutes 00 seconds East 156.70 feet to the POINT OF BEGINNING and containing 136,647 square feet or 3.137 acres more or less according to calculations performed by Stock and Associates Consulting Engineers, Inc. on October 22, 2002.

Section 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. The Conditional Use Permit shall be for the operation of a 1,000 square foot eating and drinking establishment at 630 N. New Ballas Road, within the Kings Landing Mixed-Use Apartment Complex.
2. Maximum seating permitted is limited to 23 indoor seats and 12 outdoor seats. The Zoning Administrator may authorize additional outdoor seating, based up review of an outdoor seating plan to ensure all relevant Zoning and Building Codes are adequately addressed.
3. A maximum four-foot tall open slatted wrought iron style fence/safety barrier may be installed around the patio area to meet with Building Code requirements.
4. Hours of operation shall be 11:00 a.m. to 9:00 p.m., seven days a week. Additional business hours may be permitted with the Zoning Administrator's approval including, but not limited to, the catering of special events.
5. Employee parking, delivery and company vehicles shall be parked interior to the site and as far from the public right-of-way as possible.
6. Outdoor speakers may be used in the patio area only and shall not produce any sound exceeding 60dB at a straight-line distance of 100 feet or greater.

BILL NO. _____

ORDINANCE NO. _____

7. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code, and in substantial compliance with the King's Landing Master Sign Plan as provided by Ordinance No. 4095.
8. Any mechanical equipment installed for the site shall be properly screened with approved materials.
9. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
10. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
11. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
12. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

Section 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

Section 4: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2018.

DR. ROBERT HOFFMAN
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2018.

Attachment: 18-005. PokeMunch CUP. Draft Ordinance.2-20-2018 (#18-005: Poké Munch CUP)

BILL NO. _____

ORDINANCE NO. _____

BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN
CITY CLERK

Attachment: 18-005. PokeMunch CUP. Draft Ordinance.2-20-2018 (#18-005: Poké Munch CUP)



300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

**APPLICATION TO PLANNING AND ZONING COMMISSION
#18-006 FOR A MINOR SITE PLAN APPROVAL FOR THE
RENOVATION OF THE BUILDING AT 641 N. NEW BALLAS ROAD**

FOR THE MEETING OF: Tuesday, February 20, 2018

SUBJECT PROPERTY LOCATION: 641 N. New Ballas Road, zoned CB –
Core Business District.

REQUEST: Robert M. Koenig, AIA, Treanor HL, on behalf of Reproductive
Medicine Associates of New Jersey, has submitted an application for a
minor site plan approval for the renovation of the existing building at 641 N.
New Ballas Road, for a new medical office/clinic.

ADDITIONAL INFORMATION: The building was originally developed in
1966, and has pre-existing, nonconformities on the site. Section 405.1080
requires minor site plan approval by the Planning and Zoning Commission
for any proposed alteration that would significantly affect the exterior of a
building, and any new site coverage over 500 square feet. The proposal
includes new façade improvements and landscaping throughout the site.
Site Coverage will be reduced from 65.2% to 65.0%.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?
- Is the request consistent with the Design Guidelines?

Comprehensive Plan References

- Design Guidelines

Zoning Code References

- Section 405.370: “CB” Core Business District
- Section 1080: Site Concept, Site Development and Minor Site Plan Approval.

APPLICANT: RMA of St. Louis
641 N. New Ballas Road
Creve Coeur, Mo 63141

**APPLICANT’S
REPRESENTATIVE:** Robert M. Koenig, AIA
Treanor HL
1811 Baltimore
Kansas City, MO 64108



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: 2/15/2018
ATTACHMENTS: Applicant’s Materials received February 15, 2018

PROJECT DESCRIPTION

The original building was developed in 1966, and used as the post office. Most recently Mercy utilized the space for a Children Clinic. The site is pre-existing non-conforming at 65.2%. The Applicant is proposing to upgrade the building for a medical clinic and will reduce the site coverage to 65.0%.

Building improvements include creating a new entrance, and reworking the wing wall, as well as providing lattice, decorative metal screen patio area along the front of the building. New materials include a stacked stone and a stone cladding panel.



Figure 1: Existing East elevation.

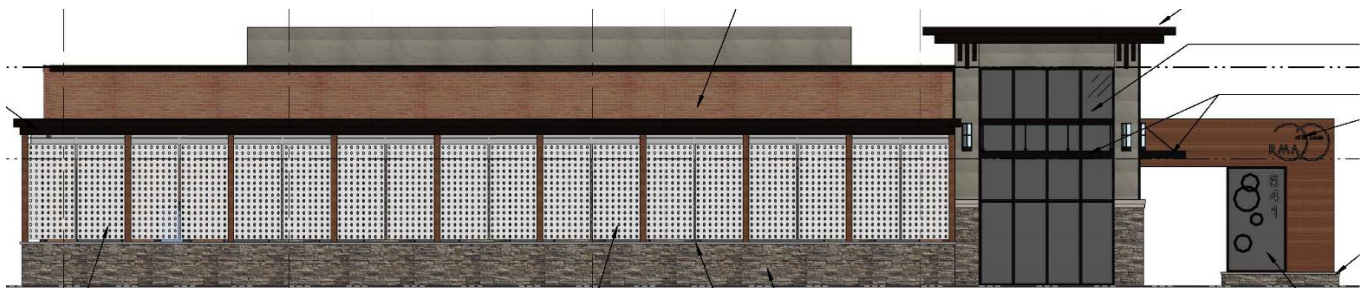


Figure 2: Proposed east elevation C-1



Figure 3: Close up of the Proposed north-east elevation rendering

The Applicant is removing some of the existing parking in front of the building, as well as at the northeast corner, as well as providing significant new landscaping throughout the site.

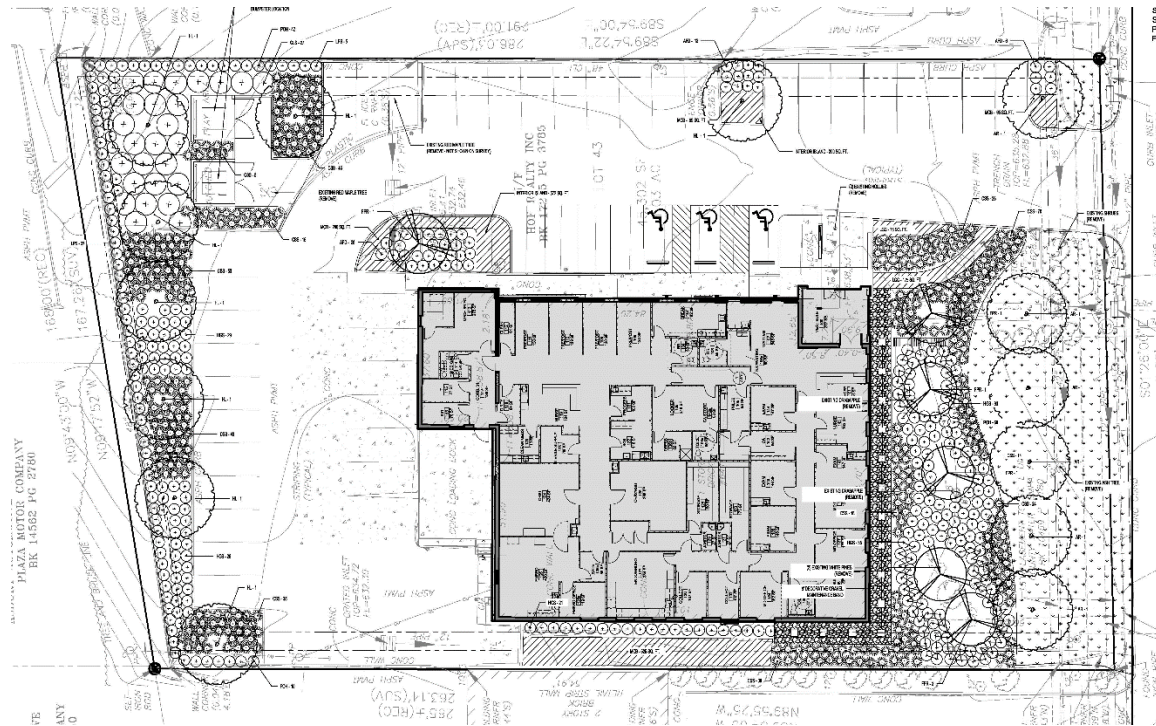


Figure 4: Proposed Landscape Plan

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Retail /Office	CB-Core Business District	NA
South	Retail/Office	CB-Core Business District	NA
East	King's Landing Mixed-Use Apartment	CB-Core Business District	N. New Ballas Road
West	Plaza Motor's Campus	CB-Core Business District	NA

COMPREHENSIVE PLAN REVIEW

Creve Coeur 2030 Plan includes the subject property in the Central Business District Place Type that includes recommendations for providing public site amenities, including outdoor dining, plazas, fountains, “parklets” and other elements to promote district vibrancy and a walkable area. The Applicant is removing some of the existing parking in front of the building, for greater greenspace, and the site plan also indicates that a new sidewalk easement will be granted to the City for future sidewalk improvements, and providing well-landscaped areas throughout the site. The plaza space in front is to provide for a privacy Zen garden area for clients. The Applicant will also be replacing the existing chain link fence along the retaining wall and north property line with a new decorative wrought iron style fence.

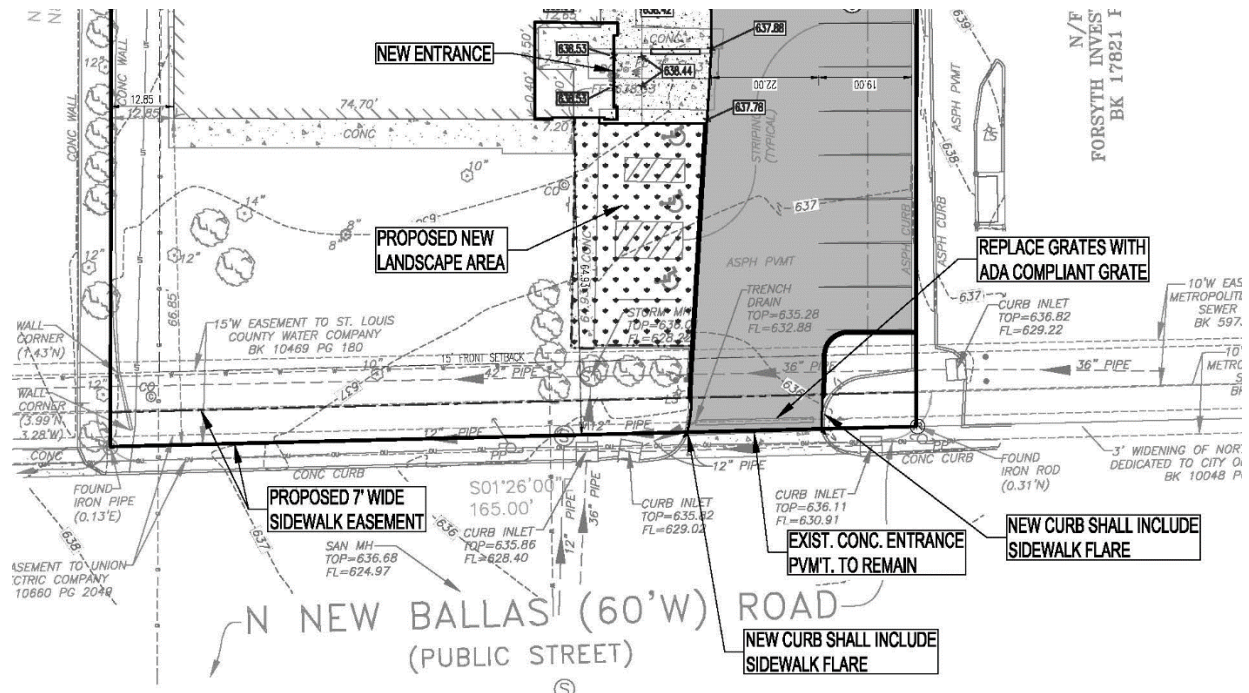


Figure 5: Close-up of the proposed site plan.

As the Applicant is renovating an existing structure, providing for an active use on a site that has been vacant, with significant new landscaping and architectural design in front of the main entrance, Staff finds that the proposal meets with the goals and objectives of the Comprehensive Plan and with *Creve Coeur 2030* in as much as this proposal can, given the existing site constraints.

Design Guidelines

The City's Design Guidelines also recommend providing plaza spaces, incorporating benches and other site amenities, providing a well-designed landscape plan that is maximized and balanced throughout the site where trees and shrub plantings should be grouped together to create strong accent points with the site plan, and the use of natural materials and architectural compatibility with adjoining buildings and properties. The proposed building upgrades and the use of natural materials, and a well-designed landscaping throughout the site meet with these recommendations. The new entrance creates better presence of the building, and the use of stacked stone and stone panels brings a more modern design to the building. While covering existing natural stone is discouraged, another natural stacked stone that is more modern, while maintaining the overall original character of the building, is being provided. Given the overall site constraints of the property, and the pre-existing structure, Staff finds that the proposal improves the area, and moves the site further towards the Design Guidelines.

ZONING REVIEW

The proposed medical office use is a permitted use, and the Applicant is renovating an existing building and reducing the site coverage from 65.2% to 65.0%, where 63% is the maximum allowed. The Planning and Zoning Commission may, in its discretion, allow the permitted coverage to be increased as a bonus (not to exceed the total of seventy percent (70%) site coverage) in consideration of special or outstanding landscape and site planning features as demonstrated by a site development plan submitted in accordance with Section 405.1080.

One item of note, is that the side yard setback for the CB District is 10 feet. The Site plan is showing that the new plaza enclosure in front of the building ends at the south corner at 12.85 feet, while the Landscape Plan is showing that it will wrap around the corner, encroaching into the setback. This was a carry-over from a previous version of the drawings, and therefore a condition of approval is that this will need to be corrected for final permitting.

Landscaping:

Section 405.540 Landscaping of the Zoning Ordinances requires a minimum of a minimum of 10 square feet of interior landscaping for each 350 square feet of parking spaces and driving aisles, and shall be in one or more areas to minimize the size of parking areas, and there shall be at least one shade tree for each landscaped area, and a minimum of two shade trees, within and up to, every 100 linear feet of parking for each parking row. Such trees shall be spaced evenly around the perimeter, and the ends of parking rows abutting a circulation aisle shall be defined by interior landscaped areas whenever feasible. Further, subsection 1 of the Landscaping Regulations require one (1) street tree for every thirty (30) lineal feet or part thereof of street frontage and such street trees shall be located on the subject property at least two (2) feet six (6) inches but not more than twelve (12) feet from the back of the curb, unless additional setback is necessary to accommodate planned road widening, overhead utility lines or some other condition identified by the Director of Planning. The required interior landscape is 481 square feet, where 772 square feet is provided. 6 trees are provided along N. New Ballas Road, but due to existing utility conflicts they have been placed outside the 12 feet, at 22 feet from the right-of-way.

Additionally, all landscaping is to be maintained per the approved plans, with an underground irrigation system.

Section 405.540 Landscaping

F. Design Standards For Landscape Plans

10. All landscaping shall be permanently maintained in good condition with at least the same quality and quantity of landscaping as initially approved. In order to present a healthy, neat and orderly appearance, all landscaped areas including interior parking lot islands and grass areas shall be provided with adequate irrigation for the maintenance of grass, shrubs, ground covering and other landscaping. An underground irrigation system shall be installed, operated and maintained to meet the intent of this Section. Such systems shall be required for all new developments and redevelopments projects. For sites proposing additions and/or expansions, an underground irrigation system shall be installed, operated and maintained to meet the intent of this Section, where physically practical and reasonable, as determined by the Planning and Zoning Commission

The plans do not indicate that such system will be installed, therefore Staff has included providing such as a condition of approval.

Trash Enclosure

The drawings indicated a small trash enclosure at the rear of the site, along with a generator. The elevations show that such enclosures are consistent with the materials of the building of the stone panels and stacked stone, per the City's Design Guidelines recommendations. The front will contain an open metal style fence. If the Commission wishes to have a more closed style gate due to the location, direction should be provided to the Applicant.

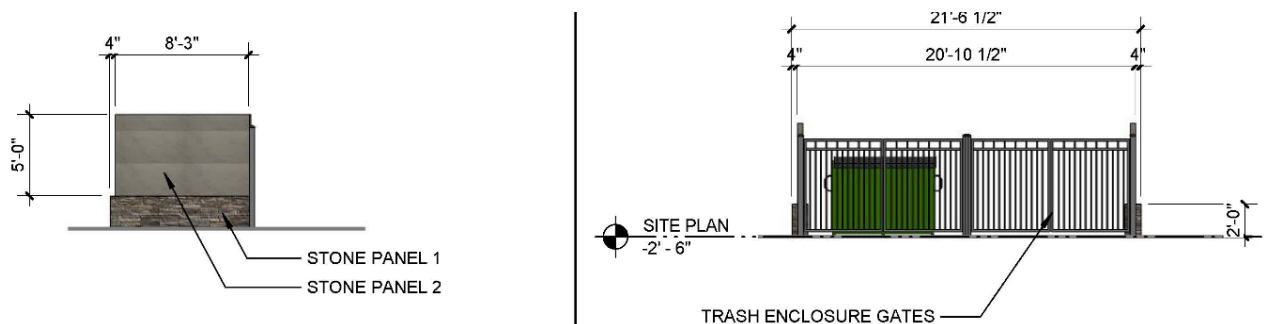


Figure 6: Close-up of the elevations for the Trash Enclosure.

The existing chain-link fence along the rear retaining wall that serves as a safety barrier is in poor condition. The Applicant has indicated that they will replace this fence with black decorative wrought-iron style fencing, and therefore a condition of approval has been included.

The Applicant's photometric plan indicates that all lighting is downcast and fully shielded in compliance with Section 405.680 Lighting. Areas of the new landscaping will have a few up-lighting fixtures that will be directed onto the intended surface, as required by 405.680(B)(7) that states: Lighting intended to illuminate building elevations, landscaping or signage shall shine directly onto the intended surface.



Sidewalk

Section 405.730 Sidewalks requires that all non-residential developments requiring site concept plan and/or site development plan approval must provide safe, clearly defined and direct access between buildings and from the principal building's entrance to the public sidewalk. However, as the Applicant is utilizing an existing site largely as is without adding additional coverage, where there is no existing sidewalk, and there are no current plans by the City to install a new sidewalk in this area, Staff has not asked that a new walkway be included. The Applicant is providing an easement for any future sidewalk to the City.

RECOMMENDATION

Based on the above analysis, the request for the Site Development Plan, and Façade Improvements meets all of the requirements of the Comprehensive Plan and Zoning Ordinances in a significant manner, due to the overall quality of design, and the pre-existing site constraints reducing the site coverage from 65.2% to 65.0%, where 63% is allowed maximum. Staff recommends the following conditions be incorporated in any motion for the Site Development Plan:

1. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the "Exterior Elevations" and "Landscape Plan" received February 15, 2018 as bound together and submitted in conjunction with Application #18-006 by Treanor HL.
2. The Applicant is required to submit a Site Improvement Permit application, showing all exterior improvements, as required by Section 420.070 of the Land Disturbance Code. The permit application shall be in substantial conformance with the "Site Development Plan" received February 15, 2018 as bound together and submitted in conjunction with Application #18-006 by Treanor HL.
3. The front trellis design shall maintain the minimum 10 foot side yard setback, as discussed in the Staff Report.
4. The existing chain link fence shall be replaced with a black wrought-iron style safety barrier fence per Building Code requirements.
5. A sidewalk easement shall be provided to the City of Creve Coeur at the direction of the Department of Public Works, prior to issuance of permits.
6. An underground irrigation system shall be installed as required under Section 405.540(10). All landscaping shall be maintained per the approved Landscape Plan and any vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed and in a prompt and workmanlike manner as dictated by accepted horticultural standards.
7. All lighting shall be in conformance with Section 405.680, Lighting, of the Zoning Code, and Section 205.810 of the Parking Ordinance.
8. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code.
9. No site development plan or minor site plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of the application if the application as resubmitted is substantially the same as the initially approved application. However, the Commission and the Council, as applicable, have the power in such cases to attach new conditions to their re-approval or to disapprove the reapplication. Where the application for re-approval contains changes which the Zoning Administrator concludes materially alter the initial application, the Zoning Administrator shall initiate a new site development plan review procedure as stated in Section 405.1080 or a new minor site plan review procedure as stated in Section 405.1080.

MOTION

The motion to approve the site development plans as shown in the Applicant's materials will be in the form of approval, approval with conditions, denial or deferral. City Council action is not required for minor site development plans. The following is an example of an appropriate motion for this proposal:

"I move to recommend approval of the minor site plan for the façade and landscape improvements for the building at 641 N. New Ballas Road as bound together with Application #18-006, as presented to the Planning and Zoning Commission, subject to the conditions contained in the staff report for the meeting of February 20, 2018" (conditions may be added, eliminated, or modified by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO



Created by: St. Louis County GIS Service Center
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APPENDIX 4: SITE PHOTOGRAPHS

Taken: 2/15/2018



Description: View looking northwest from the N. New Ballas Road.



Description: View looking southwest from N. New Ballas Road.



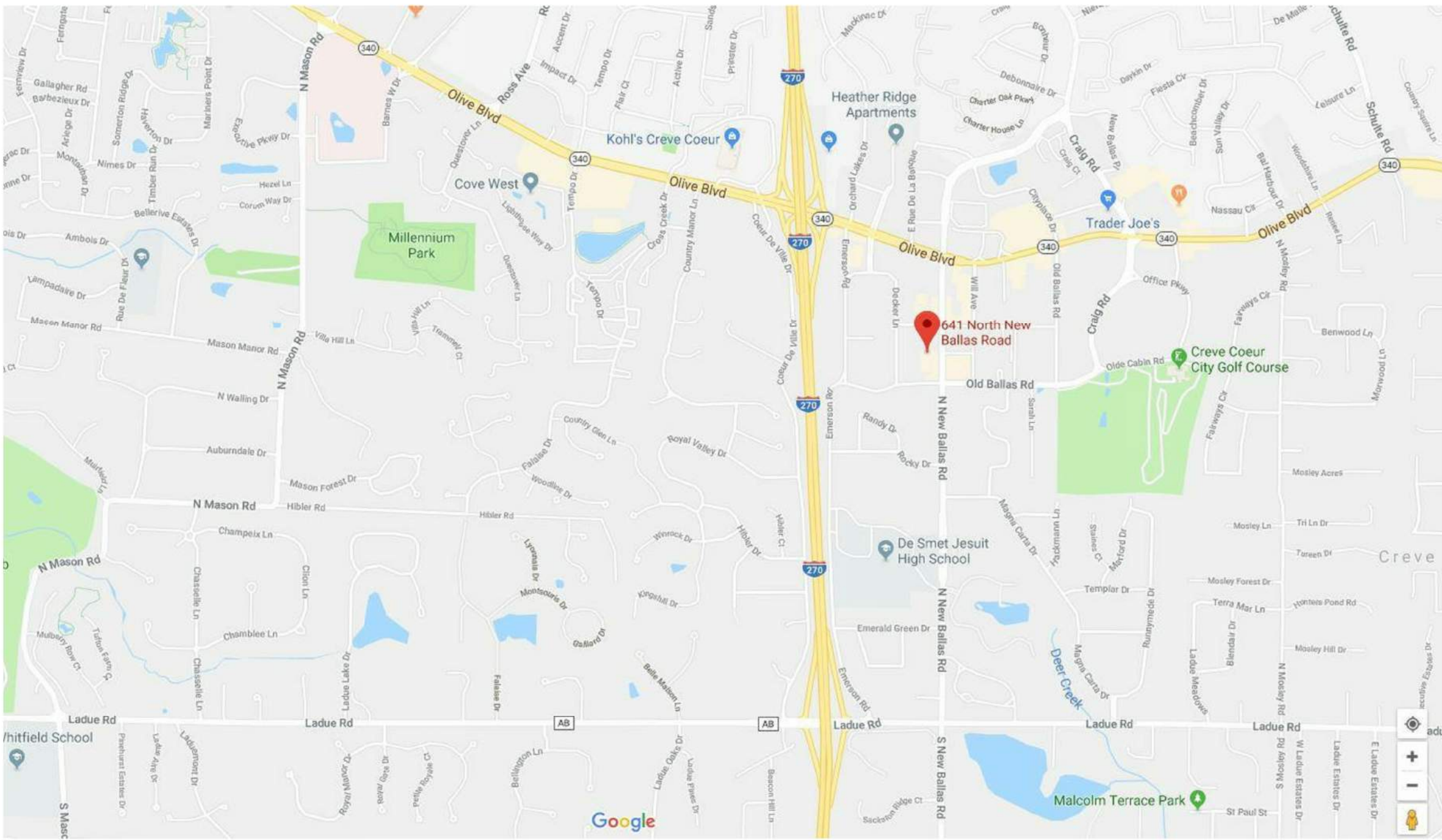
Description: View looking southwest from the parking lot area at the rear retaining wall.

REPRODUCTIVE MEDICINE ASSOCIATES OF ST. LOUIS
PLANNING AND ZONING COMMISSION SUBMITTAL

CITY OF CREVE COEUR, MISSOURI
FEBRUARY 13, 2018



CONTEXT MAP



SHEET LIST

Sheet Number	Sheet Name
GENERAL	COVER PAGE
CIVIL	SITE DEVELOPMENT PLAN
SPD1.0	LANDSCAPE
LDP1.0	LANDSCAPE DEVELOPMENT PLAN
LD1.0	LANDSCAPE DETAILS
ARCHITECTURAL	
A201	EXTERIOR ELEVATIONS
A202	3D VIEWS
A203	EXISTING ELEVATIONS
A204	EXISTING BUILDING PHOTOS
ELECTRICAL	
E1.0	SITE LIGHTING

PROJECT TEAM

ARCHITECT OF RECORD
TREANORHL

1811 BALTIMORE AVE.
KANSAS CITY, MO 64108
OFFICE: 816.221.0900
FAX: 816.221.4992
WWW.TREANORHL.COM

MEP ENGINEER
MCCLURE ENGINEERING

1000 CLARK AVENUE
ST. LOUIS, MO 63102
OFFICE: 314.645.6232
FAX: 314.645.4128

CIVIL ENGINEER



2725 SUTTON BLVD #8
ST. LOUIS, MO 63143
OFFICE: 314.644.2200

LANDSCAPE DESIGNER



727 N. 1ST ST. #360
ST. LOUIS, MO 63102
OFFICE: 314.241.3600

Note:

TREANORHL

REPRODUCTIVE MEDICINE ASSOCIATES OF NJ
RMA OF ST. LOUIS
641 N. New Ballas Rd.
Creve Coeur, MO 63141



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Date: 02/13/18

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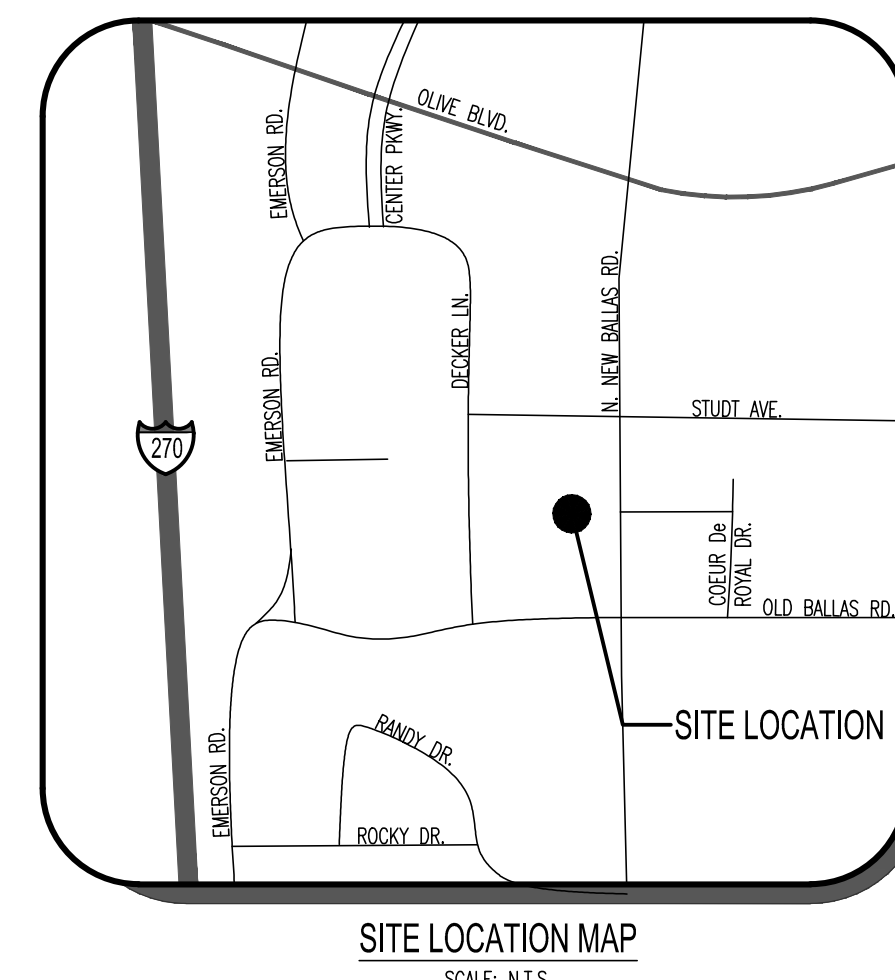
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ST. LOUIS COUNTY, MISSOURI

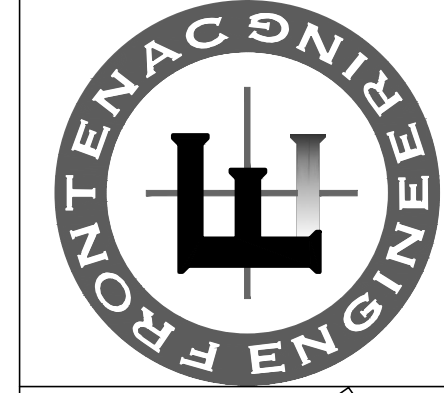
WELLER MANOR
PLAT BOOK 105, PAGE 1

LOT 2
N/F
HUTKIN PLAZA SHOPS LL CETAL
BK 11476 PG 2260



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NO CERTIFICATE OF AUTHORITY:
CIVIL / STRUCTURAL ENGINEERING: 001225
LAND SURVEYING: 000282



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REPRODUCTIVE MEDICINE ASSOCIATES OF NJ

RMA OF ST. LOUIS

641 N. New Ballas Rd.
Creve Coeur MO 63141

Reproductive Medicine Associates
of St. Louis

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RELIGIONS

REVISIONS		
NO.	DESCRIPTION	DATE

NO	DESCRIPTION	DATE
1	SITE COVERAGE	02/15/2018

SDP1.0

SDF 1.0

1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

SITE DEVELOPMENT PLAN

1 of 1
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Receivables

Page 10

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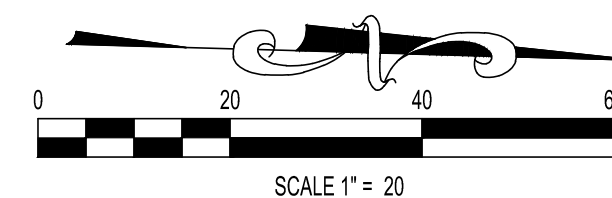
SERVICES & UTILITIES	
COMPANIES	ADDRESS
ELECTRIC	AMEREN UE 4440 NORTH UNION ST. LOUIS, MO. 63115 Tel: (314) 324-1111
	LAKEDE GE GAS COMPANY 720 OLIVE STREET ST. LOUIS MO. 63101 Tel: (314) 342-0500
SEWER	M.S.D. 2350 MARKET ST. LOUIS, MO. 63103 Tel: (314) 768-6200
	AT & T COMMUNICATIONS 14780 MANCHESTER ROAD ST. LOUIS, MO. 63131 Tel: (314) 505-1486
WATER	MISSOURI AMERICAN WATER 5315 NORTH NEW BALLAS ROAD ST. LOUIS, MO. 63141 Tel: (314) 991-0333
	CHARTER COMMUNICATIONS 941 CHARTER COMMONS DRIVE TOWN & COUNTRY, MO. 63017 Tel: (636) 207-7044

SITE DATA TABLE	
PROPOSED USE	MEDICAL BUILDING
EXISTING ZONING	CORE BUSINESS DISTRICT
PROPOSED ZONING	CORE BUSINESS DISTRICT
ADJACENT ZONING	CORE BUSINESS DISTRICT
REQUIRED PARKING	4 SPACES PER 1,000 S.F. OF OFFICE 9650 S.F. / 1000 S.F. x 4 = 39 SPACES REQ. (2 ADA)
PROVIDED PARKING	44 SPACES (3 ADA)
TOTAL SITE AREA	45,302 S.F. (1.03 ACRES)
PERVIOUS AREA	EX. 13,715 S.F. PROP. 13,995 S.F.
IMPERVIOUS AREA	EX. 31,587 S.F. PROP. 31,307 S.F.
SITE COVERAGE	EX. 65.2% PROP. 65.0% (BUILDINGS AND PAVEMENT [NOT INCLUDING SIDEWALKS] / TOTAL SITE)

PROPERTY DESCRIPTION PER TITLE COMMITMENT:

PARTS OF LOTS 5 AND 6 OF THE SUBDIVISION OF STUDT'S HOME PLACE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 38 OF THE ST. LOUIS COUNTY RECORDS AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE WEST LINE OF NEW BALLAS ROAD, 60 FEET WIDE, AS ESTABLISHED BY ORDER OF THE COUNTY COURT OF ST. LOUIS COUNTY, MISSOURI, RECORDED IN BOOK 1150 PAGE 56 OF THE ST. LOUIS COUNTY RECORDS, THAT IS NORTH 1 DEGREE 26 MINUTES WEST 250 FEET FROM THE NORTH LINE OF A 20 FOOT PRIVATE ROAD ON THE SOUTH LINE OF SAID LOTS 5 AND 6; THENCE NORTH 89 DEGREES 54 MINUTES WEST 265 FEET, MORE OR LESS, TO A POINT IN THE WEST LINE OF TRACT CONVEYED BY DEED RECORDED IN BOOK 2499 PAGE 344 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID WEST LINE NORTH 9 DEGREES 43 MINUTES WEST 168 FEET TO A POINT; THENCE SOUTH 89 DEGREES 54 MINUTES EAST 291 FEET, MORE OR LESS, TO A POINT IN THE SAID WEST LINE OF NEW BALLAS ROAD AND THENCE ALONG SAID WEST LINE SOUTH 1 DEGREE 26 MINUTES EAST 165 FEET TO THE POINT OF BEGINNING, 45,302 SF = 1.03 ACRES

15yr-20min Storm					
Total Lot Area =	45,302 sf	1.04 ac			
	AREA	PI	Q		
EXISTING SITE CONDITIONS					
BUILDINGS	9,643	0.22	3.54	0.78	
ACCESSORY BUILDINGS	0	0.00	3.54	0.00	
PAVEMENT	21,944	0.50	3.54	1.78	
PERMEABLE PAVEMENT	0	0.00	1.70	0.00	
LANDSCAPE	13,715	0.31	1.70	0.54	
TOTALS =		1.04		3.10	
% Impervious =		69.73%			
PROPOSED SITE CONDITIONS					
BUILDINGS (Not Directly Connected to Sewer)	9,862	0.23	3.54	0.80	
BUILDINGS (Directly Connected to Sewer)	0	0.00	4.20	0.00	
PAVEMENT	21,445	0.49	3.54	1.74	
PERMEABLE PAVEMENT	0	0.00	1.70	0.00	
LANDSCAPE	13,995	0.32	1.70	0.55	
TOTALS =		1.04		3.09	
% Impervious =		69.11%			
DIFFERENTIAL RUNOFF =	-0.01 CFS	< 2 CFS, Flood Protection is Not Required			



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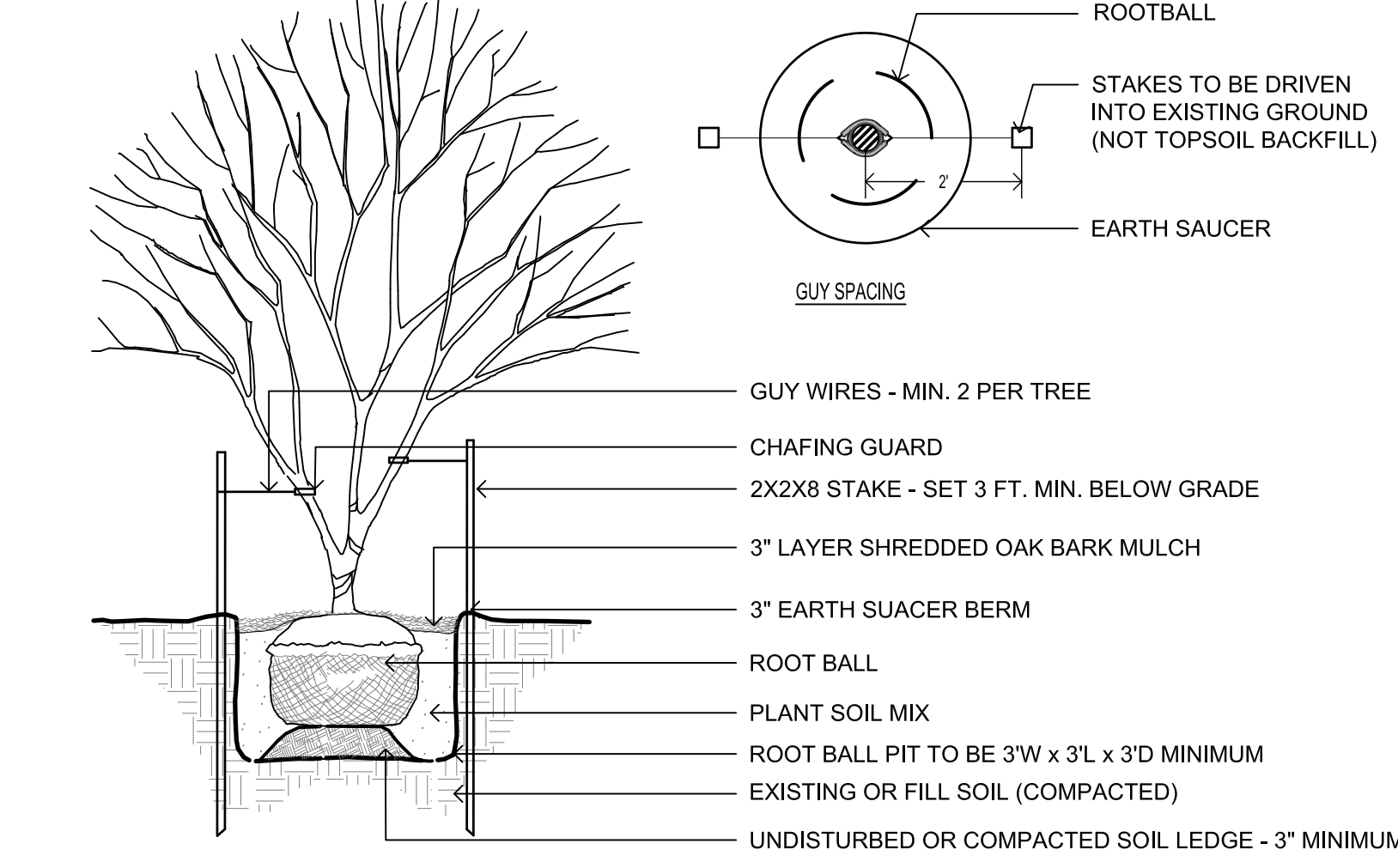
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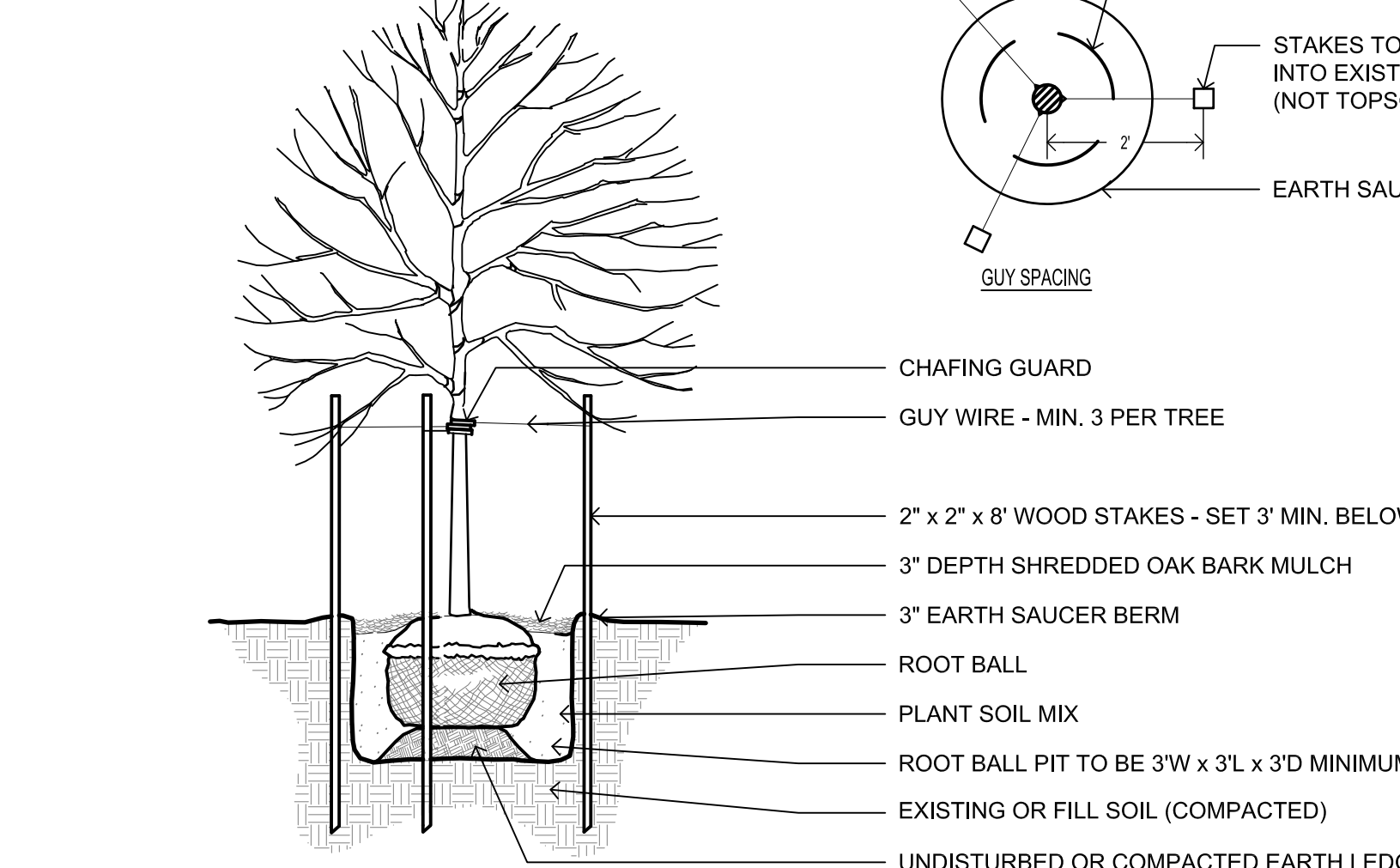
1 ORNAMENTAL TREE PLANTING

LD1.0 SECTION



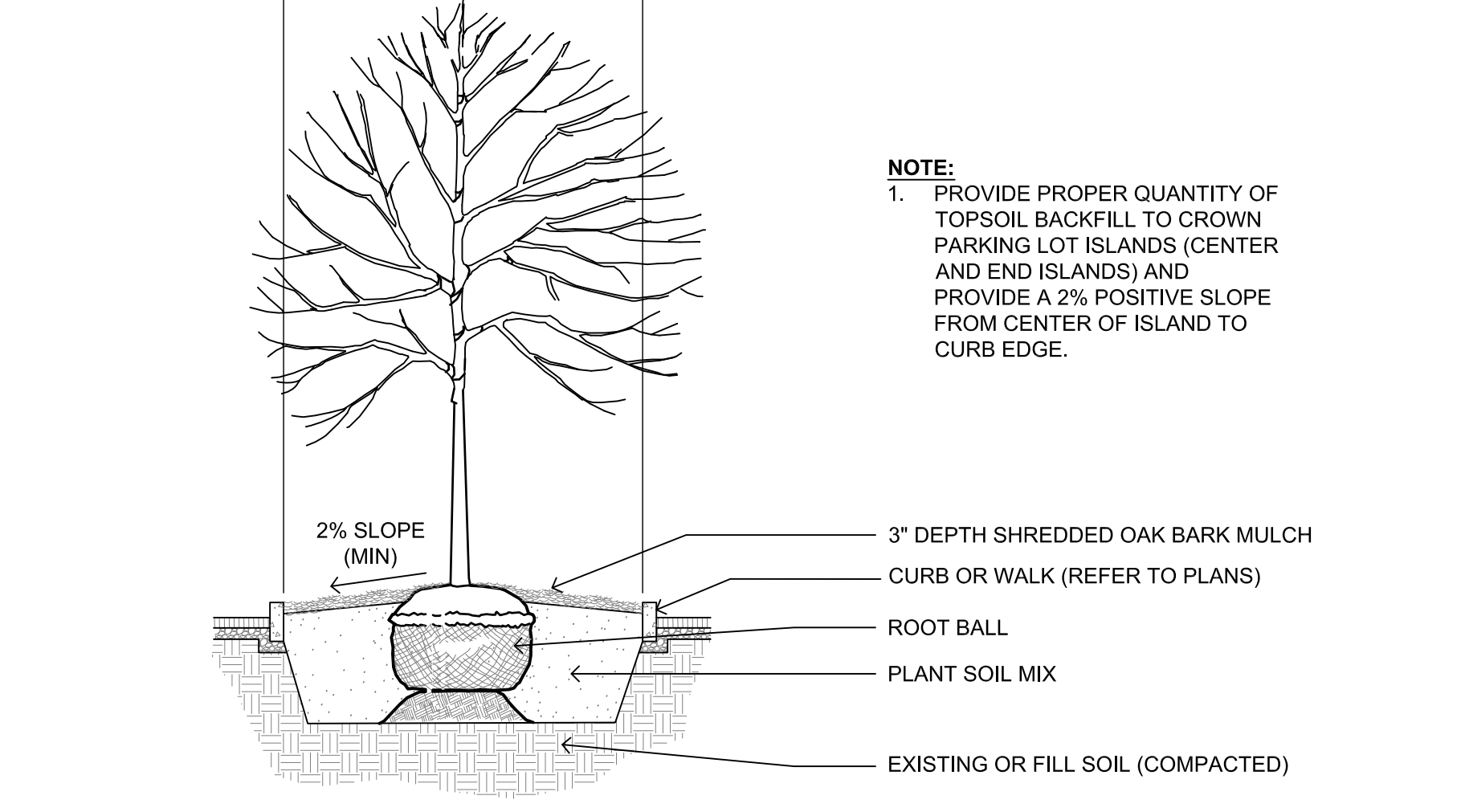
2 CANOPY TREE PLANTING

LD1.0 PLAN & SECTION



3 PARKING LOT ISLAND PLANTING

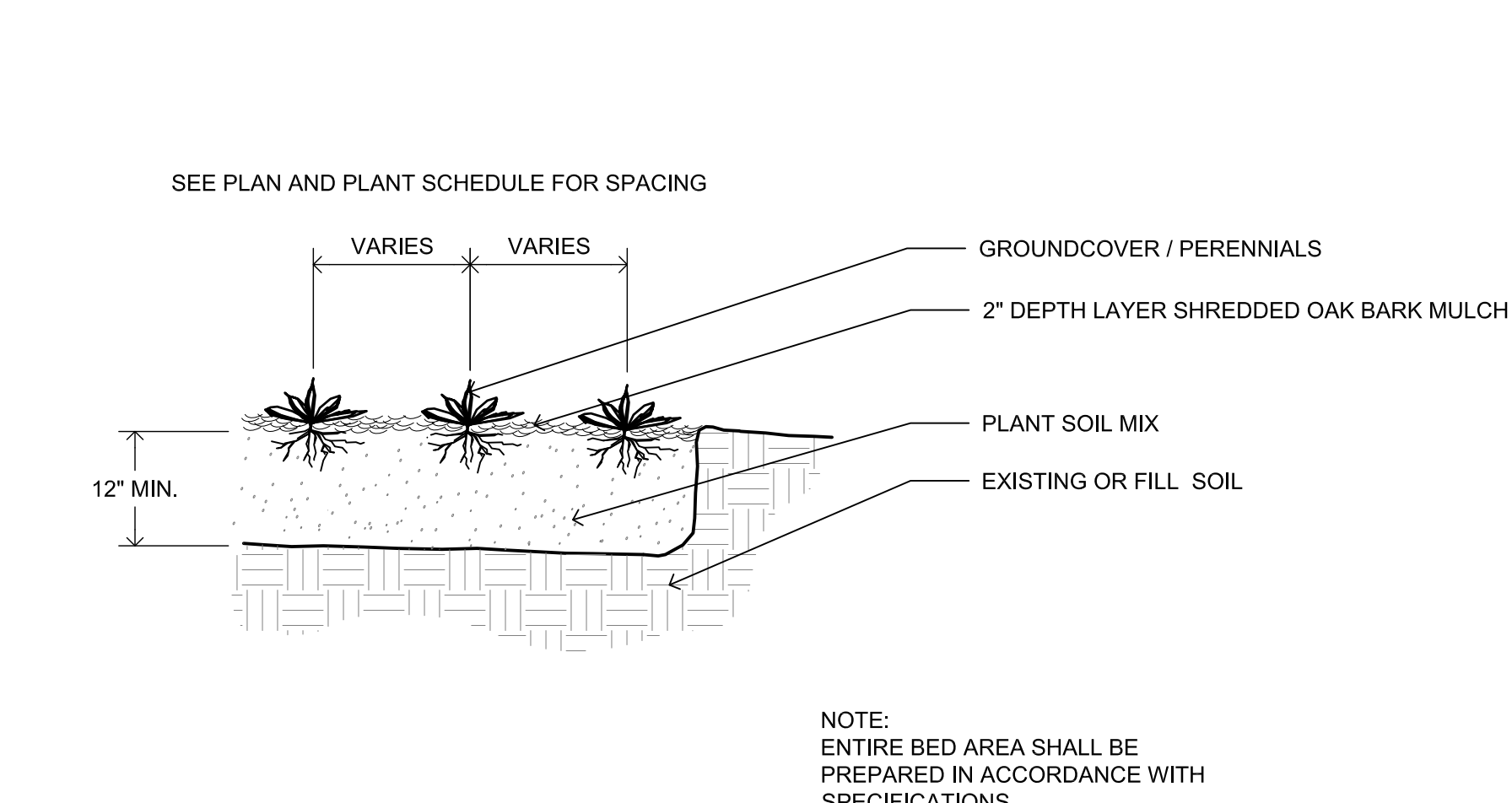
LD1.0 SECTION



NOTE:
1. PROVIDE PROPER QUANTITY OF TOPSOIL BACKFILL TO GROWN PARKING LOT ISLANDS (CENTER AND END ISLANDS) AND PROVIDE A 2% POSITIVE SLOPE FROM CENTER OF ISLAND TO CURB EDGE.

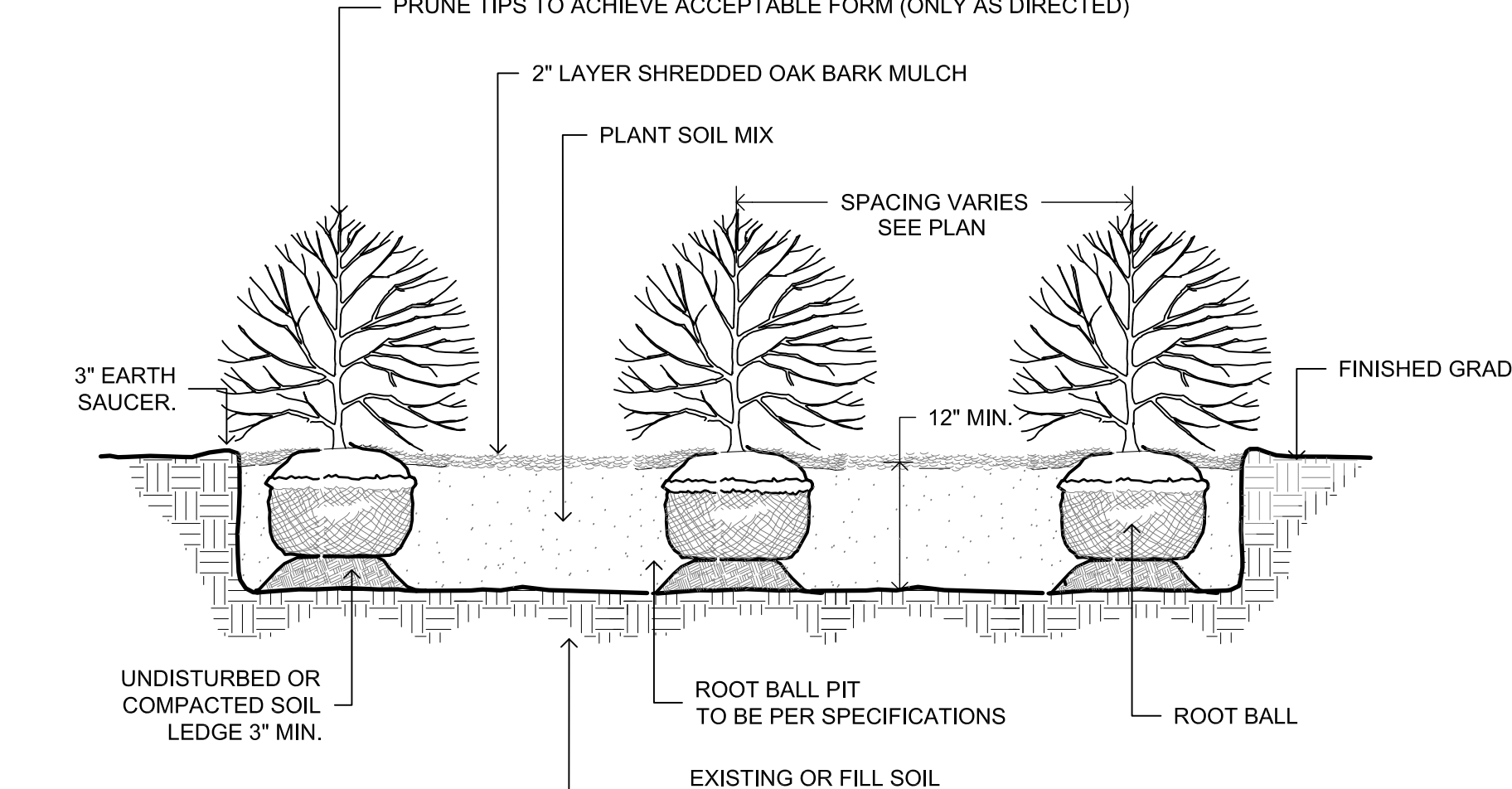
4 GROUNDCOVER AND PERENNIAL PLANTING

LD1.0 SECTION



4 DECIDUOUS SHRUB PLANTING

LD1.0 SECTION



6 PLANT SPACING

LD1.0 DIAGRAM

FOR USE WITH ALL PLANT TYPES SPACED EQUIDISTANTLY				
SPACING "D"	ROW "A"	NO. OF PLANTS	AREA UNIT	
10" O.C.	8.66"	1.66	1 sq. ft.	
12" O.C.	10.4"	1.15		
15" O.C.	13.0"	7.38	10 sq. ft.	
18" O.C.	15.6"	5.12		
24" O.C.	20.8"	2.9		
30" O.C.	26.0"	1.85		
36" O.C.	30.0"	1.28		
4' O.C.	4.33'	4.61	100 sq. ft.	
6' O.C.	5.2'	3.2		
8' O.C.	6.93'	1.8		
10' O.C.	8.66'	1.16		

Diagram showing plant spacing layout with labels: "D" = PLANT, "A" = ROW SPACING, "D" = PLANT SPACING.

PLANT SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	TOTAL	REMARKS
CANOPY TREE						
AR	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Maple	3"	B&B	6	MALE ONLY
HL	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Thornless Honeylocust	3"	B&B	8	
ORNAMENTAL TREES						
FPR	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	2"	B&B	6	
SHRUBS						
AFD	<i>Corus sericea</i> 'Farrow' ARCTIC FIRE	Arctic Fire Red Twig Dogwood	#3	CONT.	46	
GLS	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	#3	CONT.	27	
HGS	<i>Itea virginica</i> 'Henry's Garnet'	Henry's Garnet Sweetpire	#3	CONT.	161	
LPS	<i>Spiraea japonica</i> 'Lemon Princess'	Lemon Princess Spiraea	#3	CONT.	42	
POH	<i>Hydrangea quercifolia</i> 'Pee Wee'	Pee Wee Oakleaf Hydrangea	#3	CONT.	120	
PERENNIALS						
CSS	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switchgrass	#1	CONT.	395	
LGC	<i>Echinacea purpurea</i> 'Little Giant'	Little Giant Coneflower	1 QT.	CONT.	250 SQ. FT.	
MCB	<i>Heuchera</i> 'Mahogany'	Mahogany Coral Bells	1 QT.	CONT.	965 SQ. FT.	

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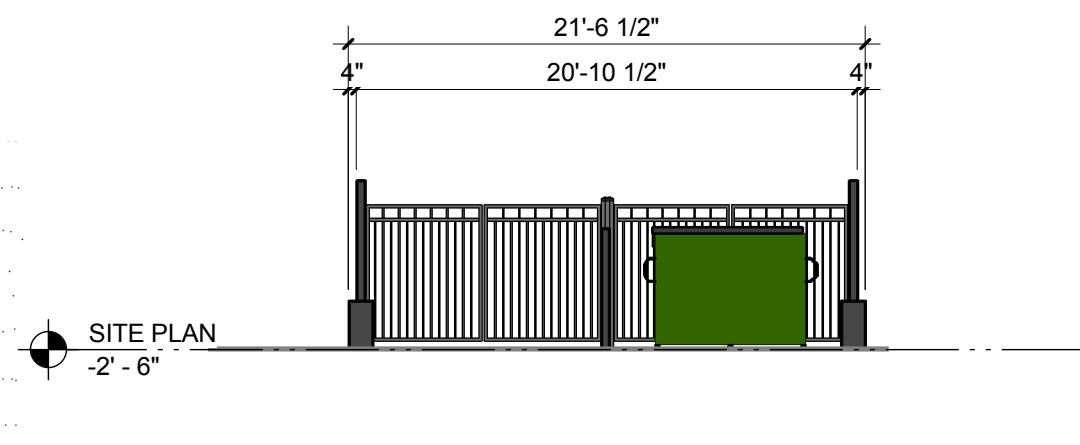
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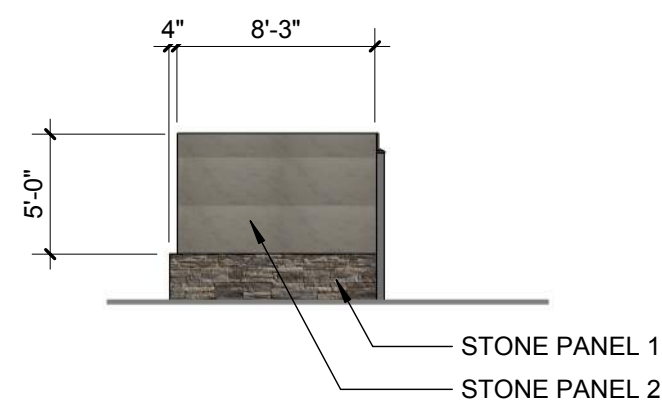
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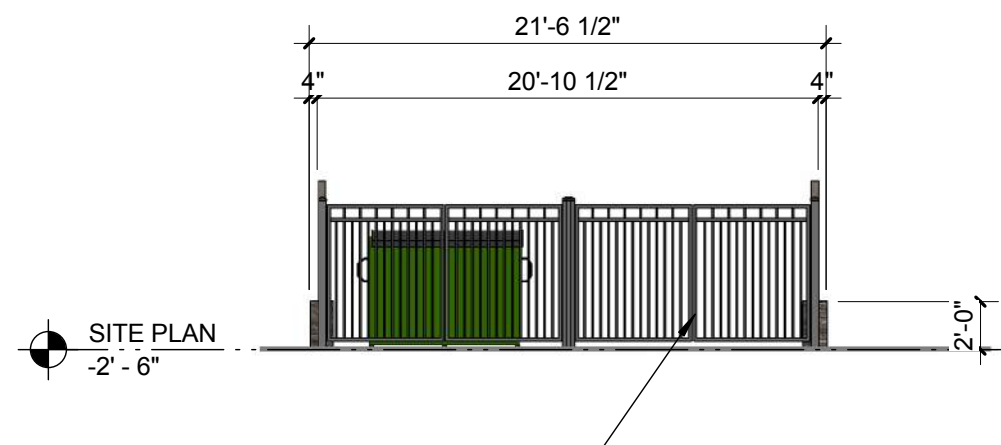
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LANDSCAPE DETAILS
1 of 2
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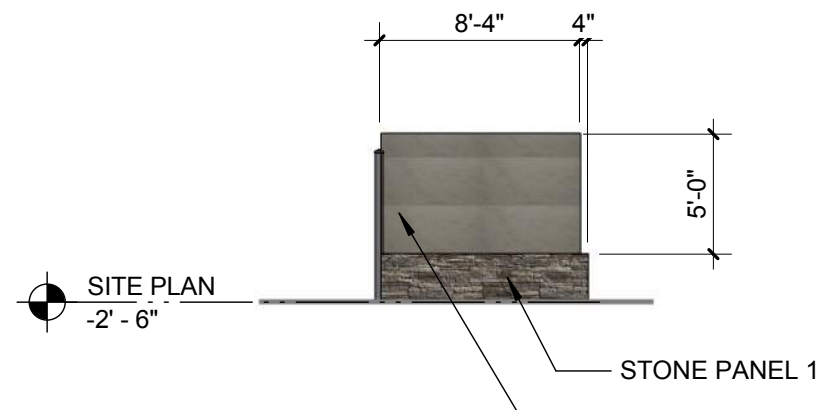
DUMPSTER ELEVATION - W E4
1/8" = 1'-0"



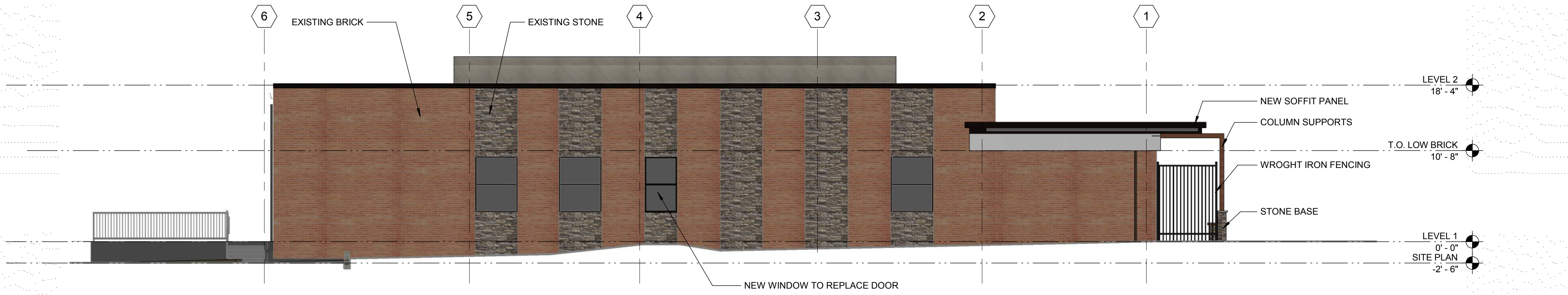
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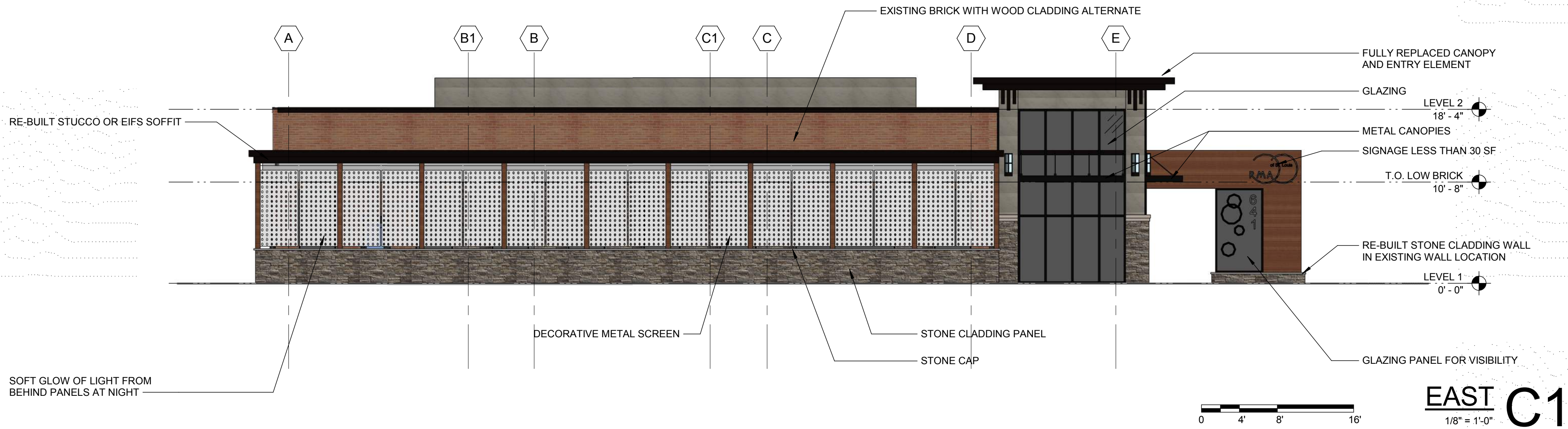
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1/8" = 1'-0"



DUMPSTER ELEV. - N E1
1/8" = 1'-0"



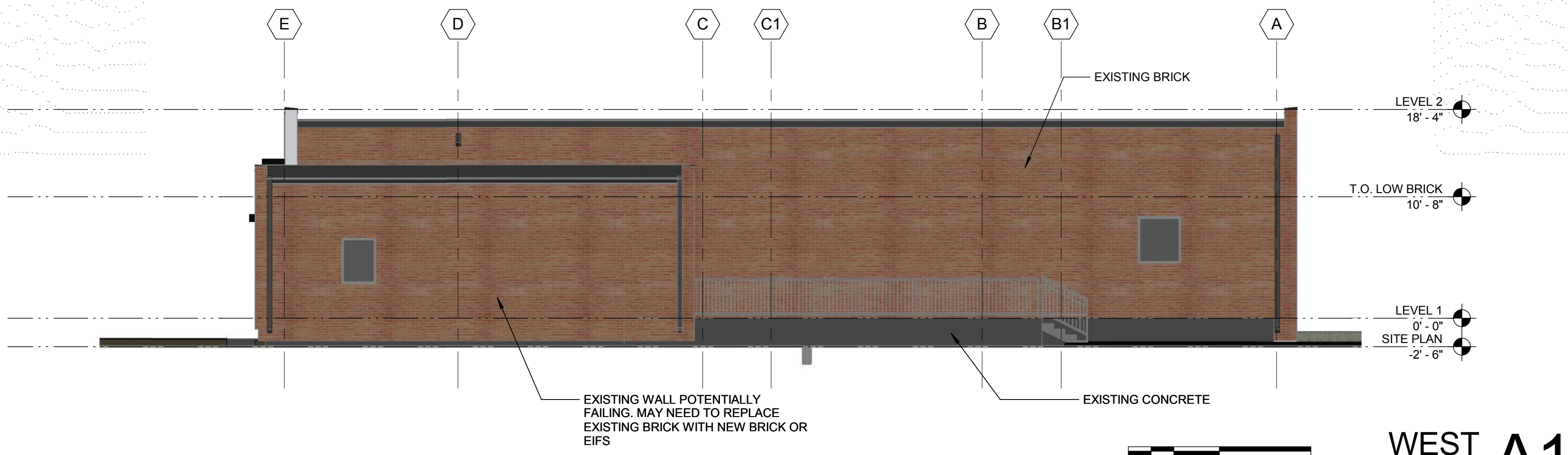
SOUTH D1
1/8" = 1'-0"



EAST C1
1/8" = 1'-0"



NORTH B1
1/8" = 1'-0"



WEST A1
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

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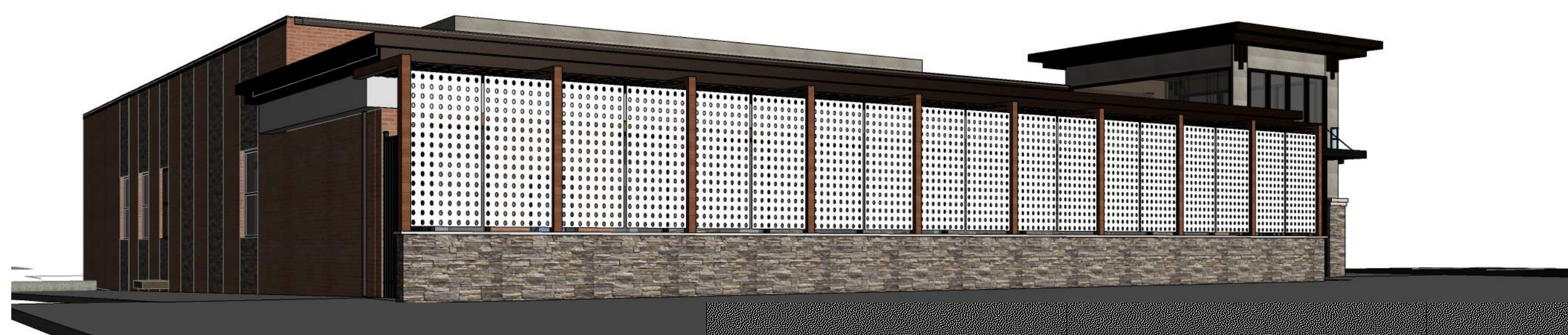
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NORTH-EAST ELEVATION 2 **C4**



NORTH-EAST ELEVATION **C1**



SOUTH-EAST ELEVATION **A4**



NORTH-WEST ELEVATION **A1**

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3D VIEWS
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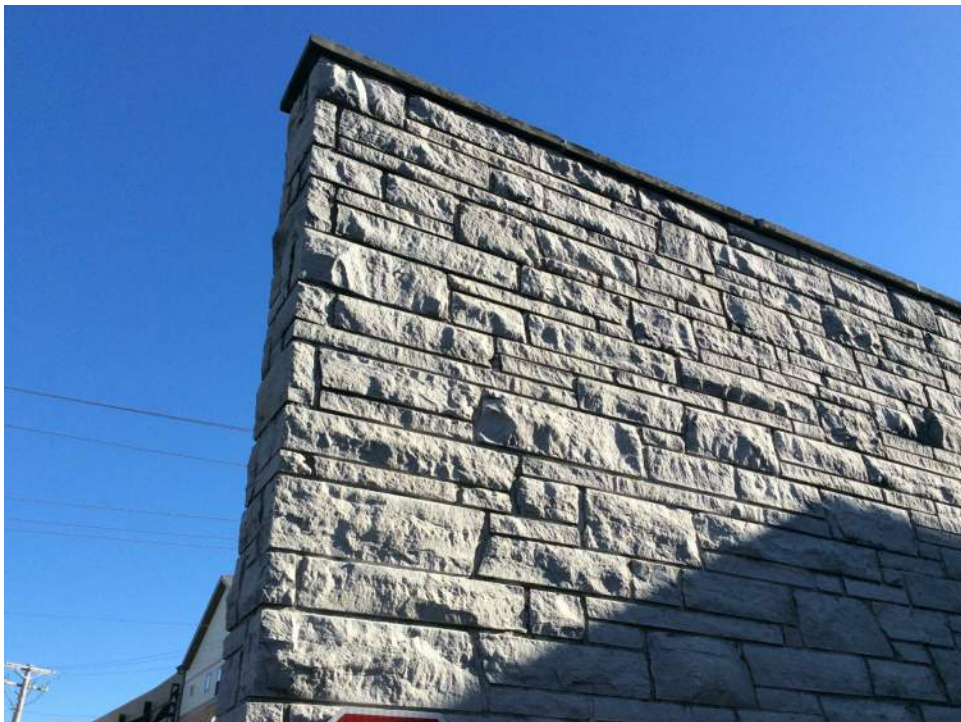
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EXISTING STONE WALL DETAIL



EXISTING NORTH SIDEWALK



EXISTING SOUTH FACADE



EXISTING PARKING EDGE DETAIL



EXISTING RUSTING FENCE DETAIL



EXISTING SOUTH FACADE STONE DETAIL



EXISTING CANOPY DAMAGE



EXISTING SOUTH FACADE



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EXISTING PARKING EDGE DETAIL



EXISTING WINDOW SILL DETAIL



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EXISTING PARKING LANDSCAPING DETAIL



EXISTING EAST ELEVATION LANDSCAPING



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EXISTING NORTH PARKING



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EXISTING ROOF EDGE DETAIL



EXISTING NORTH/EAST FACADE



EXISTING EAST FACADE/ENTRY ELEMENT



EXISTING NORTH ENTRY ELEVATION



EXISTING FRONT ENTRY

EXISTING PHOTOS

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EXISTING BUILDING
PHOTOS

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GENERAL NOTES:

1. EXTERIOR LED POLE FIXTURES WILL BE USED TO ILLUMINATE PATHS AND ADDED PARKING AREAS. POLES WILL NOT EXCEED 20'. FIXTURES WILL BE DARK SKY COMPLIANT AND PHOTOMETRICS WILL BE RUN TO ENSURE NO LIGHT TRESPASS AND GLARE ONTO ADJACENT PROPERTIES.
2. EGRESS LIGHTING FOR EXITS TO BE PROVIDED. QUANTITIES WILL BE DETERMINED TO MEET BUILDING EGRESS CODES.
3. ALL EXTERIOR FIXTURES WILL BE LED, WITH COLOR TEMPERATURES WITHIN THE 2700K-4000K RANGE. LIGHTING WILL BE DESIGNED TO OMIT LIGHTING TO ADJACENT PROPERTIES AND ALL FIXTURES GREATER THAN 75WATTS WILL BE FULLY SHIELDED.
4. ALL EXISTING STREET LIGHTING TO REMAIN.



PARKING LOT LIGHTING ON NORTH AND EAST EDGES OF PROPERTY. NEW POLES AND NEW HEADS ARE PLANNED

WALL MOUNTED LIGHT FIXTURES TO SERVE AS SECURITY LIGHTING BETWEEN BUILDINGS



RECESSED CANOPY LIGHTING TO ILLUMINATE THE EXISTING STONE FACADE

SELECT PORTIONS OF THE NEW LANDSCAPING WILL BE ILLUMINATED.



PARKING LOT LIGHTING ON NORTH AND EAST EDGES OF PROPERTY. NEW POLES AND NEW HEADS ARE PLANNED

TRASH

GENERATOR



SWITCHED LIGHTING TO SERVE THE GENERATOR AND TRASH ENCLOSURES



PARKING LOT LIGHTING ON NORTH AND EAST EDGES OF PROPERTY. NEW POLES AND NEW HEADS ARE PLANNED

WALL MOUNTED LIGHT FIXTURES TO SERVE THE BUILDING WALKWAY

THE NEW BUILDING SIGNAGE WILL BE HALO STYLE ILLUMINATED

PROGRESS PRINTS
11/2/2018 1:39:09 PM

REPRODUCTIVE MEDICINE ASSOCIATES OF NJ
RMA OF ST. LOUIS
641 N. New Ballas Rd.
Creve Coeur, MO 63141



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Issued For: DESIGN DEVELOP.

Date: 01/19/18

REVISIONS		
NO	DESCRIPTION	DATE

E1.0

SITE LIGHTING

TreanorHL NO. HC0619.0001.00

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