



AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, MAY 7, 2018
6:30 PM

Pursuant to Section 610.022 RSMO, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

CALL TO ORDER

ROLL CALL

Ms. Beth Kistner (Chair)
Mr. Tim Carney
Ms. Muriel Hall
Mr. Don Magruder
Mr. James Myers
Mr. Gene Rovak
Mr. Matthew Schuh
Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Whitney Kelly, City Planner
Ms. Jessica Stutte, Planning Assistant/Recording Secretary

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

- 1. April 16, 2018 Planning and Zoning Commission Draft Meeting Minutes**

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS**1. Application #18-007: Rezoning of the Malcolm Terrace Subdivision from C-RDD to D Single Family Residential District**

Jason Jaggi, Director of Community Development, on behalf of the City of Creve Coeur, and in consultation with residents of the Malcolm Terrace subdivision, has submitted an application to rezone the Malcolm Terrace Subdivision, generally located on S. Mosley Road south of St. Paul Drive, and north of Von Speigel Street, from C Single Family Residential with Residential Designed Development (C-RDD) to D Single Family Residential, to more accurately reflect the existing development in the area. This item was tabled at the March 5th meeting to allow for additional neighborhood input. Staff is recommending this application be withdrawn.

NEW BUSINESS**1. PUBLIC HEARING. Application #18-018: Boundary Adjustment Between 4509 And 10725 Baur Boulevard, And Site Development Plan And Conditional Use Permit For Schaefer Auto Body Center At 4509 Baur Boulevard**

Marty Henson, Henson Consulting, LLC, on behalf of Scott Schaefer, of Schaefer Auto Body Center, Inc., and Drew Bextermueller, Dierbergs Realty # 2, Inc., has submitted a request for a boundary adjustment between the properties addressed as 4509 and 10725 Baur Boulevard, and a conditional use permit and site development plan for a new Schaefer Auto Body Center at 4509 Baur Boulevard. Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) are permitted as conditional uses with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission in the LI-Light Industrial District.

2. Application: #18-019 For Approval Of The Final Plat For The Minor Subdivision Of 0.5 Acres To Create A New Lot At The North East Corner Of 11733 Olive Boulevard

Nick Sepac, of Mid County Real Estate, LLC, property owner of 11733 Olive Boulevard, has submitted an application for the approval of the final plat for the minor subdivision of the existing 3.9 acres, to create a separate 0.5194 acre lot at the north east corner of the property. The remaining Lot A property is 3.39 acres. No changes to the zoning are requested. The preliminary plat was approved by the Planning and Zoning Commission on April 2, 2018. Staff recommends approval of the final plat as no technical failure has been found in the drawing and the drawing is in substantial conformance with the preliminary plat.

WORK AGENDA**DEPARTMENT REPORTS**

Director of Community Development

ADJOURNMENT

Posted: _____
Jason W. Jaggi
Director of Community Development



DRAFT MINUTES
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, APRIL 16, 2018
6:30 PM

CALL TO ORDER

ROLL CALL

Beth Kistner	Commission Chair	
Tim Carney	Commission Member	
Gene Rovak	Commission Member	
Muriel Hall	Commission Member	(Absent)
Don Magruder	Commission Member	
Heather Silverman	Commission Member	
Matthew Schuh	Commission Member	

The following staff were also present: Carl Lumley, City Attorney; Jason Jaggi, Director of Community Development; Whitney Kelly, City Planner; and, Jessica Stutte, Planning Assistant/ Recording Secretary.

ACCEPTANCE OF THE AGENDA

Ms. Kistner said there was a representative from the PGA in attendance who would like to speak about the upcoming event. She suggested he be moved to the front of the agenda.

Mr. Schuh made a motion to amend the agenda with the PGA in front of the agenda, Mr. Rovak seconded. All in favor.

Mr. Schuh made a motion to approve the agenda as amended, Mr. Carney seconded. All in favor.

APPROVAL OF MINUTES

1. April 2, 2018 Planning and Zoning Commission Draft Meeting Minutes

Ms. Silverman said there was an error regarding her vote for Application 18-013. She said she had recused herself and did not vote.

Ms. Silverman made a motion to approve the minutes as amended by Ms. Silverman, Mr. Schuh seconded. All in favor.

PUBLIC COMMENT

None

WORK AGENDA

Mr. Jaggi explained the permit process and some of the impact the PGA would have on the City of Creve Coeur.

Mr. Chris Kerr showed the main sites for the tournament and explained the roles they would play. He said Whitfield school and the S-curve on Mason would have some traffic. He said there would be around 15 parking lots around the area, 3 of which would be in Creve Coeur.

Mr. Jaggi said the PGA has been working with the Police Department and the Building Department.

Ms. Kistner asked if the Police Department was being compensated for their time.

Mr. Kerr said he did not know.

Ms. Kistner asked if people would be allowed to rent out their yards for parking.

Mr. Jaggi said under normal circumstances it would not be allowed. He said enforcement would be difficult with limited resources.

UNFINISHED BUSINESS

1. PUBLIC HEARING. Application #18-010: Text Amendment to the Zoning Ordinance to Allow and Provide Development Standards for Attached Townhouses and Multi-Family Dwellings as a Conditional Use in the General Commercial (GC) District

Those planning to speak on the issue were sworn in.

Mr. Jaggi showed a slide that went over the current and proposed usage in the GC district. He gave some examples of other districts that were rezoned to allow residential.

Mr. Jaggi showed some points in the Comprehensive Plan that recommended change in the direction of the text amendment. He showed some of the land usage in the GC district. He talked about North Lindbergh. He said the 39 N plan is part of that area and the long-term plan includes more residential. He went over South and West Lindbergh. He said there were some limitations to retail with the drive-by traffic.

Mr. Jaggi said based off of the commission's suggestion they revised the statement. He said they also revised the maximum number of units allowed per acre.

He gave some examples of multi-family units outside Creve Coeur.

Ms. Kistner said the examples were near their town centers.

Mr. Jaggi agreed, but he also said that some of the examples were similar in design and layout.

Mr. Schuh asked about the examples' orientation along the streets.

Mr. George Stock addressed the traffic concerns of residents from the previous meeting. He said the town homes would generate less traffic than an office. He gave some trip comparisons. He talked about the height of the town homes.

Mr. Carney asked what the height would be.

Mr. Stock said they would be 38-40 feet.

Ms. Kistner asked about the layout.

Mr. Stock said the layout had changed after they spoke with residents. He said all the garage doors faced inwards. He said the drive had also been changed to move the entry as far north as possible.

Ms. Kistner asked where people would park in the event of a party.

Mr. Stock said that was a question for the fire marshal.

Ms. Silverman asked what the sq. footage was for the town homes.

Mr. Stock said around 2300 sq. feet. He pointed out there are 4 parking spaces per unit on the lot.

Ms. Lisa Wallace showed some examples of positive universal design.

Ms. June Jefferies said she would like the property to remain GC. She said the property value has increased in value despite remaining empty.

Mr. William Green said he was 2 houses away from the KC Masterpiece. He said the loss of green space would create problems. He said there would be water drainage problems and privacy issues.

Ms. Jennifer Svoboda said she was near the proposed development. She said she didn't think the town homes fit in the area and were lacking in design. She said Sunswept was an architectural marvel that would be tainted with permitting the town houses to move in.

Mr. Tim Bishop said the solution is not to allow town homes but to fix the current property in its current designation. He said changing the rules to fit the proposal seems backwards. He said this would be heavily impactful.

Ms. Shannon Schraeder showed a slide that indicated the town homes don't meet the regulations of various districts. She said the only way for this to work would be to change the law.

Mr. Scott Schraeder gave some statistics and asked for the building to be further away to compensate for the height.

Mr. Chris Piper showed some drawings with the elevations. He said it would be heavily impacted.

Ms. Kistner asked if he was aware the new ordinance requiring the height to be counted from grade.

Ms. Susan Murphy said she had hired a FAA operator to photograph the area by her home to get an idea of the elevations proposed. She said she would like to see some things completely removed from the amendment.

Mr. John Murphy said the floor to area ratio (FAR) is too high. He said the examples of town houses in other areas are irrelevant to Creve Coeur.

Mr. David Rose said modern communities all look the same. He said this project would be bad for the community in the long run.

Mr. Jake Potts said he dug into the Comprehensive plan and the key ideas and businesses. He said the residents are just trying to protect what is important to them and to the city.

Ms. Angela Rose spoke to the photos Mr. Jaggi showed reflecting similar projects. She said she found completely different results. She said people would see the development first as they drove

past leafy green Bayer-Monsanto. She said she would like to see more businesses go in, not more multi-family homes.

Ms. Iris Cheek said she didn't understand why the city planners were catering to this project. She said the broad language enables nightmare situations. She said the town homes were not family or aging friendly. She said the text amendment is overreaching.

Ms. Kistner asked how green space would be changed.

Mr. Jaggi said 63% of the site can be taken up by hardscape.

Ms. Schraeder said the lot is 85% coverage.

Mr. Jaggi said the overall site would have to comply with the district standard which is 63%.

Mr. Schuh asked Ms. Kelly about a slide.

Ms. Kelly said it was section 405.360(A) of Purpose and Intent.

Mr. Schuh asked from what document.

Ms. Kelly said it was in the zoning code.

Mr. Lumley said it was part of the proposal.

Mr. Schuh asked about Mr. Jaggi's explanation regarding the Comprehensive Plan.

Mr. Jaggi said the Comprehensive Plan created place types. He said in the context of the plan they looked at areas that are challenging. He said the plan wouldn't be as rigid. He said the plan suggests different uses be introduced to introduce new element. He said staff reviewed it to be the right amount of density for this area. He said he thinks it is supported by the plan. He spoke to the green space. He said that is why the green space was included in the 85%. He said green space was added in. He wanted to add that this is the process for the Text Amendment. He said a variance is not the correct process for this request.

Mr. Schuh asked if staff looked into other types of uses that had a less impact.

Mr. Jaggi said the next lower impact would be Single Family residential and that it wouldn't be appropriate next to commercial.

Mr. Carney asked if the setbacks would stay the same as a standard.

Ms. Kelly said the setbacks would stay the same. She said she thought the minimum would be 20 feet in this case. She said it wouldn't change with this application.

Mr. Stock said he would like to further the goals of the Comprehensive Plan. He said with the new ordinance regulating height, the town homes will not be as imposing as suggested. He said the fears of the stormwater and the traffic will be alleviated. He said the request meets the Comprehensive Plan.

Mr. Lumley entered the items for exhibit and the public hearing was closed.

Mr. Rovak said he was impressed with the residents presentation.

Ms. Silverman said she likes the idea of the town homes in GC, but is concerned with the number of units and parking.

Mr. Magruder said the text amendment has value, but it doesn't work well in this area. He said he thought it would fit well in other areas.

Mr. Carney said he thought the FAR needed to be adjusted to work.

Mr. Schuh said he thinks there is a place for this in this corridor. He said he didn't know if there was something less imposing.

Ms. Kistner wanted to address the audience's concern about the process. She said applicants come before staff with a request and that is how the requests get heard. She said in general, she doesn't think there is anything wrong with having multi-family next to single family. She said the right development is appropriate. She said the Comprehensive Plan does talk about ways to adapt the GC district. She said she thinks staff fairly brought it forward. Ms. Kistner said the density is problematic. She said she is concerned about whether it would be successful as there are other similar developments just getting going.

Mr. Jaggi reminded the commission and the audience that this would go to City Council if the applicant chose to move forward.

RESULT:	DISAPPROVED [1 TO 5]
MOVER:	Tim Carney, Commission Member
SECONDER:	Gene Rovak, Commission Member
AYES:	Carney
NAYS:	Kistner, Rovak, Magruder, Silverman, Schuh
ABSENT:	Hall

NEW BUSINESS

1. Application #18-015: Minor Site Development Plan for a 54" Wrought-Iron Style Fence Within the Front-Yard Setback from N. New Ballas Road for the Property Addressed as 11900 Emerald Green Drive

Mr. Chuck Woods said he would like to extend his fence as the result of a pool addition. He said he would like the fence to be consistent on the property.

Mr. Schuh asked if he planned to keep the tree.

Mr. Woods said they did plan to keep it and they had already cleaned up some honeysuckle.

Mr. Schuh asked what would happen if the pool was shifted.

Mr. Woods said it would run into a large oak tree.

Ms. Kelly said staff recommended approval.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Don Magruder, Commission Member
SECONDER:	Matthew Schuh, Commission Member
AYES:	Kistner, Carney, Rovak, Magruder, Silverman, Schuh
ABSENT:	Hall

2. PUBLIC HEARING. Application #18-016: AMEND THE CONDITIONAL USE PERMIT AND SITE DEVELOPMENT PLAN FOR THE RENOVATION OF THE WATERWAY GAS AND WASH LOCATED AT 10559 OLD OLIVE STREET ROAD

Those speaking to the request were sworn in.

Mr. Mike Goldman said Waterway has been in Creve Coeur a long time and they have continue to make improvements throughout the years.

He said they made changes to improve flow. He said the vacuum compressor would now go in the building and drastically reduce noise. He said the colonial architecture would be updated. Mr. Goldman said the other major change is eliminating the green BP canopy. The revised canopy would be sleek and simple. He said they were adding windows, so customers could see their cars during the process. He said the dumpster would be landscaped.

He said they would like their hours to be the same as their competitor 7am-9 pm.

Mr. Magruder asked what color the canopy would be.

Mr. Goldman said it would be gray and white and the logo with the 3 waves would go on the ends. He said writing would go on two ends of the canopy.

Ms. Kelly said this would be a repeal and replacement. She said they do see the changes as an upgrade. She said they are decreasing in-conformities. She said they have no problem with the change of hours.

Ms. Kistner asked about signage.

Ms. Kelly said signs were limited.

Mr. Carney asked about merchandise outside.

Ms. Kelly said there is no pending request.

Ms. Kistner asked about lighting.

Ms. Kelly said it needs to be similar to Mobil on the Run and is listed on Condition 6 & 11.

Ms. Erin Kirwin said she was concerned about the noise, lighting and hours. She said the air compressor is loud.

Mr. Goldman said the air compressor shouldn't be loud and he is happy to check the compressor to ensure it is working properly.

Ms. Silverman asked if the canopy lighting would be changing.

Mr. Goldman said they are using the same company as the competitor.

Ms. Silverman asked if all thelights currently are LED.

Mr. Goldman said most were.

Ms. Kistner asked how many pumps there were.

Mr. Goldman said there were a total of 8.

Mr. Lumley entered the exhibits to the record and the public hearing was closed.

Mr. Rovak made a motion to amend the hours to 7am to 9pm. All aye.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Don Magruder, Commission Member
AYES:	Kistner, Carney, Rovak, Magruder, Silverman, Schuh
ABSENT:	Hall

3. PUBLIC HEARING. Application #18-017: CONDITIONAL USE PERMIT FOR SCHAEFER AUTO BODY CENTER AT 10771 BAUR BOULEVARD TO EXPAND INTO THE ENTIRE BUILDING, FOR a TOTAL OF 61,350 SQ. FT.

Those speaking to the request were sworn in.

Mr. Scott Schaefer presented the proposal.

He said they were planning to expand the space to house the calibration machines for newer vehicles. He said he didn't expect there to be any additional volume.

Ms. Kistner asked if they agreed with staff suggestions.

Mr. Schaefer said he was in agreement.

Mr. Schaefer said they would be able to store more of the vehicles indoors.

Ms. Kelly said staff recommends approval.

Mr. Lumley offered the exhibits into the record and the public hearing was closed.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Matthew Schuh, Commission Member
SECONDER:	Gene Rovak, Commission Member
AYES:	Kistner, Carney, Rovak, Magruder, Silverman, Schuh
ABSENT:	Hall

WORK AGENDA

Moved to follow public comment as amended in the acceptance of the agenda.

DEPARTMENT REPORTS

Mr. Jaggi went over the upcoming projects.

He said the HBE project was not approved by City Council.

ADJOURNMENT

Ms. Silverman made a motion to adjourn. All in favor. 9:13 PM

city
of**CREVE COEUR**

300 North New Ballas Road • Creve Coeur, Missouri 63141
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www.creve-coeur.org

March 21, 2018

Malcolm Terrace Neighborhood Zoning Meeting

Dear Malcolm Terrace Resident:

The City of Creve Coeur would like to invite you to attend a meeting with City staff to learn about the possible zoning changes that are being considered for the Malcolm Terrace neighborhood to rezone the residential properties from the C-Residential Designed Development District (C-RDD) to the D-Single Family Residential District. The meeting will be held on:

Thursday, April 12, 2018, 6:00 P.M.

**Multi-Purpose Room
 Lower-level, Creve Coeur Government Center
 300 North New Ballas Road**

The Creve Coeur Planning and Zoning Commission held a public hearing on this application on March 5, 2018, with several citizens in attendance expressing their views on the proposed changes. The Commission directed staff to obtain more input from the residents to determine if there is a desire to move forward with changes to the zoning for the neighborhood. Staff will review the proposed changes with residents to obtain feedback on what changes (if any) to the zoning regulations affecting residential development in the neighborhood may be desired.

For background information on the contemplated zoning changes, please visit the City's website www.creve-coeur.org under the Planning Projects page or you may contact Creve Coeur planning staff at 314-872-2501.

We hope to see you on April 12th.

Sincerely,
 CITY OF CREVE COEUR

Jason W. Jaggi, AICP
 Director of Community Development

Attachment: Neighborhood Rezoning Meeting Ltr 032118 (#18-007: Malcolm Terrace Subdivision RZG)



city
of

CREVE COEUR

COMMUNITY DEVELOPMENT DEPARTMENT

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MEMO TO PLANNING AND ZONING COMMISSION

Meeting Date: May 7, 2018

Subject: **Case 18-007: Rezoning of the Malcolm Terrace Subdivision from C-RDD to D Single Family Residential**

Memo Prepared by: Jason W. Jaggi, AICP, Director of Community Development

Attachment: Invitation Letter for City Meeting to Residential Property Owners

At the March 5, 2018 meeting, the Planning and Zoning Commission held a public hearing to consider rezoning the residential properties within the Malcolm Terrace subdivision from the C-RDD district to the D Single Family Residential District. The rezoning to the “D” residential zoning district would allow for reduced building setbacks and increased site coverage. At the conclusion of the meeting, the Commission directed staff to obtain additional input from the residents of the area to determine if there is sufficient support for changes to the zoning regulations.

On March 21, 2018, planning staff sent a letter (attached) to all property owners within Malcolm Terrace inviting them to a meeting at the Government Center on April 12th to discuss the proposed changes. There were approximately 20 residents including Ward 2 Council member Ellen Lawrence in attendance. At the meeting, staff reviewed the proposed zoning changes and answered questions from the attendees. At the conclusion of the meeting, the majority of those in attendance were opposed to the rezoning.

Based on the comments received at the March 5th public hearing, the April 12 public meeting with planning staff, and comments received from residents regarding this rezoning case, there does not appear to be broad support for zoning changes at this time. For these reasons, staff would recommend that the rezoning application be withdrawn. Staff is requesting input from the Commission prior to sending out letters to the residents informing them of the status of this application.

Attachment: Staff Memo Withdraw 050718 (#18-007: Malcolm Terrace Subdivision RZG)

Malcolm Terrace Rezoning Information Sheet

November 20, 2017

Jason W. Jaggi, AICP, Director of Community Development

Background

The Malcolm Terrace subdivision occupies a unique place in Creve Coeur history. Created as a “railroad town,” the original subdivision lots were platted in 1895. The City annexed the subdivision in 1960 from unincorporated St. Louis County. Around 1975, the city proactively acquired properties to develop the Malcolm Terrace Park and encouraged the consolidation and redevelopment of the lots and rezoned the properties to C-Single Family District with Residential Designed Development (C-RDD) that established a 20 foot front yard, 12 foot side yard and 30 foot rear yard, with a minimum lot area of 10,000 square feet for the Malcolm Terrace Subdivision. Later, a revised adopted Zoning Map shows the zoning for the Malcolm Terrace Subdivision as C-Single Family District, without the RDD designation. In 1983, lot coverage standards were added as a new regulation for all residential zoning districts. In 1997, the “D” residential zoning district was created in response to the annexed area, comprised of Ward 4.

Many of the lots in Malcolm Terrace were platted with lot dimensions of 100-feet wide by 100-feet in depth for a total lot area of 10,000 square feet. Over time, several of the lots have been adjusted to different proportions; however, many of them remain at the originally platted size of 10,000 square feet. A 15-foot wide right-of-way between the rear yards of some lots was a feature of the Malcolm Terrace subdivision which remains today. This 15-foot wide area is not part of each lot but does provide additional separation between the rear yards of residential properties.

A former railroad right-of-way bisects the subdivision and is now owned by Ameren for utility purposes and includes trails as part of the Malcolm Terrace Park. Further, several of the original lots have been acquired by the City for public open space, including Malcolm Terrace Park.

Current Zoning Requirements (C-RDD)

The properties in Malcolm Terrace are zoned C-Single Family Residential with a Residential Design District designation which provides for the following development standards on each residential lot:

Minimum Lot Size

- 10,000 square feet

Building Setbacks (minimum distance of building from the property line)

- Front: 20-feet
- Side: 12-feet

- Rear: 30-feet

Site Coverage (includes all structures, driveways, and patios/sidewalks over 4-feet in width)

- 40 percent

Proposed Zoning Requirements (D-Single Family Residential District)

If the residential properties (excluding park and other properties owned by the City of Creve Coeur) were to be rezoned to the D-Single Family District, the following development standards would apply to each lot:

Minimum Lot Size

- 10,000 square feet

Building Setbacks (minimum distance of building from the property line)

- Front: 20-feet
- **Side: 8-feet**
- **Rear: 15-feet**

Site Coverage (includes all structures, driveways, and patios/sidewalks over 4-feet in width)

- 45 percent

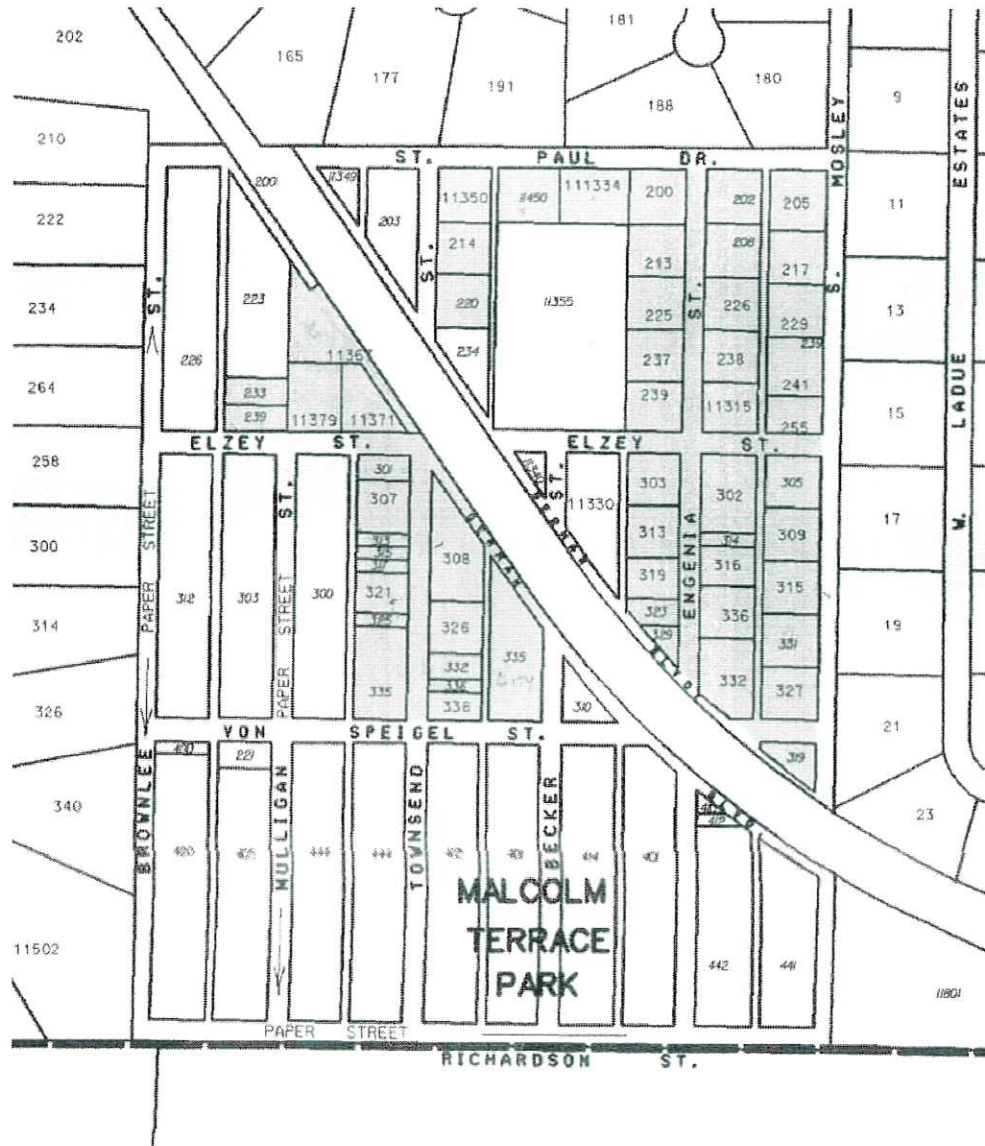
Rezoning Process

Should there be support from the property owners in Malcolm Terrace, the City will serve as the applicant to rezone all of the residential properties in Malcom Terrace from the “C-RDD” district to the “D” district.

The rezoning process requires a public hearing by the Creve Coeur Planning and Zoning Commission after the City has properly advertised the public hearing, including notifying all affected property owners by mail and placing a notice in the City’s monthly resident newsletter. The public hearing and possible vote to recommend approval is made by the Planning and Zoning Commission with final approval by ordinance of the City Council at two meetings. Upon passage of the ordinance by the City Council, the new zoning regulations under the “D” residential district would become effective.

Attached is a map showing the properties currently zoned “C-RDD” that would be rezoned to “D” single family district if supported by the residents and approved by the City Council. Also provided is a table comparing the development standards for both districts and a signature page for property owners in the Malcolm Terrace subdivision to express their support for the contemplated rezoning application.

Existing Zoning for Malcolm Terrace



Orange-shaded properties in Malcolm Terrace zoned C-RDD

Comparison of C-RDD to D Single Family Residential Zoning District Standards

	Front Yard Setback	Side Yard Setback	Rear Yard Setback	Lot Coverage	Min. Lot Size
C-RDD	20-feet	12-feet	30-feet	40%	10,000 SF
D	20-feet	8-feet	15-feet	45%	10,000 SF

RECEIVED

DEC 18 2017.

PLANNING DEPT.

6.1.c

Support for Malcolm Terrace Rezoning Initiative

As a property owner in Malcolm Terrace, I am in support of the request to rezone to all residential properties in the Malcolm Terrace subdivision within the City of Creve Coeur from C-Single Family Residential with a Residential Design Development designation (C-RDD) to a D-Single Family Residential District.

Property Owner(s) Print	Signature(s)	Street Address	Date
Erick Koschner	Erick Koschner	11342 St. Paul	11/21/17
Theresa Koschner	Theresa Koschner	11342 St. Paul	11/21/17
Stephen & STAN DARR Spurgeon	Stephen & Stan DARR Spurgeon	11334 ST. PAUL	11/24/17
NED MANISCALCO	Ned Maniscalco	202 EUGENIA ST.	11/25/17
LINDA MANISCALCO	Linda Maniscalco	202 EUGENIA ST.	11/25/17
Mye S. Lavarani	Mye S. Lavarani	214 EUGENIA ST	11/25/17
Vera Lavarani	Vera Lavarani	200 Eugenia St	11/25/17
Elizabeth CALIE	Elizabeth	213 Eugenia St	11/25/17
Johann Joo	Johann Joo	225 EUGENIA	11/25/17
Mine & Pat Miller	Mine & Pat Miller	237 Eugenia	12-9-17
Greg & Pat Yang	Greg & Pat Yang	303 Eugenia St	12-9-17
BRYAN ARD	Bryan Ard	302 Eugenia St	12-9-17
Boa 25th Hw	Boa 25th	311 Eugenia St	12-9-17
Tom Werle	Tom Werle	311 Eugenia St	12-9-17
Tina Werle	Tina Werle	217 S. Mosley Rd	12/16/17
Ally I. Schrey	Ally I. Schrey	217 S. Mosley Rd.	12-16-17
Patty L. Schrey	Patty L. Schrey	332 Eugenia St.	12-16-17
John Taylor	John Taylor	332 Eugenia	12-16-17
Paula Miller	Paula Miller		

Attachment: Rezoning Information Sheet for Residents, with Signatures in Support (#18-007: Malcolm Terrace Subdivision RZG)

[illegible]

Attachment: Rezoning Information Sheet for Residents, with Signatures in Support (#18-007: Malcolm Terrace Subdivision RZG)



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**APPLICATION TO PLANNING AND ZONING COMMISSION
#18-007 FOR THE REZONING OF THE MALCOLM TERRACE SUBDIVISION
FROM C-RDD TO D SINGLE FAMILY RESIDENTIAL**

FOR THE MEETING OF: Monday, March 5, 2018

LOCATION: Malcolm Terrace Subdivision

REQUEST: Jason Jaggi, Director of Community Development, on behalf of the City of Creve Coeur, and in consultation with residents of the Malcolm Terrace subdivision, has submitted an application to rezone the Malcolm Terrace Subdivision, generally located on S. Mosley Road south of St. Paul Drive, and north of Von Spiegel Street, from C Single Family Residential with Residential Designed Development (C-RDD) to D Single Family Residential, to more accurately reflect the existing development in the area.

ADDITIONAL INFORMATION: Created as a “railroad town,” the original subdivision lots were platted in 1895. The City annexed the Subdivision in 1960 from unincorporated St. Louis County. In 1975, the city proactively acquired properties to develop the Malcolm Terrace Park and encouraged the consolidation and redevelopment of the lots and rezoned the properties to C Single Family District with Residential Designed Development (C-RDD) in 1977 (Ordinance 0801) that established a 20 foot front yard (or 40 feet to the centerline of the street), 12 foot side yard and 30 foot rear yard, with a minimum lot area of 10,000 square feet. The D Single Family District was created when Ward IV on the west end of town was annexed into the City in 1997.

APPLICANT: Jason Jaggi
Director of Community Development
City of Creve Coeur
300 N. New Ballas Road
Creve Coeur, MO 63141

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further the goals and/or implement the Comprehensive Plan?

Comprehensive Plan References

- Estate Neighborhood 1 (ER-1)

Zoning Code References

- Section 405.270: C Single Family Residential, with RDD Residential Designed Designation.
- Section 405.280: D Single Family Residential
- Section 405.1060 Zoning Changes and Text Amendments



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner

DATE: 2/27/2018

ATTACHMENTS: Malcolm Terrace Rezoning Information Sheet and Resident Signatures in Support
Malcolm Terrace Residents Signature Sheet in Opposition
Ordinance 0801

BACKGROUND

Over the years, the City has received inquiries from homeowners who have contemplated adding on decks, sunrooms, and other types of building additions within Malcolm Terrace. While the City has not tracked these inquiries, and therefore cannot quantify them, it has not been uncommon that the proposed additions initially proposed by the homeowner have not been allowed due to the zoning requirements for setbacks or site coverage. A recent instance occurred this past summer when a homeowner was seeking to add a sunroom onto the rear of the home and was not allowed to do so based on the rear yard setbacks. The Board of Adjustment ultimately denied the request; however, the need to revisit the existing development standards for Malcolm Terrace based on today's expectations for residential development and to allow homeowners the opportunity for reinvestment remains. Based upon the issues raised during the variance discussion, several homeowners requested the City to pursue other options.

Staff has submitted a rezoning request to consider changing the zoning of the entire Malcolm Terrace subdivision from C-RDD to the D district which would provide reduced setbacks and increased site coverage. An information sheet and signatures of residents indicating support for the changes is attached to this staff report. However, Staff has also recently received a petition indicating opposition from residents in the neighborhood which is attached as well.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Residence	A Single Family Residential	St. Paul Street
South	Malcom Terrace Park	NA	NA
East	Residence	A Single Family Residential	S. Mosley Road
West	Malcolm Terrace Park	NA	NA

COMPREHENSIVE PLAN ANALYSIS

The *Creve Coeur 2030* Comprehensive Plan included the subject properties within Estate Neighborhood 1 (ER-1) place type that is of medium-sized lots (15,000 sq. ft. to 1 acre) with stately homes in quiet enclaves. This place type designation includes neighborhoods that are currently within the B and C single family residential zoning districts. The Suburban Neighborhood 2 (SR-2) consists of compact lots (minimum 10,000 sq. ft.) with single-family or attached townhome residential neighborhoods with an interconnected street grid and on-street, parallel parking. Wooded common ground should be used to accommodate natural features. The SR-2 place type is coterminous with the current D district.

The Residential Neighborhoods Recommendations discusses the challenges facing the City's residential neighborhoods that include projected changes to the market demographics and the continued aging/market obsolescence of existing housing. The Plan was intended to provide guidelines that preserve the character and property values of existing neighborhoods while allowing for incremental evolution of redevelopment. The residential place type districts largely identified the existing zoning districts, but foresaw the evolution of these areas.

While the Malcolm Terrace subdivision was placed within the ER-1 place type, the vision and development characteristics of the SR-2 place type seem to align with the characteristics of the Malcolm Terrace subdivision. The characteristics of the SR-2 place type which are found in the Malcolm Terrace subdivision include gridded streets with multiple intersections, 10,000 square foot lots, and Malcolm Terrace Park serving as open space directly benefiting the residents of the neighborhood.

As stated on page 64 "The Creve Coeur 2030 Plan's recommendations protect the physical characteristics of residential neighborhoods while guiding contextually-sensitive redevelopment as dictated by existing and future market forces. While the recommendations for residential neighborhoods presented herein

apply to all of Creve Coeur's residential place types, implementation of recommendations should be particular to the characteristics of each individual place type. This entails calibrating the individual recommendations to both the existing build character as well as the desired future vision of each place type district" For these reasons, a zoning change to the D District, which is classified in the comprehensive plan under the SR-2 place type is consistent with the principles of the plan for this residential area of Creve Coeur.

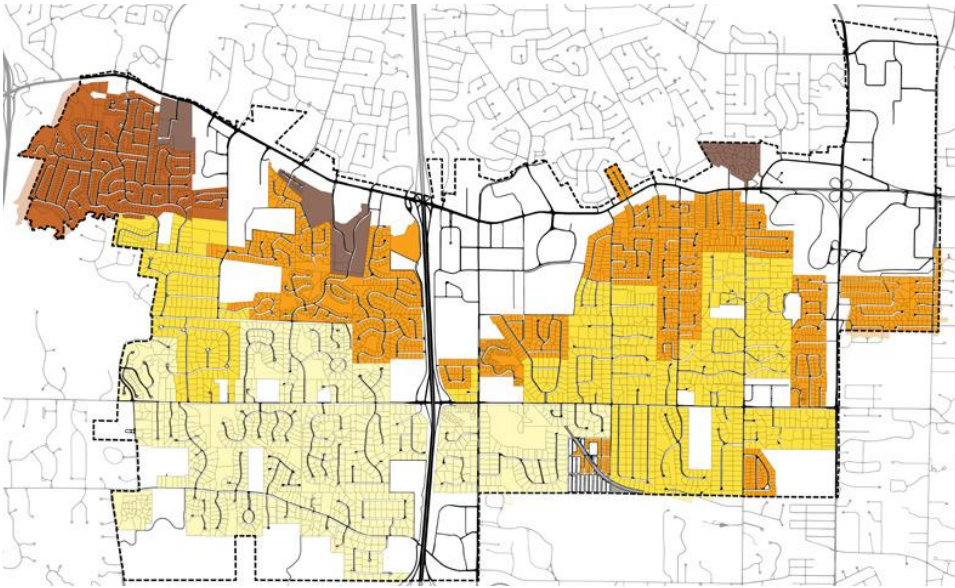


Figure 1: Close-up of the Residential Place Type Districts Map on page 65

ZONING ANALYSIS

Zoning and Development History

As discussed above, the Malcolm Terrace Subdivision was originally created as a "railroad town" with lots platted in 1895, where the lots were 25 feet by 100 feet.

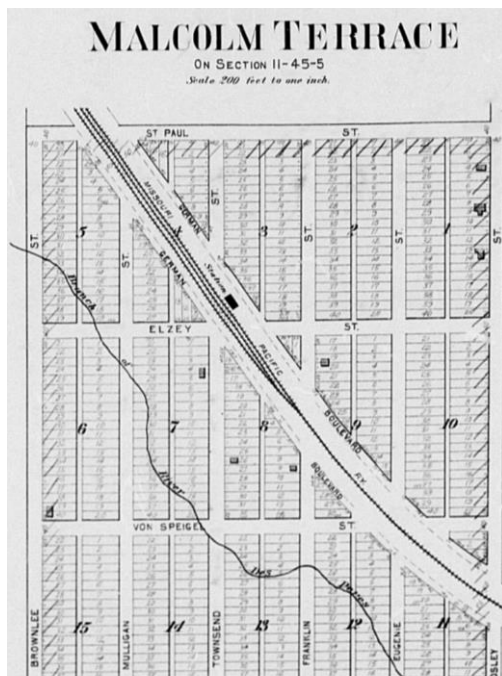


Figure 2: Original Plat for Malcolm Terrace Subdivision

The City annexed the Subdivision in 1960 from unincorporated St. Louis County. In 1975, the City proactively acquired properties to develop the Malcolm Terrace Park and encouraged the consolidation and redevelopment of the lots and rezoned the properties to C Single Family District with Residential Designed Development (C-RDD) in 1977 (Ordinance 0801) that established a 20 foot front yard (or 40 feet to the centerline of the street), 12 foot side yard and 30 foot rear yard or 37.5 feet from the centerline of an alley, with a minimum lot area of 10,000 square feet.

At that time, the D Single Family zoning district was not a category within the City's Zoning Ordinance. The D zoning district was created with the adoption of the 1997 Zoning Ordinance when Ward IV was annexed into the City.

Development Characteristics

Many of the existing homes were developed within the C-RDD Standards in the 80's and 90's. However, the adopted Zoning Maps never indicated the RDD Designation within the C District for this area. Further, maximum site coverage was then introduced into the Zoning Code in 1983. The maximum site coverage for the C District is 40%, thus many of the homes in the Malcolm Terrace Subdivision are non-conforming with regard to site coverage. Although not the current practice, there have also been various past interpretations that have allowed site coverage based on the standard of the D District. Confusion in the Zoning Map that didn't properly indicate the RDD Designation in 1983, nor on more recently adopted Zoning Maps, have led to inconsistencies and the need for variance requests for the area.



Figure 3: Close-up of the Zoning Map showing the C District of Malcolm Terrace Subdivision, the public land of Malcolm Terrace Park is un-zoned. This request will not create any new lots or effect any of the City-owned properties within Malcolm Terrace Park

Further, with respect to the rear yard setbacks, most of the lots are adjacent to a 15-foot wide unimproved alley to the rear of the home which is maintained but not owned by the residents and does not contribute to the lot area or setbacks from the property or are adjacent to park or open spaces as illustrated below:

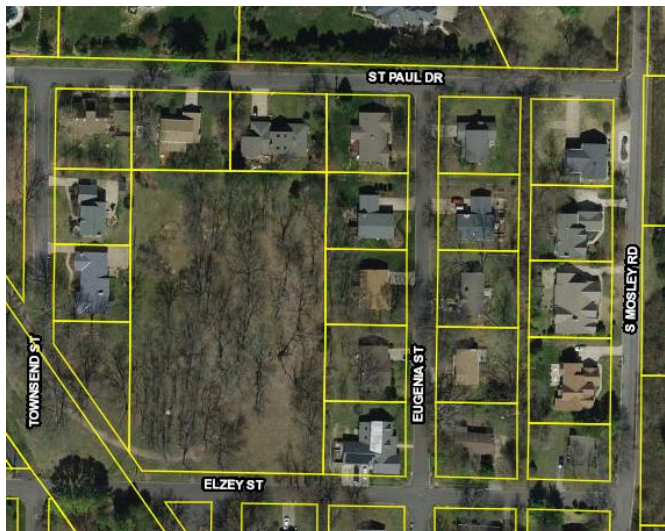


Figure 4: Close-up of GIS image of a block within the Malcolm Terrace Subdivision showing unimproved alleys and lots backing up to park space.

However over time, many properties have purchased available adjacent properties or completed land swaps with the City to allow for larger homes in the area, as shown in the area south of the former railroad easement:



Figure 5: Close-up of GIS image of the larger homes in the area have purchased adjacent land to allow for redevelopment.

As housing styles have changed and residents wishing to expand the existing structure, there has been little room for the homes in the subdivision to “grow” and variances are difficult to obtain based upon the personal nature of the request and not the unique nature of the lot within the subdivision. The rezoning request only effects the existing residential properties and is not in support for any new development in the area, nor will create any new lots, but is meant to more accurately reflect the existing development patterns and to allow for minor additions and/or redevelopment of existing homes.

PROPOSED REZONING

Rezoning

Section 405.1060.E offers the following guidance regarding rezonings:

Zoning regulations should be changed if the public welfare is not served by the zoning or if the public interest served by the zoning is greatly outweighed by the detriment to private interests. In making this determination, the City should consider the adaptability of the subject property to its zoned use and the effect of zoning on property value in assessing private detriment. The character of the neighborhood, the zoning and uses of nearby property, and the detrimental effect that a change in zoning would have on other property in the area are relevant to the determination of public benefit.

Below is a table that compares the D Single Family District to the C District, with that of the Malcolm Terrace Subdivision C-RDD regulations:

	D SINGLE FAMILY ZONING DISTRICT	MALCOLM TERRACE SUBDIVISION ZONED C-RDD (APPROVED IN 1977)	C SINGLE FAMILY ZONING DISTRICT
Min Lot Size (sq.ft.)	10,000 (min) 15,000 (max)	10,000 (min.)	15,000 (min.)
Lot Frontage	70 ft. (min)	100 ft. (min.)	75 ft. (min.)
Lot Depth	100 ft. (min)	100 ft.	100 ft.
Front Yard Setback	20 ft.	20 ft.	45 ft.
Side Yard Setback	8 ft.	12 ft.	15 ft.
Rear Yard Setback	15 ft.	30 ft. (or 37.5 feet from the center line of the alley)	30 ft.
Maximum Site Coverage	45%	40% * (most homes in area were built prior to site coverage and may be non- conforming.)	40%

Table 1: Zoning Comparison Table

The most significant changes with the rezoning would be the reduced rear yard setback from 30-feet to 15 feet. The side yard setback would also be reduced from 12-feet to 8 feet. A smaller increase in site coverage (5%) would also be permitted as well as a reduction in the minimum lot frontage from 100 to 70 feet. The minimum front yard setbacks and lot depths would not change. It should be noted that the minimum lot width for Malcolm Terrace is greater than the standard C district (100 feet compared to 75 feet).

CONCLUSION AND MOTION

The D District provides the development standards associated with lots of 10,000 square feet as found elsewhere in the City. Therefore, it would seem reasonable that these standards should also be applied to the Malcolm Terrace Subdivision. Staff has not prepared a draft ordinance at this time and would recommend that the Commission conduct a public hearing to consider comments from the residents of the neighborhood to ascertain the desire to adjust the development standards through a rezoning to the D District. After its deliberations, staff would request direction from the Commission.

“I move to continue the rezoning of the Malcolm Terrace subdivision from C-RDD to D Single Family Residential as submitted with Application #18-005 to the meeting of March 19th (or to a later date).”

APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE (CHAPTER 405 OF THE CREVE COEUR MUNICIPAL CODE)

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL MAP

Malcolm Terrace Subdivision

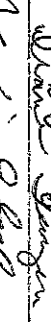
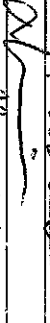


RECEIVED
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PLANNING DEPT.

(GZR unisiviqbnpns eacraeJ mJmcolM : 200-81#) 8102T030 pccR searutauSig uonitsoDdd Attachment: Op

Creve Coeur Citizens OPPOSING Rezoning from "C-RDD" Single Family Residential with a Residential Design Development Designation to "D" Single Family Residential, specifically all properties currently zoned "C-RDD" within the Malcolm Terrace area

We, the undersigned property owners and residents, OPPOSE the rezoning request, submitted by City Staff, for the above referenced property(ies) bounded by St. Paul Street on the North, South Mosley Road on the east, Westwood Country Club Grounds on the South and Westchester Estates on the West; all within the Creve Coeur City limits and designated as Malcolm Terrace, including the two City parks designated as Malcolm Terrace Park and Serenity Grove.

PRINTED NAME	SIGNATURE	ADDRESS	EMAIL	PHONE	DATE
Gray Muck		220 Townsend	gsmuck@stcglobal.net	314-991-9666	2-8-2018
Gregory		237 Eugenia	greg.young.greg@gmail.com	314 548 4963	2-8-18
Diane Taylor		11323 Eley	diane@LRCD.com	314 997-4716	2-8-18
Alfred Schaefer		2415 Alameda Rd		314 915 7572	2/8/18
Patty Schaefer		2195 MOORE RD			2/8/18
Pam Miller		225 E. CEDAR	mlm314@aol.com	314-568-2935	2/8/18
Marie Muller		225 E. CEDAR	"	"	2/8/18
Isiah Kinsuff		226 E. Eugenia St	tosuimachutwall.com		2/8/18
Richard Moeck		232 Eugenia	richard.moeck76@gmail.com	314-567-6353	2/9/18
Carol E. Moeck		232 Eugenia St.		314-567-6353	2/19/18
Robert McKenna		307 Townsend St.	robertmckenna@yahoo.net	314-991-7686	2/9/18
Charles McKenna		307 Townsend St.		314-992-7686	2/9/18
Chris Thompson		308 Townsend St.	stipathompson@netscape.net	314-993-9505	2/6/18
Pat Trout		305 S. Mosley			
Ted Goetz		11342 E. 22nd ST	T.Goetz@aol.com	634 692 8523	2/9/18
Mary Goetz		11342 E. 22nd ST	"	"	"
Nick Alcala		11379 E. 22nd Street	NickAlcala@gmail.com	314-472-5588	2/10/18
Alma Lawrence		11379 E. 22nd	almlawrence@gmail.com	314-472-5588	2/10/18
Matt Stoldner		315 South Mosley Rd	mstoldner@gmail.com	618-725-2804	2/10/18
Dana Stoldner		315 South Mosley Rd		314-609-3491	2/10/18
Auril Greenie		303 S. Mosley Rd		314-507-0120	2/10/18

When I signed
the petition
for the Rezoning
I was not aware
of what would
happen! After studying
the situation I'm
no longer okay
with this
Boaz Steiner

2-28-2018 6.1.f

To whom it may concern,
Boaz and Linda
Steiner are
against Rezoning
Malcolm Terrace park
neighborhood!
Thank you,
Sincerely
Boaz and Linda
Steiner
302 Eugenia St.



Whitney Kelly <wkelly@crevecoeurmo.gov>

Fwd: Malcolm Terrace

1 message

Jason Jaggi <jjaggi@crevecoeurmo.gov>
To: Whitney Kelly <wkelly@crevecoeurmo.gov>

Thu, Mar 1, 2018 at 4:58 PM

----- Forwarded message -----

From: **Diana Sprich** <franks129@sbcglobal.net>
Date: Thu, Mar 1, 2018 at 4:56 PM
Subject: Malcolm Terrace
To: jjaggi@crevecoeurmo.gov

Hello Mr. Jaggi,

We oppose the proposed rezoning in Malcolm Terrace.

These issues should be viewed by the City on a case by case basis. The zoning change would affect the entire neighborhood and change the character of the area. Residents purchased homes there because of the way it is zoned. Protect those residents by leaving the zoning as is.

Please add our comments to the record.

Thank you,

Diana and Frank Sprich
[417 N Mosley Rd](#)
63141

Sent from my iPhone

--
Jason W. Jaggi, AICP
Director of Community Development
[City of Creve Coeur, Missouri](#)
[300 North New Ballas Rd](#)
[Creve Coeur, MO 63141](#)
[314-872-2504](#)

www.creve-coeur.org

Attachment: Public Comment (#18-007: Malcolm Terrace Subdivision RZG)

BILL NUMBER 819ORDINANCE NUMBER 801

AN ORDINANCE AMENDING SECTION 2 OF ORDINANCE NO. 752 WHICH AMENDED ORDINANCE NO. 531 TO PROVIDE FOR RESIDENTIAL DESIGN DEVELOPMENT PERMITS IN "A", "B", AND "C" SINGLE FAMILY DISTRICTS, AND SPECIFICALLY REZONING PARTS OF MALCOLM TERRACE SUBDIVISION TO "C" SINGLE FAMILY DISTRICT AND GRANTING A RESIDENTIAL DESIGN DEVELOPMENT PERMIT THEREFOR.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

SECTION 1: PARAGRAPH 1 OF SECTION 2 OF ORDINANCE NO. 752 IS HEREBY AMENDED TO READ AS FOLLOWS:

SECTION 2: THE FOLLOWING DESCRIBED PROPERTY IS HEREBY REZONED TO "C" SINGLE FAMILY DISTRICT AND THE ZONING MAP OF THE CITY SHALL BE AMENDED ACCORDINGLY; FURTHER, A RESIDENTIAL DESIGNED DEVELOPMENT PERMIT IS HEREBY GRANTED FOR THE FOLLOWING DESCRIBED TRACT OF LAND SUBJECT TO THE CONDITIONS AND RESTRICTIONS, INCLUDING THOSE AS TO FRONT YARDS AND SIDE YARDS, SHOWN ON THE FINAL DEVELOPMENT PLAN (INCLUDING ANY DEVIATIONS FROM STANDARD DEVELOPMENT PLANS AND ZONING REQUIREMENTS) FOR THE FOLLOWING DESCRIBED TRACT OF LAND, ALL IN ACCORDANCE WITH THE PROVISIONS OF SECTION 15.19 OF ORDINANCE NO. 225, AS AMENDED HEREIN, SUCH PLAN BEING IDENTIFIED BY THE SIGNATURE OF THE CHAIRMAN OF THE PLANNING AND ZONING COMMISSION AND THE MAYOR AS OF THE DATE OF ADOPTION OF THIS ORDINANCE AND ATTESTED BY THE CITY CLERK; DESCRIPTION, TO-WIT:

A TRACT OF LAND WITHIN THE SUBDIVISION OF MALCOLM TERRACE, AS RECORDED IN PLAT BOOK 4, PAGE 92, IN THE YEAR OF 1895, DESCRIBED AS BLOCKS OF LAND AND PORTIONS THEREOF IN THE SOUTHWEST ONE-FOURTH OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 5 EAST, COUNTY OF ST LOUIS, STATE OF MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERN LINE OF SAID SUBDIVISION AT THE EASTERN PROLONGATION OF THE NORTH LINE OF ST. PAUL STREET, ALL AS SHOWN ON SAID PLAT; THENCE SOUTH AND ALONG SAID EASTERN LINE OF SAID SUBDIVISION, BEING ALSO ALONG THE EAST LINE OF MOSLEY ROAD, TO A POINT IN THE EAST PROLONGATION OF THE NORTH LINE OF VON SPEIGEL STREET, SAID LAST MENTIONED NORTH LINE BEING ALSO THE SOUTH LINE OF BLOCK 10; THENCE WEST AND ALONG THE SOUTH LINE OF BLOCK 10, AND ITS CONTINUATION TO THE MOST WESTERN LINE OF GERMAN BOULEVARD (EAST), 20 FEET WIDE; THENCE NORTHWESTWARDLY AND ALONG THE WESTERN LINE OF SAID GERMAN BOULEVARD (EAST) TO

Attachment: Ordinance 0801 (#18-007: Malcolm Terrace Subdivision RZG)

ITS INTERSECTION WITH THE WESTWARDLY PROLONGATION OF THE SOUTH LINE OF LOT 13 OF BLOCK 9; THENCE CONTINUING ALONG SAID WEST PROLONGATION TO A POINT IN THE WEST LINE OF FRANKLIN AVENUE OF SAID MALCOLM TERRACE SUBDIVISION, BEING ALSO THE EAST LINE OF BLOCK 8; THENCE SOUTH AND ALONG THE EAST LINE OF SAID BLOCK 8 TO A POINT IN THE SOUTH LINE OF SAID BLOCK 8; THENCE WEST AND ALONG THE SOUTH LINE OF SAID BLOCK 8 AND BLOCK 7, TO A POINT IN THE WEST LINE OF AN ALLEY DIVIDING SAID BLOCK 7; THENCE NORTH AND ALONG THE WEST LINE SAID ALLEY AND ITS PROLONGATION, ACROSS ELZEY STREET TO A POINT IN THE NORTH LINE OF ELZEY STREET, BEING ALSO THE SOUTH LINE OF BLOCK 4; THENCE WEST AND ALONG THE SOUTH LINE OF SAID BLOCK 4 TO A POINT IN THE EAST LINE OF MULLIGAN STREET, BEING ALSO THE WEST LINE OF SAID BLOCK 4; THENCE NORTH AND ALONG THE WEST LINE OF SAID BLOCK 4 TO THE MOST NORTHERN CORNER OF LOT 17 IN SAID BLOCK 4; THENCE PERPENDICULAR WITH THE WEST LINE OF GERMAN BOULEVARD (WEST), AS SHOWN ON SAID PLAT OF MALCOLM TERRACE AS BEING 20.0 FEET WIDE, TO A POINT IN THE EASTERN LINE OF GERMAN BOULEVARD (WEST); THENCE SOUTHEASTWARDLY AND ALONG THE EASTERN LINE OF SAID GERMAN BOULEVARD (WEST), 20.0 FEET WIDE, TO ITS INTERSECTION WITH THE NORTH LINE OF SAID ELZEY STREET; THENCE EAST AND ALONG THE NORTH LINE OF SAID ELZEY STREET, ACROSS THE ABANDONED RAILROAD RIGHT-OF-WAY, 100.00 FEET WIDE, AND ACROSS GERMAN BOULEVARD (EAST) AND CONTINUING ALONG THE NORTH LINE OF ELZEY STREET TO A POINT IN THE WEST LINE OF AN ALLEY, 15.00 FEET WIDE, DIVIDING SAID BLOCK 2 OF SAID SUBDIVISION; THENCE NORTH AND ALONG THE WEST LINE OF SAID ALLEY DIVIDING BLOCK 2, TO A POINT IN THE SOUTH LINE OF LOT 24 OF SAID BLOCK 2; THENCE WESTWARDLY ALONG THE SOUTH LINE OF SAID LOT 24, ACROSS FRANKLIN STREET, 40.00 FEET WIDE, CONTINUING WESTWARDLY ALONG THE SOUTH LINE OF LOT 4 IN BLOCK 3, AND ACROSS AN ALLEY 15.00 FEET WIDE, DIVIDING SAID BLOCK 3, TO A POINT IN THE WEST LINE OF SAID ALLEY; THENCE SOUTH ALONG THE WEST LINE OF SAID LAST MENTIONED ALLEY, TO THE SOUTH LINE OF LOT 30 IN SAID BLOCK 3; THENCE WESTWARDLY ALONG THE SOUTH LINE OF SAID LOT 30, TO THE WEST LINE OF BLOCK 3 AS SHOWN ON SAID SUBDIVISION PLAT; THENCE NORTHWARDLY ALONG THE WEST LINE OF SAID BLOCK 3, 125 FEET, MORE OR LESS, TO THE SOUTH LINE OF LOT 25 IN SAID BLOCK 3; THENCE WESTWARDLY

ACROSS TOWNSEND STREET, 40 FEET WIDE, ALONG THE DIRECT PROLONGA-
TION WESTWARDLY OF THE SOUTH LINE OF SAID LOT 25, 40.00 FEET TO
THE WEST LINE OF SAID TOWNSEND STREET; THENCE NORTHWARDLY AND ALONG
THE WEST LINE OF SAID TOWNSEND STREET AND CONTINUING NORTHWARDLY
ACROSS ST. PAUL STREET TO THE NORTH LINE OF ST. PAUL STREET;
THENCE EASTWARDLY AND ALONG THE NORTH LINE OF ST. PAUL STREET AND
ITS CONTINUATION EASTWARDLY TO THE EAST LINE OF MOSLEY ROAD, AND
THE POINT OF BEGINNING. EXCEPTING THAT PORTION OF LAND LYING
BETWEEN THE EXISTING EASTERN BANK OF A CREEK AND THE WEST LINE
OF THE ALLEY DIVIDING SAID BLOCK 7, ALL BEING NORTH OF VON SPEIGEL
STREET. CONTAINING 17.60 ACRES, MORE OR LESS.

SECTION 3: THIS ORDINANCE SHALL BE IN FULL FORCE AND
EFFECT UPON THE EXPIRATION OF FIFTEEN (15) DAYS AFTER ADOPTION
BY THE BOARD OF ALDERMEN AND THE SIGNING THEREOF BY THE MAYOR
OR UPON APPROVAL OF THE FINAL DEVELOPMENT PLAN BY THE BOARD OF
ALDERMEN, WHICHEVER SHALL OCCUR LAST.

PASSED THIS 13TH DAY OF JUNE 1977.

HAROLD L. DIELMANN, MAYOR

APPROVED THIS 13TH DAY OF JUNE 1977.

Harold L. Dielmann
HAROLD L. DIELMANN, MAYOR

ATTEST:

Laverne Collins
LAVERNE COLLINS, CITY CLERK



300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

**APPLICATION TO PLANNING AND ZONING COMMISSION
#18-018: BOUNDARY ADJUSTMENT BETWEEN 4509 AND 10725 BAUR
BOULEVARD, AND SITE DEVELOPMENT PLAN AND
CONDITIONAL USE PERMIT FOR SCHAEFER AUTO BODY CENTER
AT 4509 BAUR BOULEVARD**

FOR THE MEETING OF: Monday, May 7, 2018 at 6:30 PM

LOCATION: 4509 and 10725 Baur Boulevard, zoned LI-Light Industrial District

REQUEST: Marty Henson, Henson Consulting, LLC, on behalf of Scott Schaefer, of Schaefer Auto Body Center, Inc., and Drew Bextermueller, Dierbergs Realty # 2, Inc., has submitted a request for a boundary adjustment between the properties addressed as 4509 and 10725 Baur Boulevard, and a conditional use permit and site development plan for a new Schaefer Auto Body Center at 4509 Baur Boulevard

ADDITIONAL INFORMATION: Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) are permitted as conditional uses with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission in the LI-Light Industrial District. Originally developed under St. Louis County jurisdiction, the entire area was annexed into the City of Creve Coeur in 1990 and subsequently zoned LI-Light Industrial District.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further the goals and/or implement the Comprehensive Plan?
- Is the request consistent with the required findings for a conditional use permit?

Creve Coeur 2030

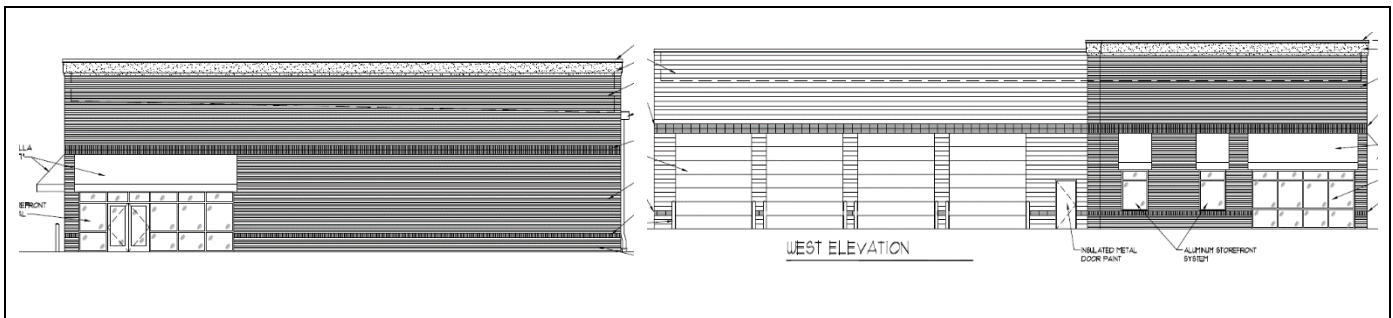
- Mixed-Use Innovation Campus District (MUIC)

Zoning Code References

- Section 405.210: Regulation of Uses, Table A
- Section 405.380: LI-Light Industrial District
- Section 405.470 Conditional Uses

APPLICANT: Scott Schaefer
Schaefer Auto Body Centers, Inc.
10771 Baur Boulevard
Creve Coeur, MO 63132

APPLICANT'S REPRESENTATIVE: Marty Henson
Henson Consulting, LLC
2317 Ossenfort Road
Glencoe, MO 63038



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner

DATE: 5/3/2018

ATTACHMENTS: Applicant's Materials received April 30, 2018 and revised Building Elevations received May 4, 2018
Draft Ordinance

PROPOSAL

The Applicants are seeking a boundary adjustment between 4509 and 10725 Baur Boulevard, and for the site development plan and new conditional use permit for a new 8,960 Auto Body facility on the new adjusted lot of 4509 Baur Boulevard. The new adjusted lot for 4509 Baur Boulevard meets with the minimum lot dimensions for properties in the LI-Light Industrial District where all lots are greater than ½ acre, with a minimum lot width of 100 feet and lot depth of 150 feet. The new lot at 4509 Baur is 1.366 acres, with a lot width of 163 feet and a lot depth of 352 feet. The new adjusted lot of 10725 Baur Boulevard is 4.961 acres.

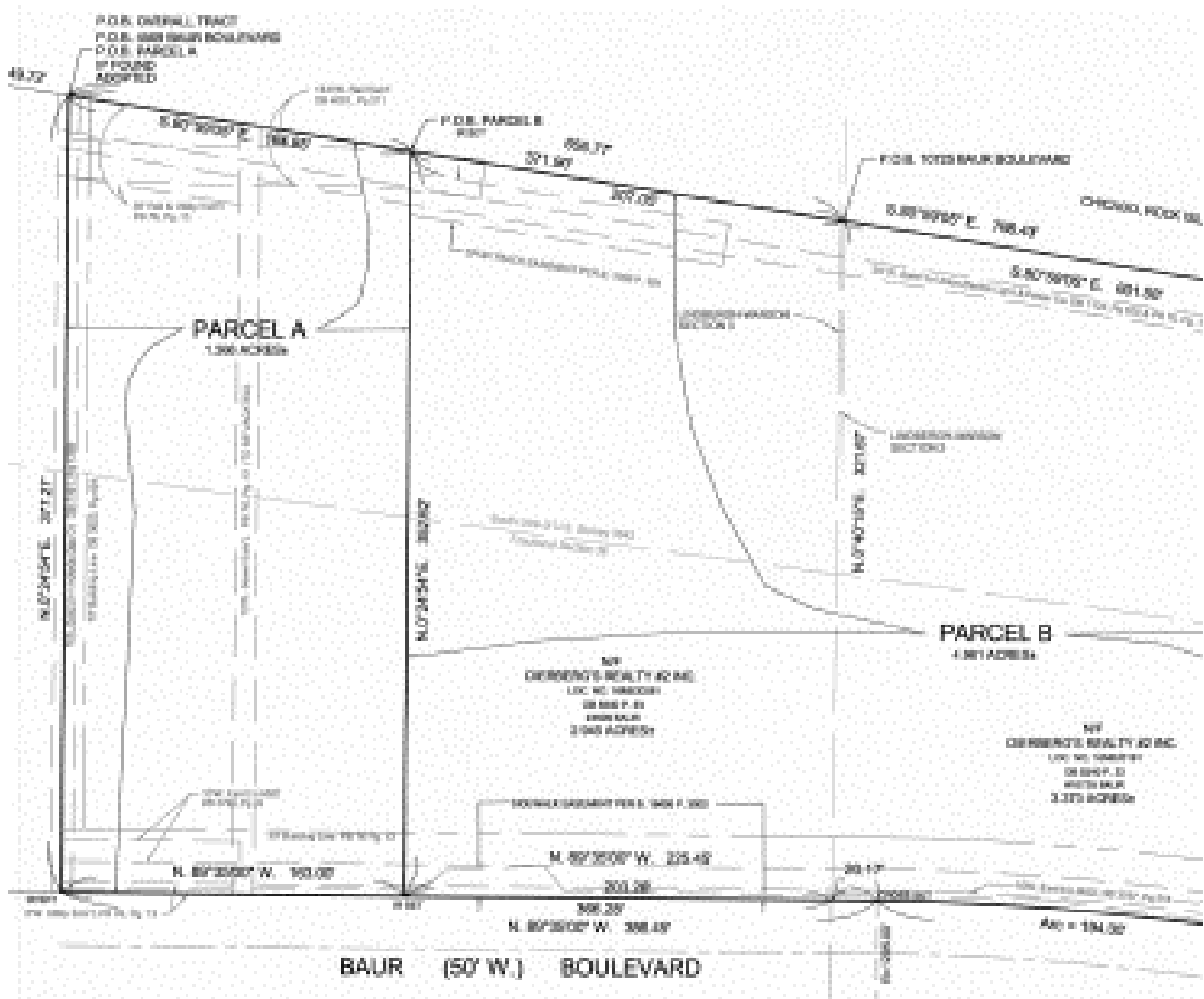


Figure 1: Close-up of the Boundary Adjustment Plat

Schaefer Auto Body is seeking approval for a new 8,960 sq. ft. Auto Body Repair center that would serve as a training facility or secondary facility to the auto body center at 10771 Baur Boulevard. The building consists of a front office portion in a dark grey in "Oxford Grey" and the work area in a smooth faced grey "Earl Grey" with accent bands. Materials or color renderings have not been provided, however below is a Google image of the color of the proposed main materials. The Applicant will have materials samples at the meeting. The area north of the building is a 5 foot sight-proof, fenced area for storage of damaged vehicles.

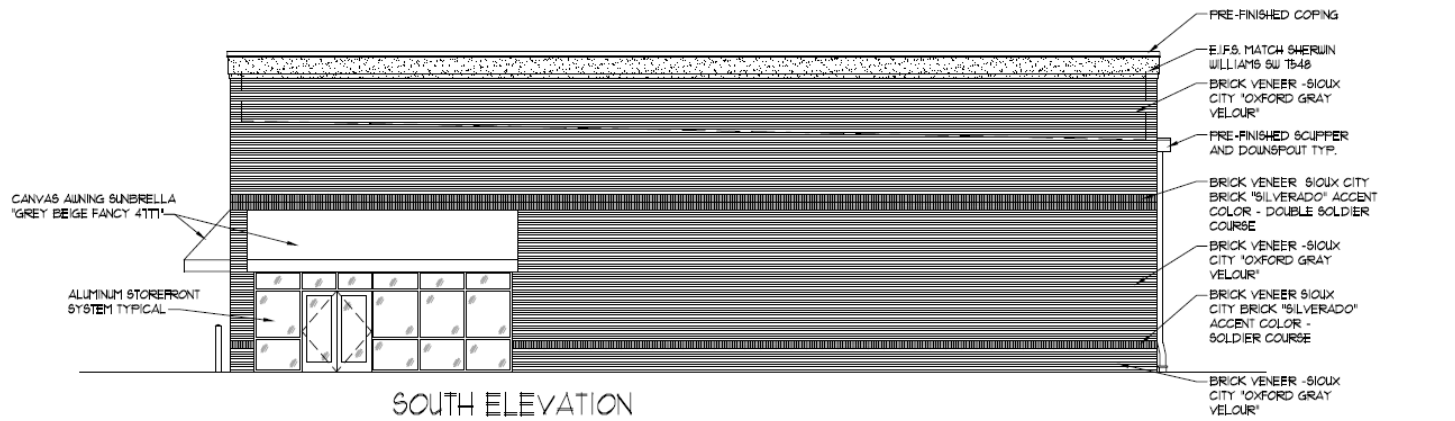


Figure 2: Close-up of the proposed South Elevation



Figure 3: Close-up of the West Elevation



Figure 4: Google image of Sioux City Brick in Oxford Grey, and a smooth face CMU Block in "Earl Grey"

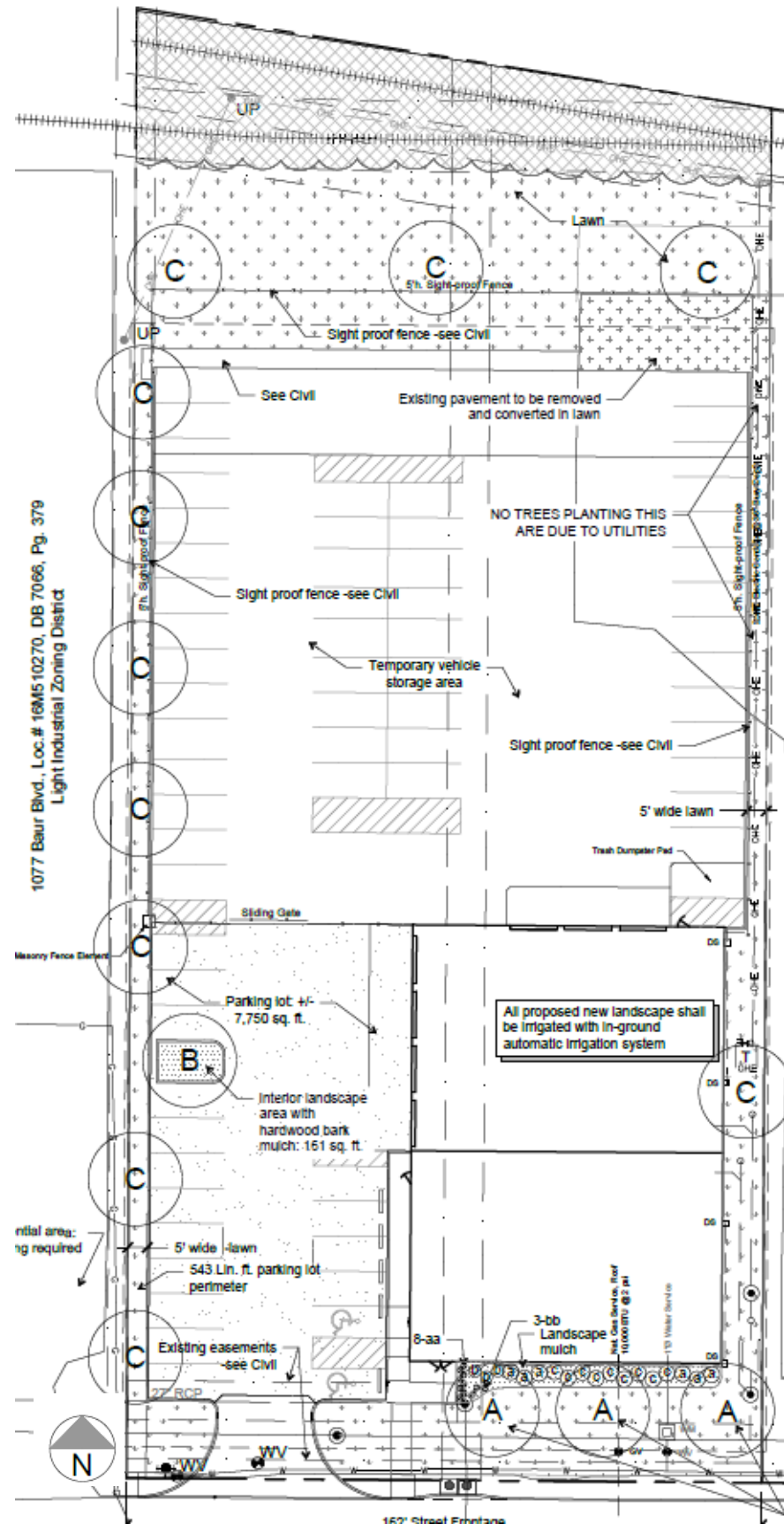


Figure 5: Close-up of the proposed Landscape Plan

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Industrial	Unincorporated St. Louis Co.	N/A
South	Industrial	LI-Light Industrial	Baur Boulevard
East	Industrial	LI-Light Industrial	NA
West	Schaefer Autobody Solutions	LI-Light Industrial	NA

COMPREHENSIVE PLAN REVIEW

The subject property is located within the Mixed-Use Innovation Campus District and within the Industrial Park area of the 39 N. Master Plan. The vision for the Mixed-Use Innovation Campus District (MUIC) is a sustainable hub for cutting-edge research, job opportunities, and community amenities that encourages innovation, collaboration, and entrepreneurship in a vibrant, mixed-use environment. The existing green space that is part of this proposal was shown in the 39 North Master Plan as an option to connect to the future Centennial Greenway that would run along the train tracks to the north. The Applicants have indicated that they would be willing to provide a 25 foot greenway easement for the future connection. However, the area is showing that the entire north property would be fenced in. Therefore Staff has included that a condition of approval that the Applicant work with Staff to include such an easement to implement the goals and objectives of the 39 N. Master Plan.

Design Guidelines

Design Guidelines strongly encourage interesting, articulated and high quality structures. Long or continuous wall planes should be avoided. Buildings should exhibit detail and elements appropriate for pedestrian view that the building architecture should be designed to provide an attractive appearance that is compatible with the surrounding area. All elevations should be designed with similar architectural detailing and materials on all building elevation. Preferred building materials include stone, brick, architectural precast concrete, aluminum and glass. The materials selected should require minimum maintenance. Their color should be integral to the material and not painted on. Changes in materials should occur at the inside of a natural breaking point. Concrete masonry should be limited to split face or burnished units. Section 405.380(A) Purpose and Intent for the LI-District states: The purpose of the "LI" Light Industrial District is to encourage the development and redevelopment of areas of the City which are designated as industrial by one (1) of the City's land use plans. The "LI" District is further intended to ensure high quality future development through the use of site development plan approval procedures which provide for specific consideration of access, parking, drainage, landscaping and design factors.

The proposal includes a brick front for the office area with a grey smooth CMU for the work area. A column detail has been provided to create a natural break in the material of the office area to the smooth faced CMU, and to break up the roof line. The smooth faced CMU is inconsistent with the Design Guidelines which recommends the use of split faced block. While the brick is not carried on all elevations, that is something that is found throughout the LI District, and given the character of the area and the functional use of the building, Staff finds the transition of materials on the building to be acceptable. However Staff does have a concern on the use of the smooth faced block and the overall color scheme. Therefore, Staff has included a condition of approval that the smooth faced CMU shall be revised to a split faced materials, and a consistent color with the front of the building. The Commission should review and discuss the material options with the Applicant and provide direction during the meeting.



Figure 6: Google Image of the building to the south that has a brick front, and painted CMU for the larger work/warehouse area.

The parking lot to the north will be used for the storage of vehicles, within a 5 foot privacy fence that is to be a similar color as the main building.

ZONING REVIEW

As discussed above the proposal meets with all of the District regulations regarding lot size, and dimensions. Site coverage for the LI-District is a maximum of 85%, where the proposal is at 68.08%. As stated above the purpose of the LI District is to ensure high quality future development with consideration of access, parking, drainage, and landscaping and design factors. MSD has indicated that no storm water detention or quality measures are required with this application.

Section 405.380(G) of the LI-District Regulations states that all business, services, storage, merchandise display and repairing and processing shall be conducted wholly within an enclosed building or within a fenced and screened exterior storage area, except for off-street automobile parking and off-street loading unless expressly permitted by a conditional use permit (see Section 405.1070). Table A includes Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) as a Conditional Use in the LI District.

Pre-conditions:

For reference purposes, Section 405.470(A)(20) provides certain pre-conditions for other similar uses. While Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) is not specifically included within the listed uses, the proposal for 4509 Baur Boulevard generally complies with those standards where applicable, with the exception of the 10 foot buffer yard along all property lines, under Subsection "f" below. Section 405.540(F)(12) requires that a perimeter landscaped buffer strip shall be provided and maintained at a width of not less than five (5) feet between a parking lot and the property line of abutting property. Other, more restrictive standards for yards or buffering shall govern where required by this Chapter. The LI-District does not specify a greater buffer yard in the case, and given the location and adjacent uses, requiring 10 feet would not be warranted.

SECTION 405.470: CONDITIONAL USES

20. Tire dealers, general automotive repair, automotive transmission repair, other automotive mechanical and electrical repair and maintenance, oil change, automotive glass replacement shops, and all other automotive repair and maintenance — NAICS 441320, 811111, 811113, 811118, 811122, 811191 and 811198 (conditional uses in the "GC", "CB" and "LI" districts).

- a. Site size. Shall be located on lots of at least one (1) acre.
- b. Service bays. Service bays shall be limited to one (1) per five thousand (5,000) square feet of land area. All service bays shall be contained entirely within the building. Service bay doors shall not face residentially zoned property ("A", "B", "C", "D", "AR" or "MR").
- c. Fencing. The site shall be fenced with a six (6) foot brick or stone masonry wall or solid fence of wood or other material deemed appropriate by the Planning and Zoning

Commission along each property line which abuts property zoned to any residential classification ("A", "B", "C", "D", "AR" or "MR").

d. Trash disposal and storage. All used tires and parts, trash and similar objects shall be stored within a solid brick or concrete enclosure in the rear half or, in the case of corner sites, the rear quarter of the site.

e. Body repairs prohibited. No body and fender work, top and upholstery work shall be permitted on the premises.

f. Landscaping and buffering. A landscaped buffer at least ten (10) feet in width should be provided along the length of all property lines including along all frontage on street rights-of-way except where broken for entranceways. Landscaping shall be provided in accordance with a landscape plan approved by the Planning and Zoning Commission.

The Drawings indicate that the fence is 5 feet in height. If the commission wishes to require a 6 foot fence, in keeping with the above, a condition will need to be included. Staff has included a condition of approval that the fence surrounding the storage area shall be of natural wood and stained or another material, dark in color, and sight proof in compliance with the regulation above, as well as with Section 405.640 Fences and Walls, for Staff review and approval.

Landscaping:

The proposal includes landscaping in front of the building and trees along all property lines, to break up the fence line, and that all landscaping will be maintained with a underground irrigation system, per the requirements of Section 405.540 Landscaping of the Zoning Ordinance. While the Concept Planting Plan does not specifically identify plant material, a condition of approval includes that the final landscape plan will need to comply with Section 405.540(13) that no plants that that are known to be invasive shall be permitted.

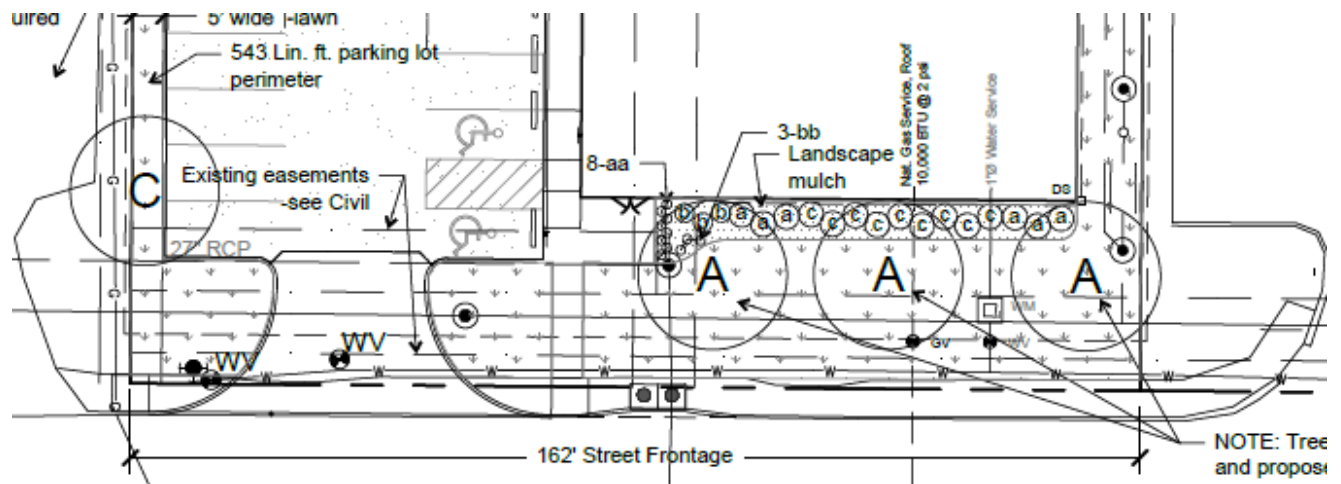


Figure 7: Close-up of Landscape Plan along Baur Boulevard.

Staff has included a condition of approval that a minimum of a 5 foot landscaped buffer shall be provided for the property at 10771 Baur Boulevard with the boundary adjustment, where there is existing concrete.

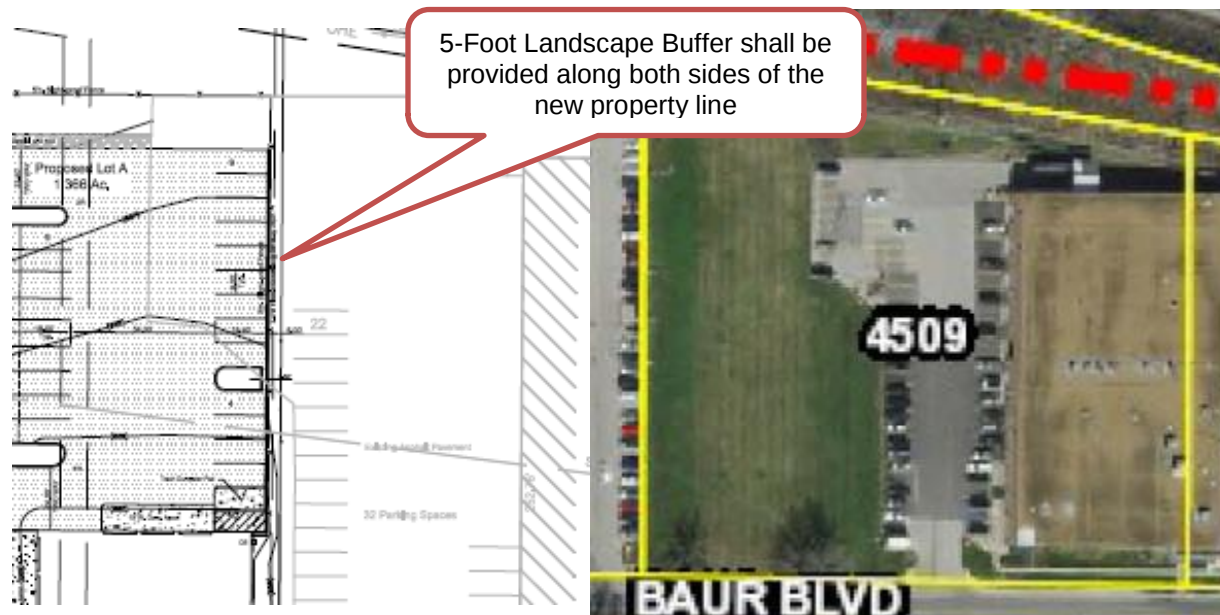


Figure 8: Close-up of the site development plan submitted April 24th, and of the aerial photo of the existing 4509 Baur Blvd of the concrete area to be removed.

Photometrics:

The Applicants have submitted a photometric plan indicating that the wall mounted light fixtures will be down cast and fully shielded, in compliance with Section 405.680 Lighting of the Zoning Ordinance.

Sidewalks:

Section 405.730 requires that minimum width of internal sidewalks in non-residential developments shall be at least six (6) feet or eight (8) feet if used as a curb stop. The sidewalk adjacent to the building is showing that six feet in width and that a curb stop has been provided, however, the portion of the sidewalk from the building to the existing sidewalk along Baur is only 5 feet in width. Therefore, Staff has included a condition of approval that a minimum of 6 feet to comply with the Zoning Regulation.

RECOMMENDATION

Based on the above analysis, the request for a conditional use permit meets all of the requirements of the Comprehensive Plan, Design Guidelines, and Zoning Ordinance, except in a few areas noted in the report. Staff recommends approval subject to the conditions below which are included in the draft ordinance:

1. The Conditional Use Permit shall be for the operation of an Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) within the new 8,960 sq. ft. building at 4509 Baur Boulevard. The related boundary adjustment process shall be completed with recording of approved plat prior to issuance of the conditional use permit.
2. The Applicant is required to submit Grading and Site Improvement Plans, showing all exterior improvements, for all new construction to the Division of Planning for review, as required by Section 410.380 of the Subdivision and Land Development Regulations (Subdivision Code). The Grading and Site Improvement Plans shall be in substantial conformance with the "Site Development Plans," and the "Concept Planting Plan" submitted on April 30, 2018 as bound together and submitted in conjunction with Application #18-018 by Dawdy & Associates, Inc., and as amended below.
3. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the revised "Exterior Elevations" submitted on May 4, 2018 as bound together and submitted in conjunction with Application #18-018 by Dawdy & Associates, Inc., and as amended below.

4. The Elevations shall be revised to include a split faced material and a color consistent with the brick on the front of the building.
5. All activity and storage of parts and other materials shall occur within the building or fenced area.
6. The hours of operation are limited to 7 AM to 7 PM Monday-Friday. Additional business hours may be permitted with the Zoning Administrator's approval, including but not limited to, the hosting of special events.
7. A final landscape plan shall be provided to comply with Section 405.540 Landscaping for the Zoning Administrator's approval.
8. A minimum 5 foot landscaped buffer shall be provided along both sides of the property line with 10725 Baur Boulevard.
9. An underground irrigation system shall be installed and maintained to serve all new landscaped areas. Vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed and in a prompt manner.
10. All internal sidewalks shall be in compliance with Section 405.730 Sidewalks of the Zoning Ordinance, that requires a minimum of 6 feet in width or 8 feet if used as curb stop.
11. The sight proof fence surrounding the storage area shall be of a natural wood and stained, or another material, dark in color and sight proof.
12. Any new mechanical equipment installed for the site shall be located within the fenced area, or properly screened with approved materials by the Zoning Administrator.
13. All lighting shall be in conformance with Section 405.680, Lighting, of the Zoning Code, and Section 205.810 of the Parking Ordinance.
14. All signs and banners shall be in conformance with Article VII, Sign Regulations, of the Zoning Code.
15. The Applicant will work with staff to provide a 25 foot wide greenway easement from north to south for the future Centennial Greenway connection, if feasible.
16. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
17. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
18. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
19. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

ACTION

If the Planning and Zoning Commission finds the attached draft conditional use permit ordinance to be in conformance with the purposes and regulations of the Comprehensive Plan and Zoning Code, it may vote on a recommendation to the City Council. Any changes to the draft ordinance should be discussed and made by separate actions.

The proposal will require two motions for approval; one for the boundary adjustment between 4509 and 10725 Baur Boulevard, and one for the approval of the conditional use permit and site development plan for the Schaefer Solutions Center at 4509 Baur Boulevard.

MOTION

The following is an example of an appropriate motion for this application:

“I move to approve Application #18-018 for a boundary adjustment for the properties addressed as 4509 and 10725 Baur Boulevard, as shown in the materials submitted on April 30, 2018, and that a final drawing be prepared for review by staff and signature and recording.” (Conditions may be added, eliminated, or modified by preceding motion)

And,

“I move to recommend approval of a new Conditional Use Permit and Site Development Plan for Schaefer Auto Body for a new 8,960 square foot auto body center at 4509 Baur Boulevard, subject to the conditions contained in the draft ordinance attached to the staff report on Application #18-018” (conditions may be added, eliminated, or modified by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

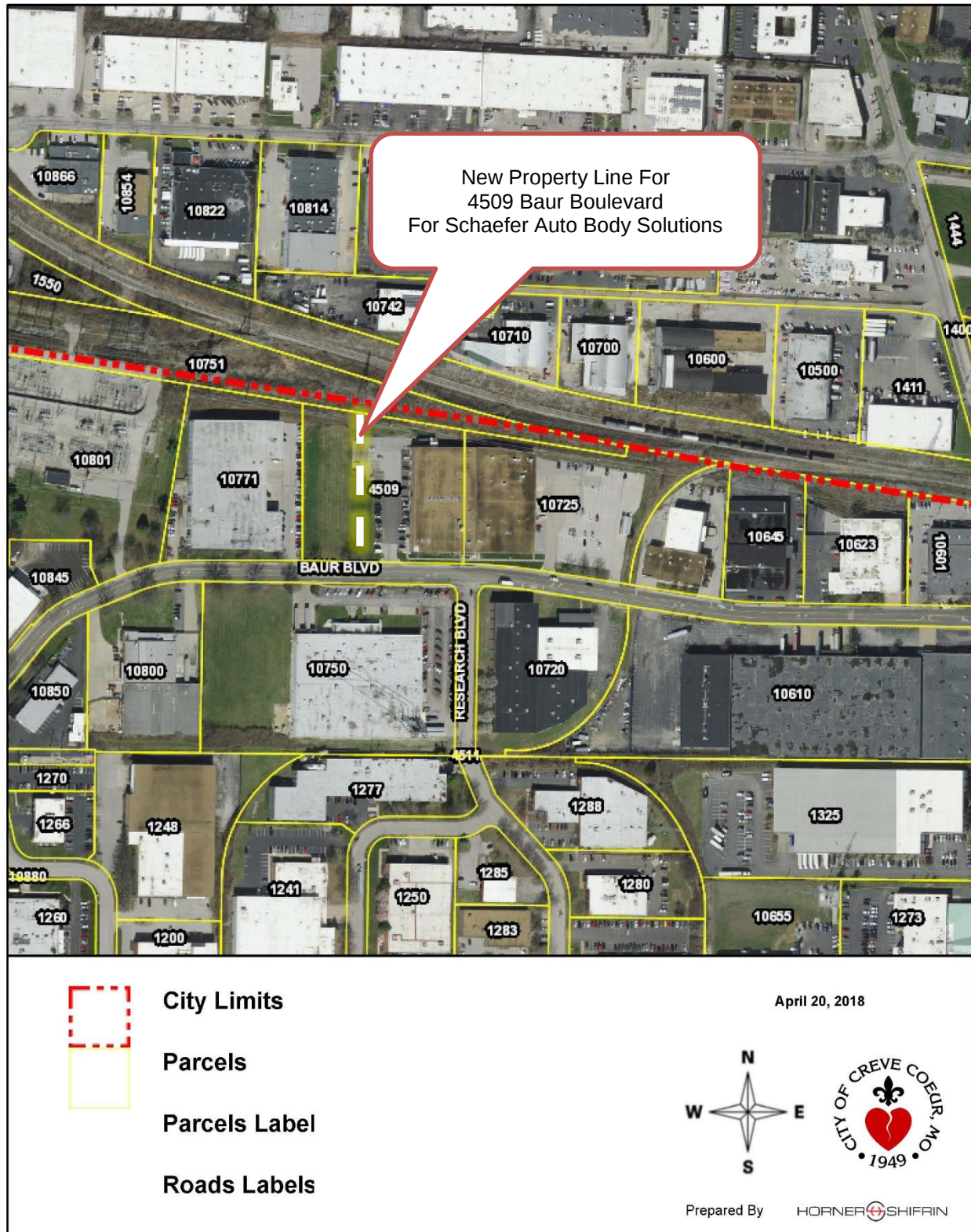
Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO

4509 and 10725 Baur Boulevard



Attachment: 18-018.4509 Baur, Schaefer Auto Body CUP.Staff Report.5-7-2018 (18-018: Schaefer Auto Body at 4509 Baur Boulevard)

APPENDIX 4: SITE PHOTOGRAPHS

Photo Date: 4/13/2018



Description: View from across Baur Boulevard looking northeast at the vacant field of the subject property.

BOUNDARY ADJUSTMENT PLAT
PARCEL A & B OF LINDBERGH-WARSON INDUSTRIAL CENTER
PART OF SECTIONS 2 & 3
LINDBERGH-WARSON INDUSTRIAL CENTER
PLAT BOOK 76, PAGE 13
IN U.S. SURVEY, SECTION 36, TOWNSHIP 46 NORTH, RANGE 5 EAST
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION: OVERALL TRACT

A TRACT OF LAND BEING PART OF SECTIONS 2 AND 3 OF LINDBERGH-WARSON INDUSTRIAL CENTER, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 76 PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, AND DESCRIBED AS FOLLOWS:

COMMENCING FROM AN OLD IRON PIPE IN THE SOUTHERN LINE OF THE UNION ELECTRIC COMPANY RIGHT-OF-WAY AND BEING IN THE NORTHEASTERN CORNER OF A 5.751 ACRE TRACT CONVEYED TO UNION ELECTRIC COMPANY BY DEED RECORDED IN BOOK 3737 PAGE 18 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 284.87 FEET TO AN IRON PIPE AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 766.43 FEET TO A POINT; THENCE NORTH 09 DEGREES 00 MINUTES 55 SECONDS EAST, 25.00 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 248.93 FEET TO THE NORTHWESTERN LINE OF A TRACT CONVEYED TO ST. LOUIS COUNTY TILE COMPANY BY DEED RECORDED IN BOOK 3802 PAGE 296 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTHWESTWARDLY AND SOUTHWARDLY, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 287.94 FEET, A CHORD BEARING SOUTH 39 DEGREES 25 MINUTES 00 SECONDS WEST, 362.41 FEET, AN ARC DISTANCE OF 392.08 FEET TO A POINT OF TANGENT; THENCE SOUTH 00 DEGREES 25 MINUTES 55 SECONDS WEST, 12.80 FEET TO THE NORTHERN LINE OF BAUR BOULEVARD, 50 FEET WIDE; THENCE ALONG SAID NORTHERN LINE, NORTH 81 DEGREES 00 MINUTES 00 SECONDS WEST, 200.03 FEET TO A POINT OF CURVE; THENCE WESTWARDLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1295.00 FEET, A CHORD BEARING NORTH 85 DEGREES 17 MINUTES 30 SECONDS WEST, 193.81 FEET, AN ARC DISTANCE OF 194.00 FEET TO A POINT OF TANGENT; THENCE NORTH 89 DEGREES 35 MINUTES 00 SECONDS WEST, 386.45 FEET TO A POINT; THENCE LEAVING SAID NORTH LINE OF BAUR BOULEVARD, NORTH 00 DEGREES 24 MINUTES 54 SECONDS EAST, 377.27 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 6.327 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: PARCEL B

A TRACT OF LAND BEING PART OF SECTIONS 2 AND 3 OF LINDBERGH-WARSON INDUSTRIAL CENTER, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 76 PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, AND DESCRIBED AS FOLLOWS:

COMMENCING FROM AN OLD IRON PIPE IN THE SOUTHERN LINE OF THE UNION ELECTRIC COMPANY RIGHT-OF-WAY AND BEING IN THE NORTHEASTERN CORNER OF A 5.751 ACRE TRACT CONVEYED TO UNION ELECTRIC COMPANY BY DEED RECORDED IN BOOK 3737 PAGE 18 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID SOUTHERN RIGHT-OF-WAY LINE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 449.72 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERN LINE, SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 766.43 FEET TO AN IRON PIPE; THENCE NORTH 09 DEGREES 00 MINUTES 55 SECONDS EAST, 25.00 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 80 DEGREES 58 MINUTES 05 SECONDS EAST, 248.93 FEET TO THE NORTHWESTERN LINE OF A TRACT CONVEYED TO ST. LOUIS COUNTY TITLE COMPANY BY DEED RECORDED IN BOOK 3802 PAGE 296 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTHWESTWARDLY AND SOUTHWARDLY, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 287.94 FEET, A CHORD BEARING SOUTH 39 DEGREES 25 MINUTES 00 SECONDS WEST, 362.41 FEET, AN ARC DISTANCE OF 392.08 FEET TO A POINT OF TANGENT; THENCE SOUTH 00 DEGREES 25 MINUTES 55 SECONDS WEST, 12.80 FEET TO THE NORTHERN LINE OF BAUR BOULEVARD, 50 FEET WIDE; THENCE ALONG SAID NORTHERN LINE, NORTH 81 DEGREES 00 MINUTES 00 SECONDS WEST, 200.03 FEET TO A POINT OF CURVE; THENCE WESTWARDLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1295.00 FEET, A CHORD BEARING NORTH 85 DEGREES 17 MINUTES 30 SECONDS WEST, 193.81 FEET, AN ARC DISTANCE OF 194.00 FEET TO A POINT OF TANGENT; THENCE NORTH 89 DEGREES 35 MINUTES 00 SECONDS WEST, 225.45 FEET TO A POINT; THENCE LEAVING SAID NORTHERN LINE OF BAUR BOULEVARD, NORTH 00 DEGREES 24 MINUTES 54 SECONDS EAST, 352.62 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 4.961 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: PARCEL A

A TRACT OF LAND BEING PART OF SECTION 3 OF LINDBERGH-WARSON INDUSTRIAL CENTER, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 76 PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, AND DESCRIBED AS FOLLOWS:

COMMENCING FROM AN OLD IRON PIPE IN THE SOUTHERN LINE OF THE UNION ELECTRIC COMPANY RIGHT-OF-WAY AND BEING IN THE NORTHEASTERN CORNER OF A 5.751 ACRE TRACT CONVEYED TO UNION ELECTRIC COMPANY BY DEED RECORDED IN BOOK 3737 PAGE 18 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID SOUTHERN RIGHT-OF-WAY LINE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 284.87 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERN LINE, SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 164.85 FEET TO A POINT; THENCE LEAVING SAID SOUTHERN RIGHT-OF-WAY LINE, SOUTH 00 DEGREES 24 MINUTES 54 SECONDS WEST, 352.62 FEET TO THE NORTHERN LINE OF BAUR BOULEVARD, 50 FEET WIDE; THENCE ALONG SAID NORTHERN LINE, NORTH 89 DEGREES 35 MINUTES 00 SECONDS WEST, 163.00 FEET TO A POINT; THENCE LEAVING SAID NORTHERN LINE OF BAUR BOULEVARD, NORTH 00 DEGREES 24 MINUTES 54 SECONDS EAST, 377.27 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 1.366 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: 10725 BAUR BOULEVARD

A TRACT OF LAND BEING PART OF SECTION 2 OF LINDBERGH-WARSON INDUSTRIAL CENTER, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 76 PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, AND BEING DESCRIBED AS FOLLOWS:

COMMENCING FROM AN OLD IRON PIPE IN THE SOUTHERN LINE OF THE UNION ELECTRIC COMPANY RIGHT-OF-WAY AND BEING IN THE NORTHEASTERN CORNER OF A 5.751 ACRE TRACT CONVEYED TO UNION ELECTRIC COMPANY BY DEED RECORDED IN BOOK 3737 PAGE 18 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID SOUTHERN RIGHT-OF-WAY LINE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 656.77 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERN LINE, SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 394.53 FEET TO AN IRON PIPE; THENCE NORTH 09 DEGREES 00 MINUTES 55 SECONDS EAST, 25.00 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 80 DEGREES 58 MINUTES 05 SECONDS EAST, 248.93 FEET TO THE NORTHWESTERN LINE OF A TRACT CONVEYED TO ST. LOUIS COUNTY TILE COMPANY BY DEED RECORDED IN BOOK 3802 PAGE 296 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTHWESTWARDLY AND SOUTHWARDLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 287.94 FEET, A CHORD BEARING SOUTH 39 DEGREES 25 MINUTES 00 SECONDS WEST, 362.41 FEET, AN ARC DISTANCE OF 392.08 FEET TO A POINT OF TANGENT; THENCE SOUTH 00 DEGREES 25 MINUTES 55 SECONDS WEST, 12.80 FEET TO THE NORTHERN LINE OF BAUR BOULEVARD, 50 FEET WIDE; THENCE ALONG SAID NORTHERN LINE, NORTH 81 DEGREES 00 MINUTES 00 SECONDS WEST, 200.03 FEET TO A POINT OF CURVE; THENCE WESTWARDLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1295.00 FEET, A CHORD BEARING NORTH 85 DEGREES 17 MINUTES 30 SECONDS WEST, 193.81 FEET, AN ARC DISTANCE OF 194.00 FEET TO A POINT OF TANGENT; THENCE NORTH 89 DEGREES 35 MINUTES 00 SECONDS WEST, 20.17 FEET TO A POINT; THENCE LEAVING SAID NORTHERN LINE OF BAUR BOULEVARD, NORTH 00 DEGREES 15 SECONDS EAST, 321.67 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 3.373 ACRES, MORE OR LESS.

LEGAL DESCRIPTION: 4509 BAUR BOULEVARD

A TRACT OF LAND BEING PART OF SECTION 3 OF LINDBERGH-WARSON INDUSTRIAL CENTER, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 76 PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, AND BEING DESCRIBED AS FOLLOWS:

COMMENCING FROM AN OLD IRON PIPE IN THE SOUTHERN LINE OF THE UNION ELECTRIC COMPANY RIGHT-OF-WAY AND BEING IN THE NORTHEASTERN CORNER OF A 5.751 ACRE TRACT CONVEYED TO UNION ELECTRIC COMPANY BY DEED RECORDED IN BOOK 3737 PAGE 18 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID SOUTHERN RIGHT-OF-WAY LINE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 284.87 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERN LINE, SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 371.90 FEET TO A POINT; THENCE LEAVING SAID SOUTHERN RIGHT-OF-WAY LINE, SOUTH 00 DEGREES 40 MINUTES 15 SECONDS WEST, 321.67 FEET TO THE NORTHERN LINE OF BAUR BOULEVARD, 50 FEET WIDE; THENCE ALONG SAID NORTHERN LINE, NORTH 89 DEGREES 35 MINUTES 00 SECONDS WEST, 366.28 FEET TO A POINT; THENCE LEAVING SAID NORTHERN LINE OF BAUR BOULEVARD, NORTH 00 DEGREES 24 MINUTES 54 SECONDS EAST, 377.27 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 2.945 ACRES, MORE OR LESS.

NOTES:

1. CURRENT ZONING CLASSIFICATION: "LI" - (LIGHT INDUSTRIAL)
2. DESIGNATION OF LAND USE: "LI" - LIGHT INDUSTRIAL
3. SUBJECT TRACT IS IN ZONE X, BASE FLOOD ELEVATIONS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP OF ST. LOUIS COUNTY COMMUNITY - PANEL NUMBER 29189C0192 K, EFFECTIVE DECEMBER 4, 2015
4. GROSS LAND AREA: 275,604 SQ. FT / 6.327 ACRES MORE OR LESS.
5. RECORD BEARINGS AND DISTANCES WERE FURNISHED FROM A LINDBERGH-WARSON INDUSTRIAL CENTER PER PLAT BOOK 76 PAGE 13 OF THE ST LOUIS COUNTY, MISSOURI RECORDS.
6. PROPERTY HAS DIRECT ACCESS TO A DEDICATED PUBLIC STREET.
7. THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
8. THERE IS NO EVIDENCE OF A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
9. THERE WILL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY SECTION 405.5028 OF THE UNIFIED DEVELOPEMENT ORDINANCE OF ST. CHARLES COUNTY, MISSOURI.
10. PARKING SPACES PROVIDED = 175
11. SITE ADDRESS: #4509 & #10725 BAUR BOULEVARD, ST. LOUIS, MO. 63132
12. SITE LOCATOR NUMBER: 16M510281 & 16M520181
13. PROPERTY SERVED BY THE FOLLOWING:
SCHOOL: PATTONVILLE R-3 SCHOOL DISTRICT
FIRE: WEST OVERLAND EMS & FIRE DISTRICT
WATER: MISSOURI AMERICAN
TELEPHONE: AT&T
CABLE: CHARTER COMMUNICATIONS
GAS: LACLEDE GAS
ELECTRIC: AMEREN UE
ZIP CODE: 63132
14. ST. LOUIS COUNTY BENCHMARK: 8-349 ELEVATION=662.93'

SQUARE ON TOP OF THE ROUND CONCRETE BASE FOR FLAGPOLE AT CARAU STAR CUSTOM PACKAGING ADDRESSED AS #10750 BAUR BOULEVARD. MARK IS NORTH OF THE FLAGPOLE, ROUGHLY 90 FEET SOUTH OF THE CENTERLINE OF BAUR BOULEVARD AND 25 FEET MORE OR LESS WEST OF THE CENTER OF SIDEWALK TO FRONT BUILDING ENTRANCE.

SITE BENCHMARK: "O" IN OPEN ON FIRE HYDRANT ELEVATION=662.12'

APPROXIMATELY 27.5 FEET NORTH OF THE CENTERLINE OF BAUR BOULEVARD AND 10 FEET EAST OF THE WEST PROPERTY LINE OF SUBJECT TRACT.

THIS IS TO CERTIFY TO DIERBERGS REALTY #2, INC. THAT WE HAVE DURING THE MONTH OF APRIL, 2018, AT THE ORDER OF DIERBERGS REALTY #2 EXECUTED A SUBDIVISION PLAT OF THE ADJACENT SHOWN TRACTS OF LAND ACCORDING TO THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND MEETS THE ACCURACY STANDARDS FOR URBAN PROPERTY OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEY, AND THE MISSOURI BOARD OF REGISTRATION FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND LANDSCAPE ARCHITECTS, AND THAT THE RESULTS OF SAID SURVEY ARE CORRECTLY SHOWN HEREON.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SIGNED AND SEALED THE FOREGOING. THIS 11TH DAY OF APRIL, 2018.

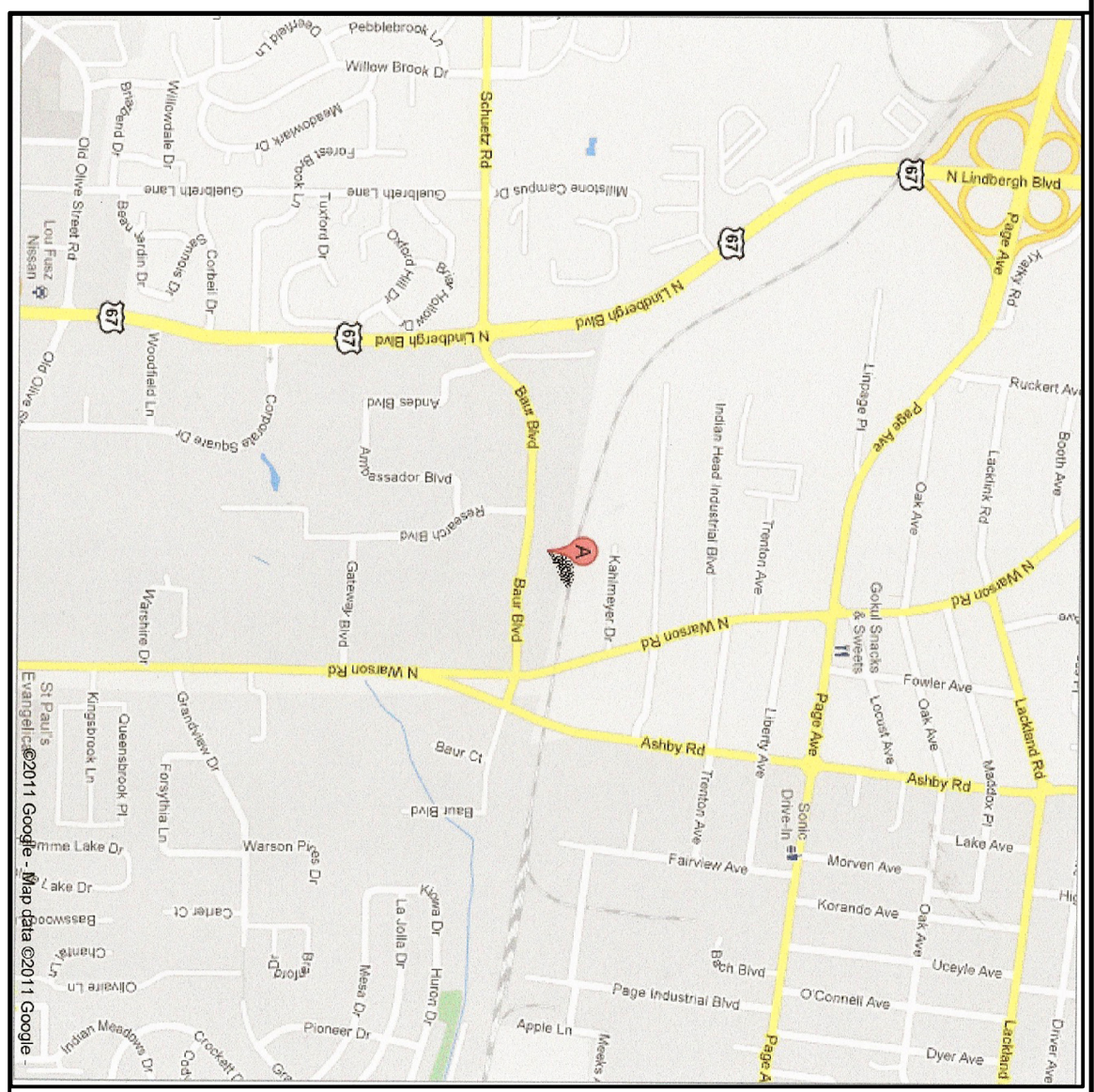
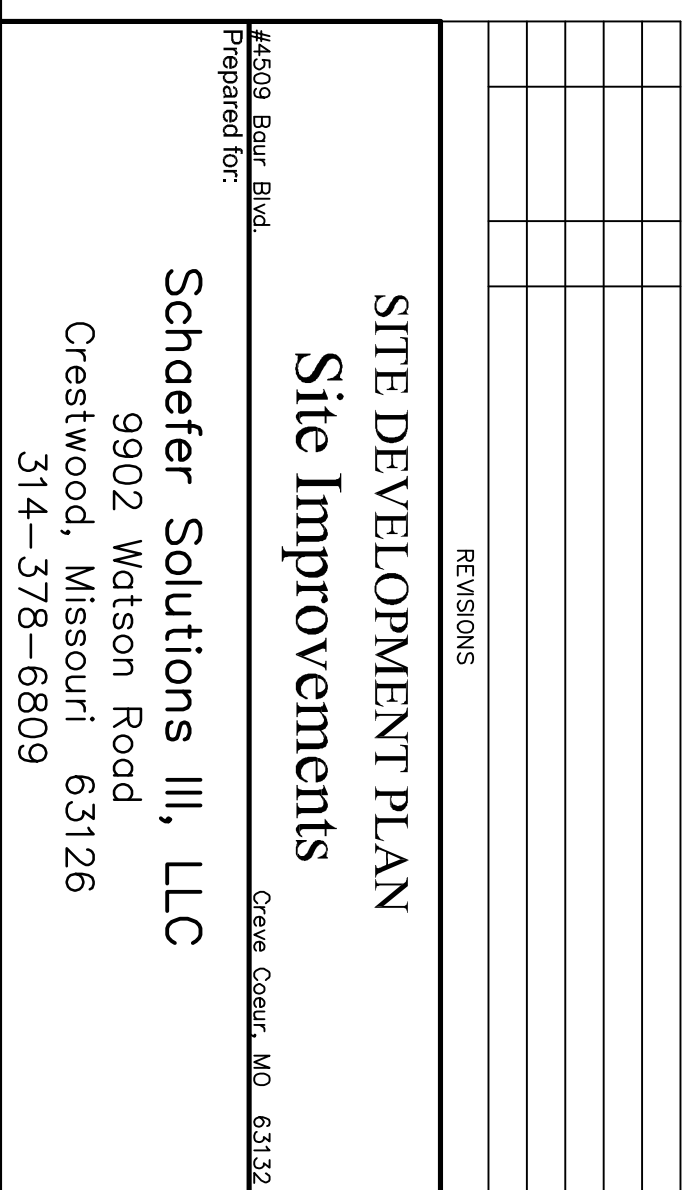
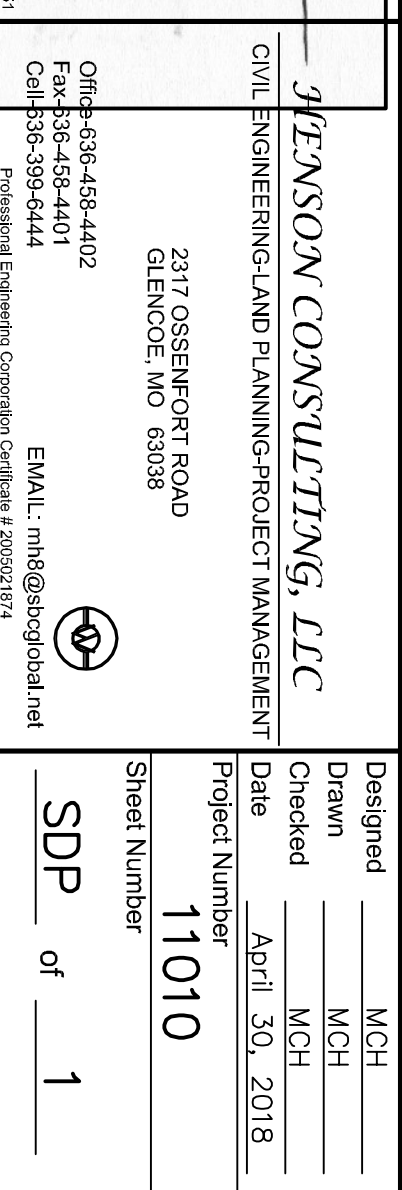
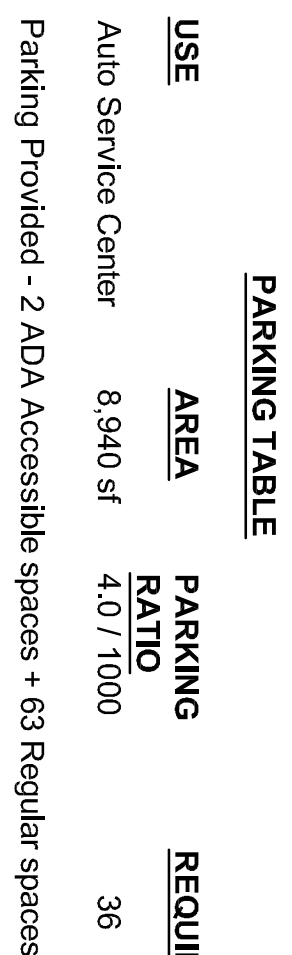
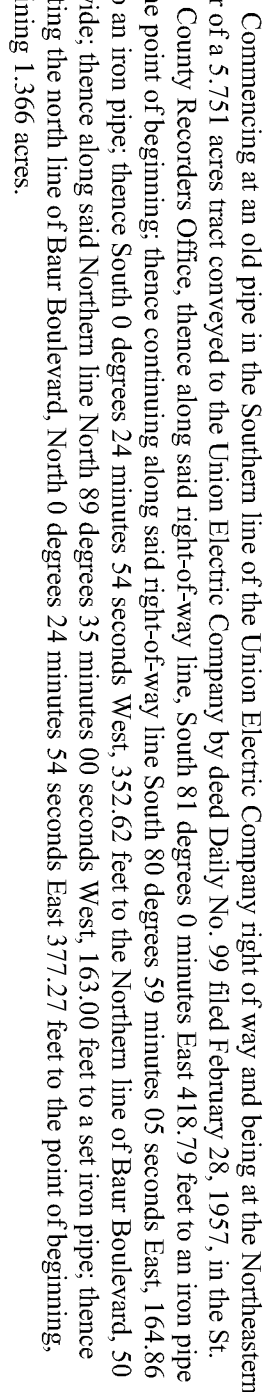
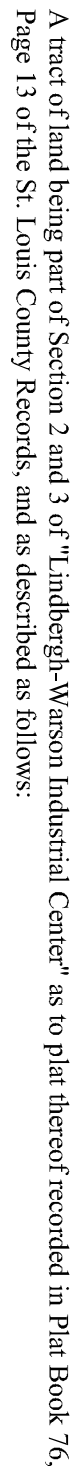
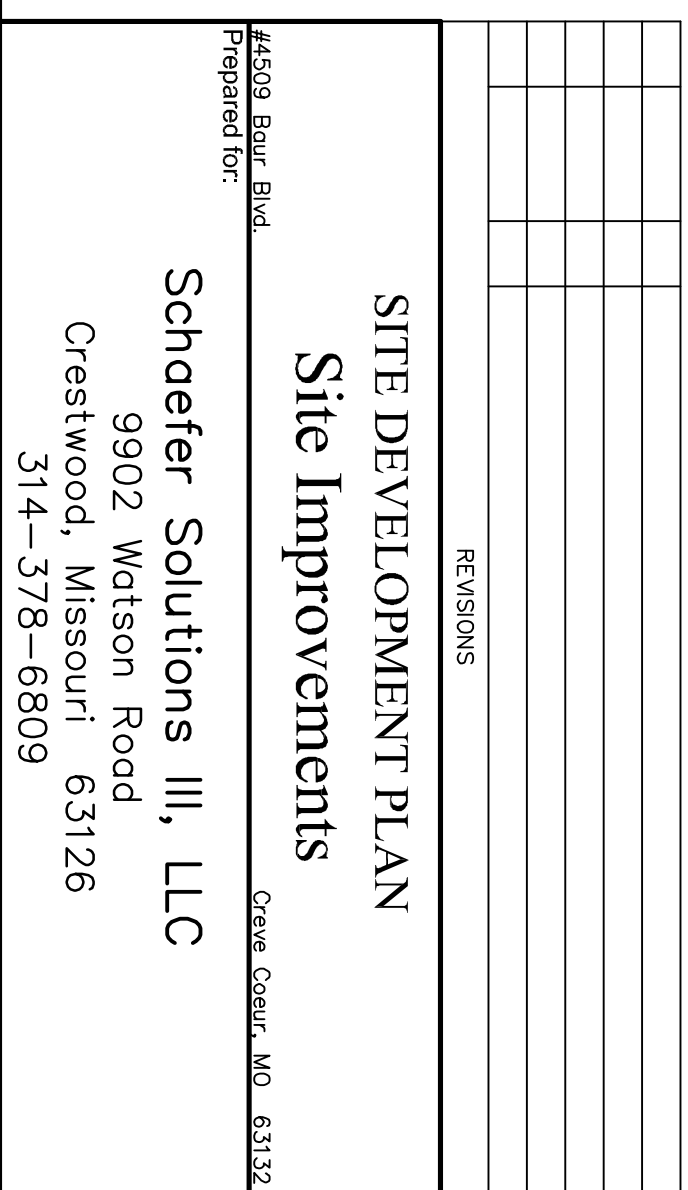
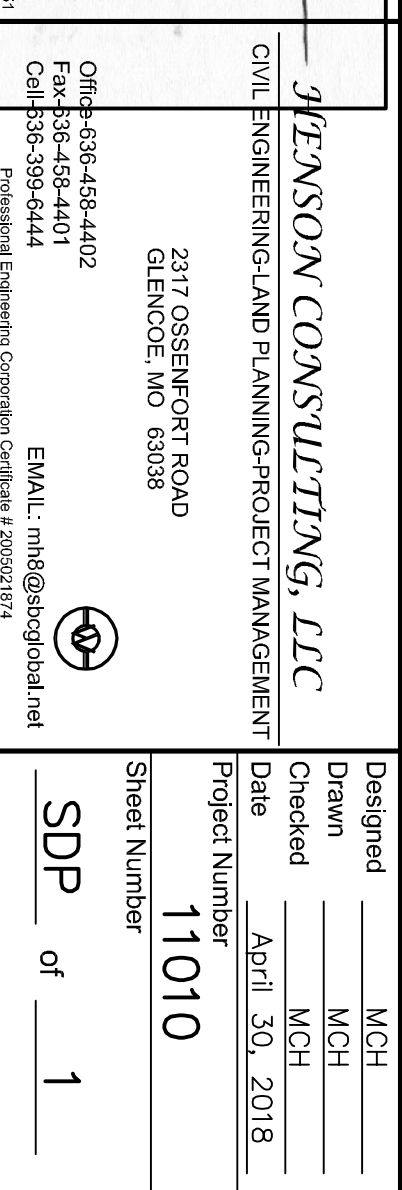
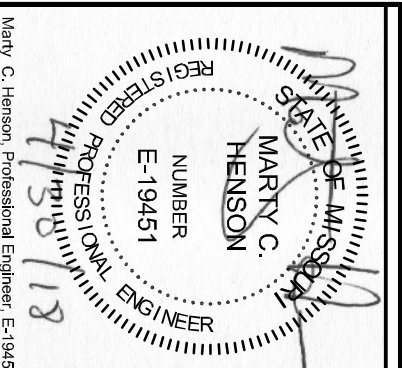
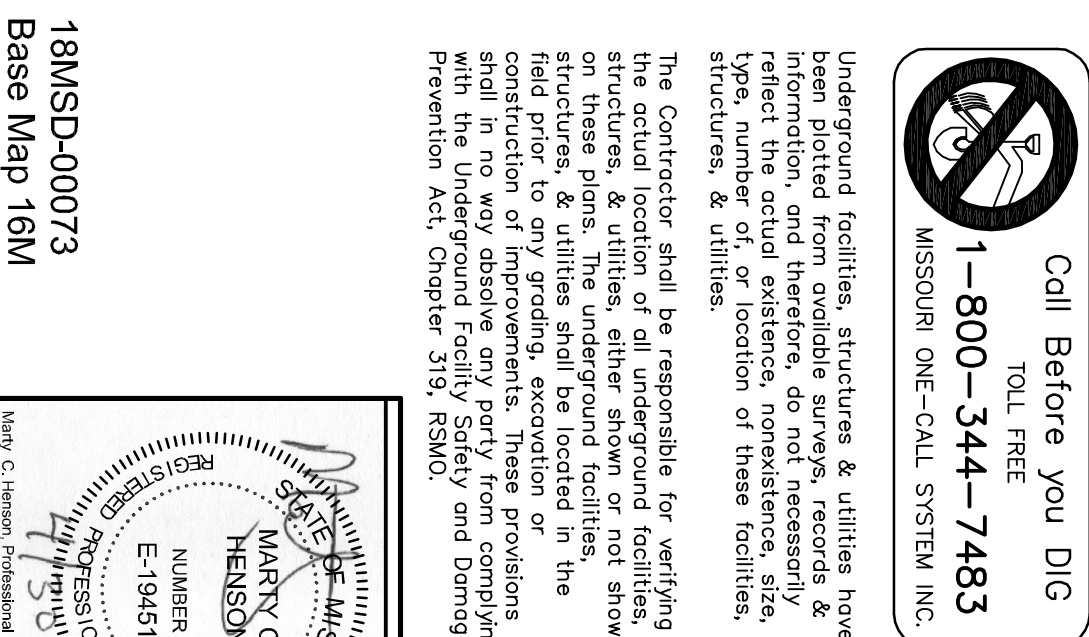
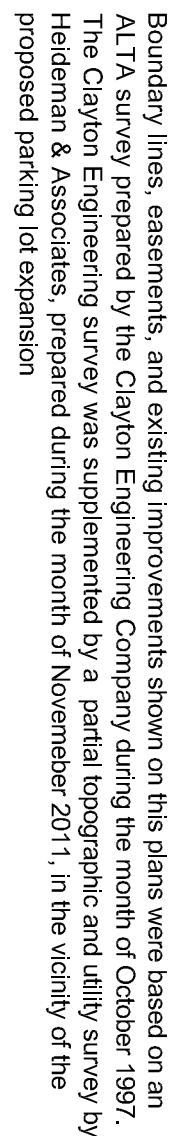
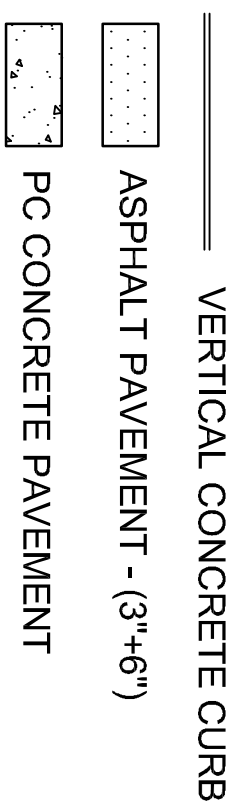
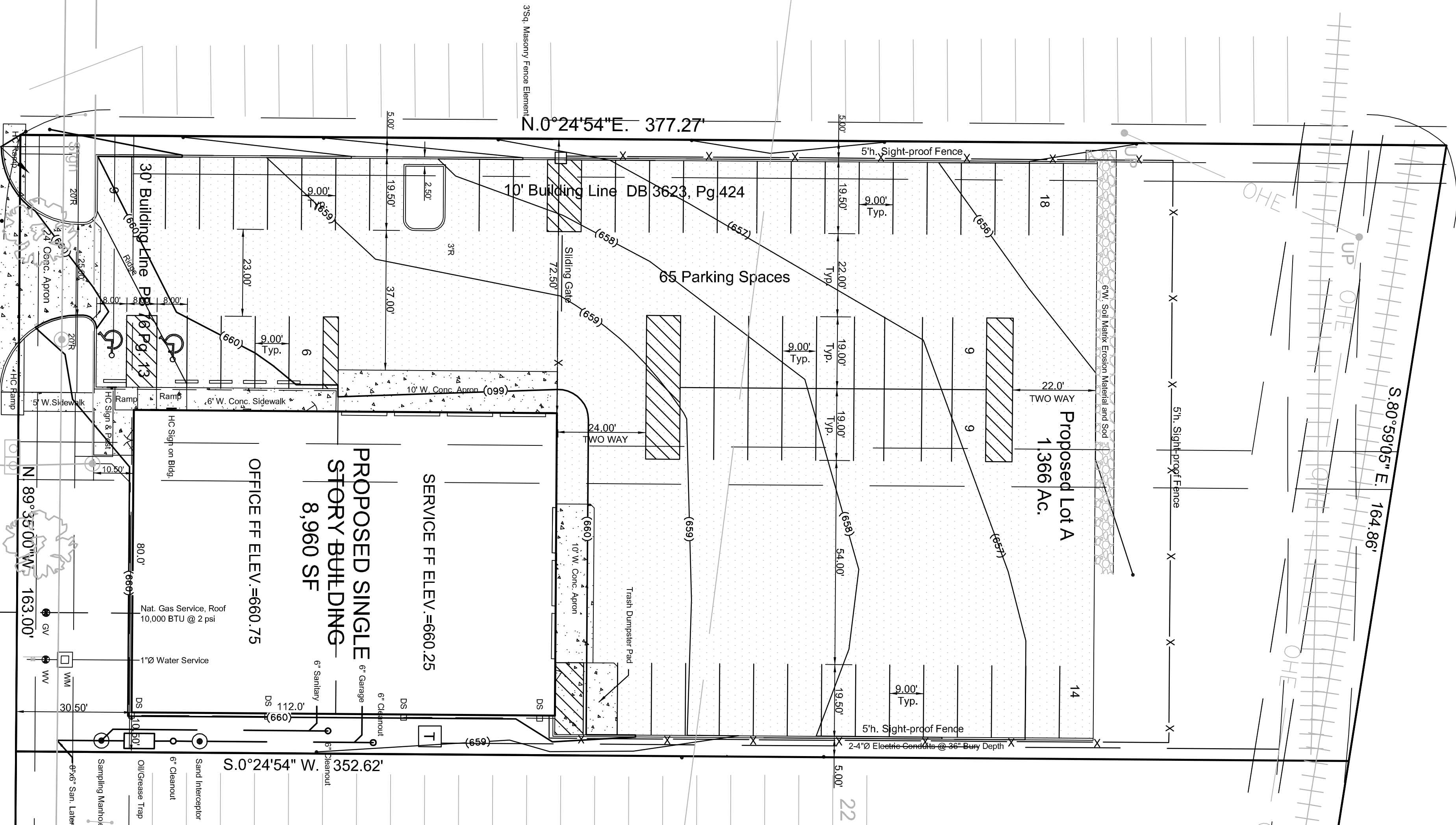
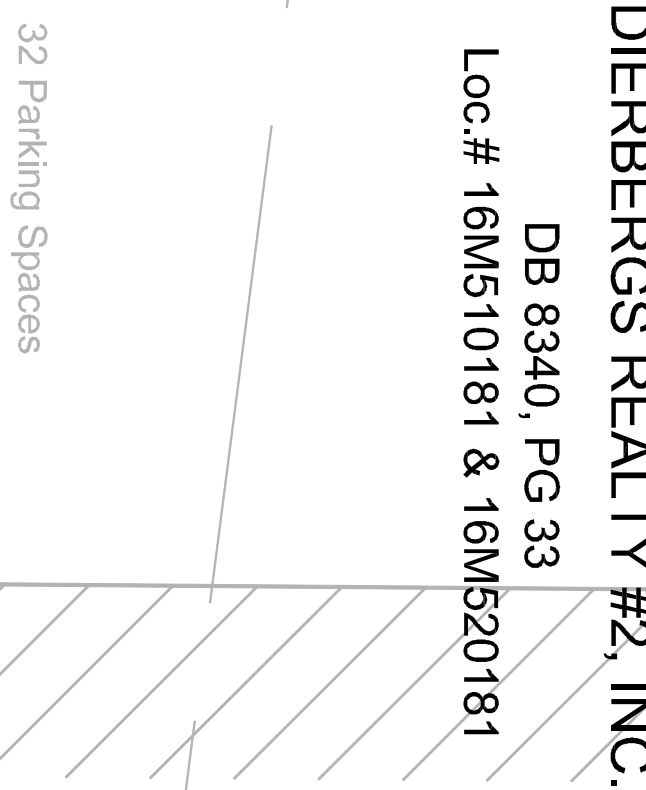
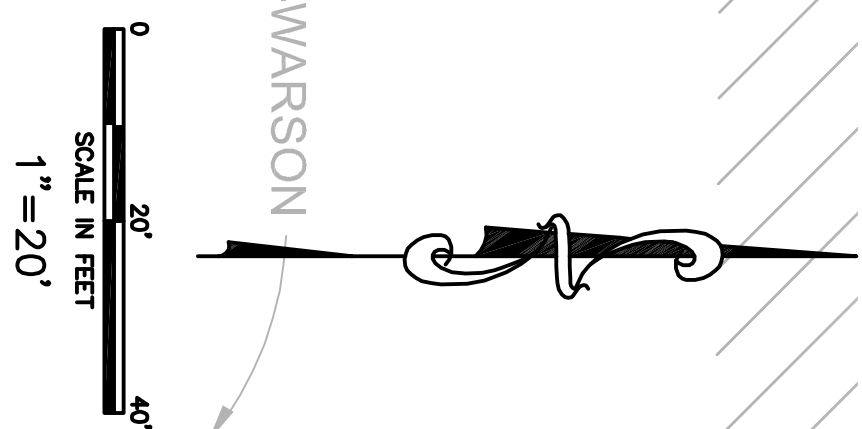
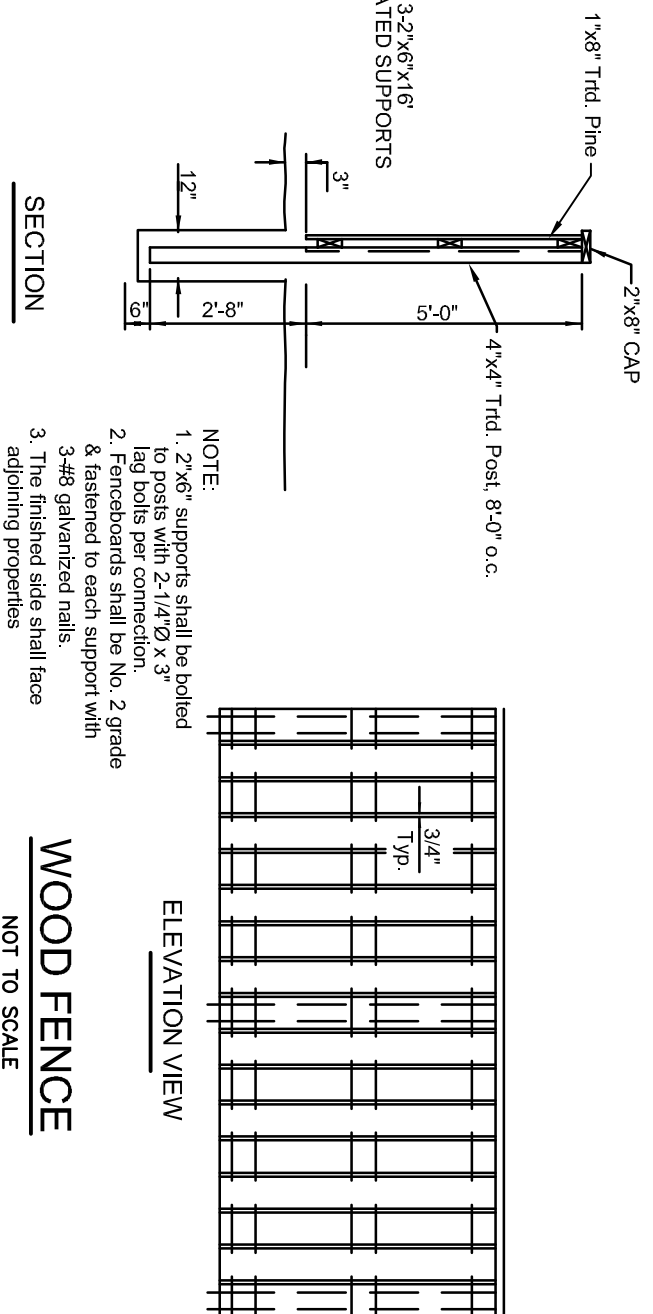
METRON
Surveying & LAYOUT Co.
315 WOOD STREET
OFALLON, MO. 63366
314-432-5400 FAX: 636-294-5851

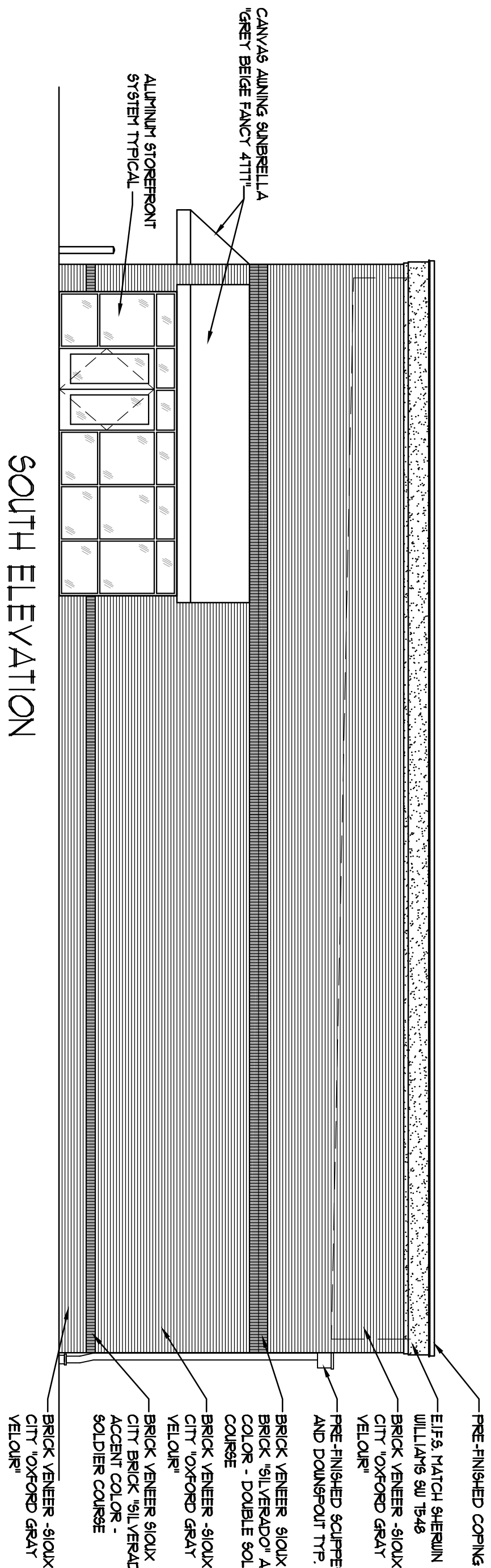
John E. Winkler Jr.
JOHN E. WINKLER JR., PLS 2006016644



BOUNDARY ADJUSTMENT PLAT						
For: DIERBERG'S REALTY #2, INC. 16690 SWINGLEY RIDGE ROAD CHESTERFIELD, MISSOURI 63017 TEL 636-532-8884						
		REV.	DATE	DESCRIPTION	BY	CHK'D
				ORDER NO. 8734	2	OF 2
				DATE 4-11-18		
				DRAWN JEW		
				CHECKED JAW		

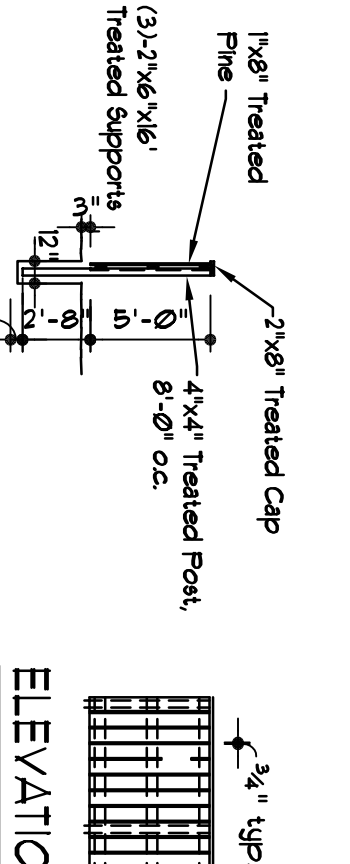
PART OF SECTIONS 2 & 3
LINDERBEGH-WARSON INDUSTRIAL CENTER
PLAT BOOK 76, PAGE 13
SECTION 36, TOWNSHIP 46 NORTH, RANGE 5 EAST
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI





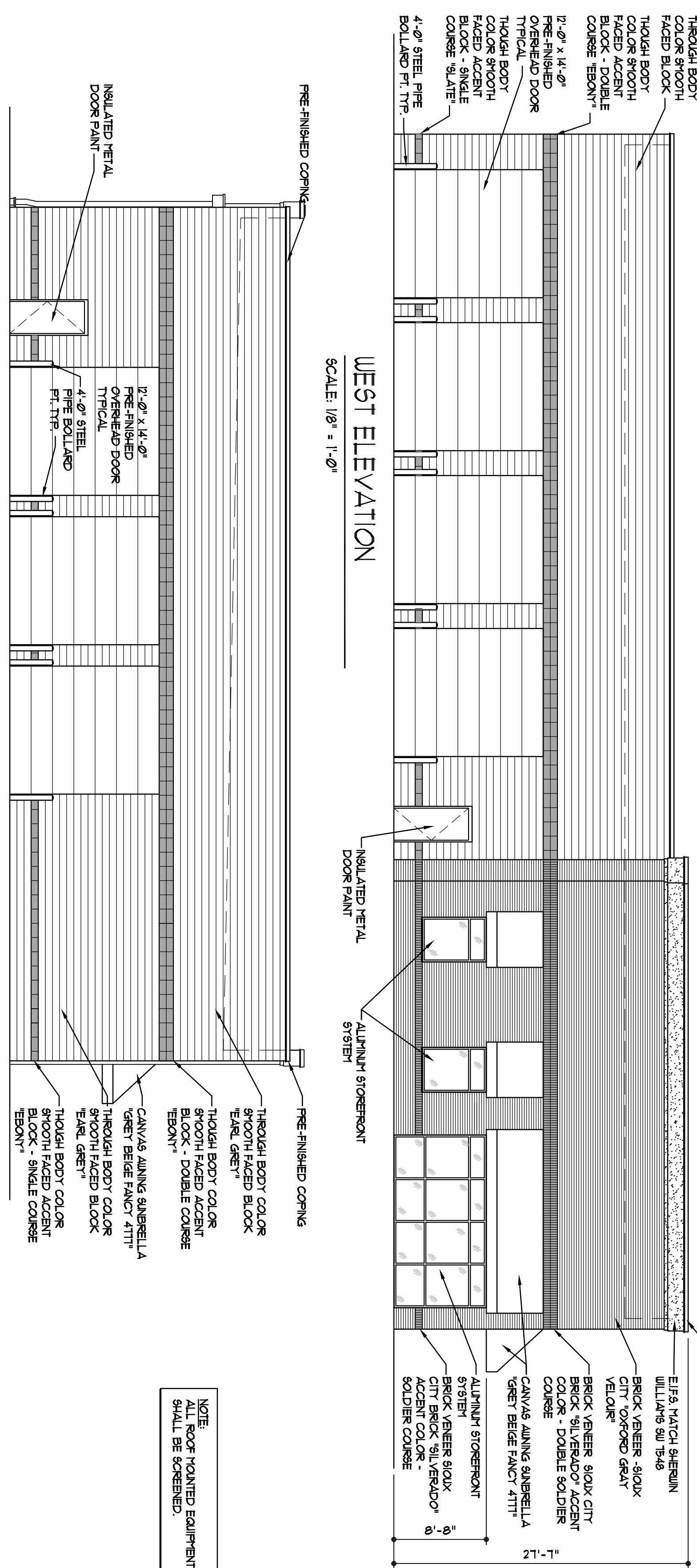
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PRIVACY FENCE ELEVATION

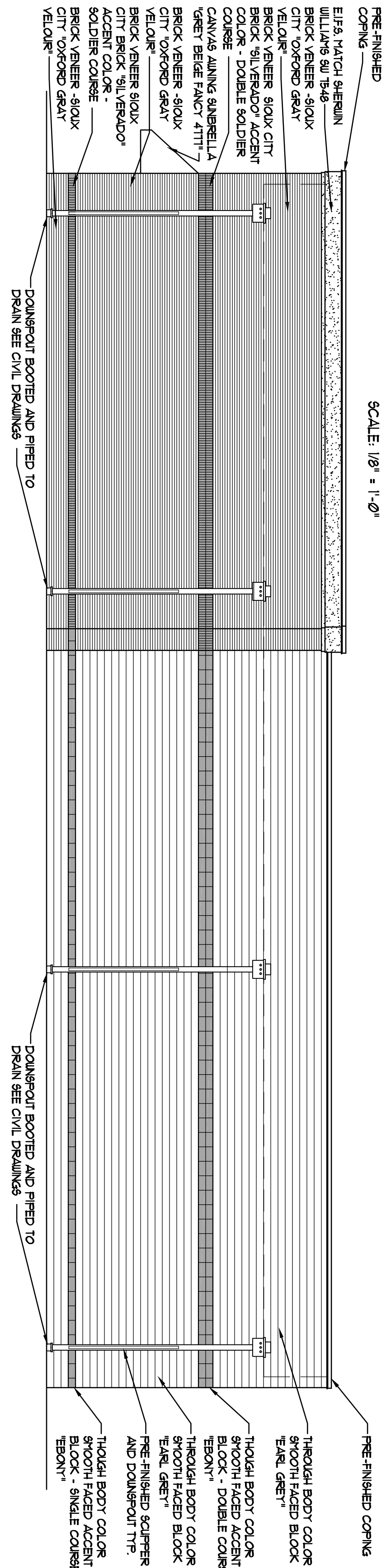
NOT TO SCALE



WEST ELEVATION

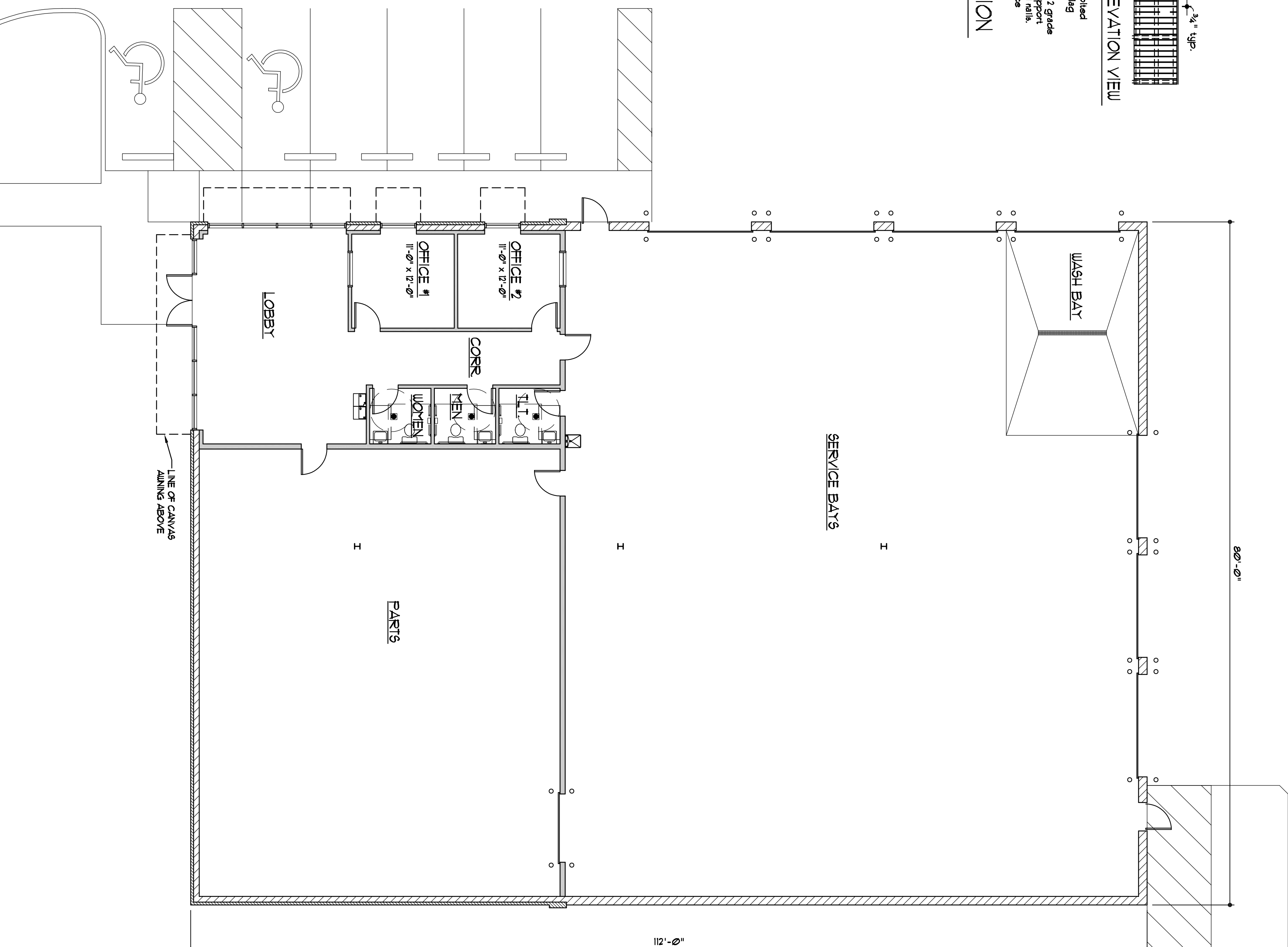
SCALE: 1/8" = 1'-0"

NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED.



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

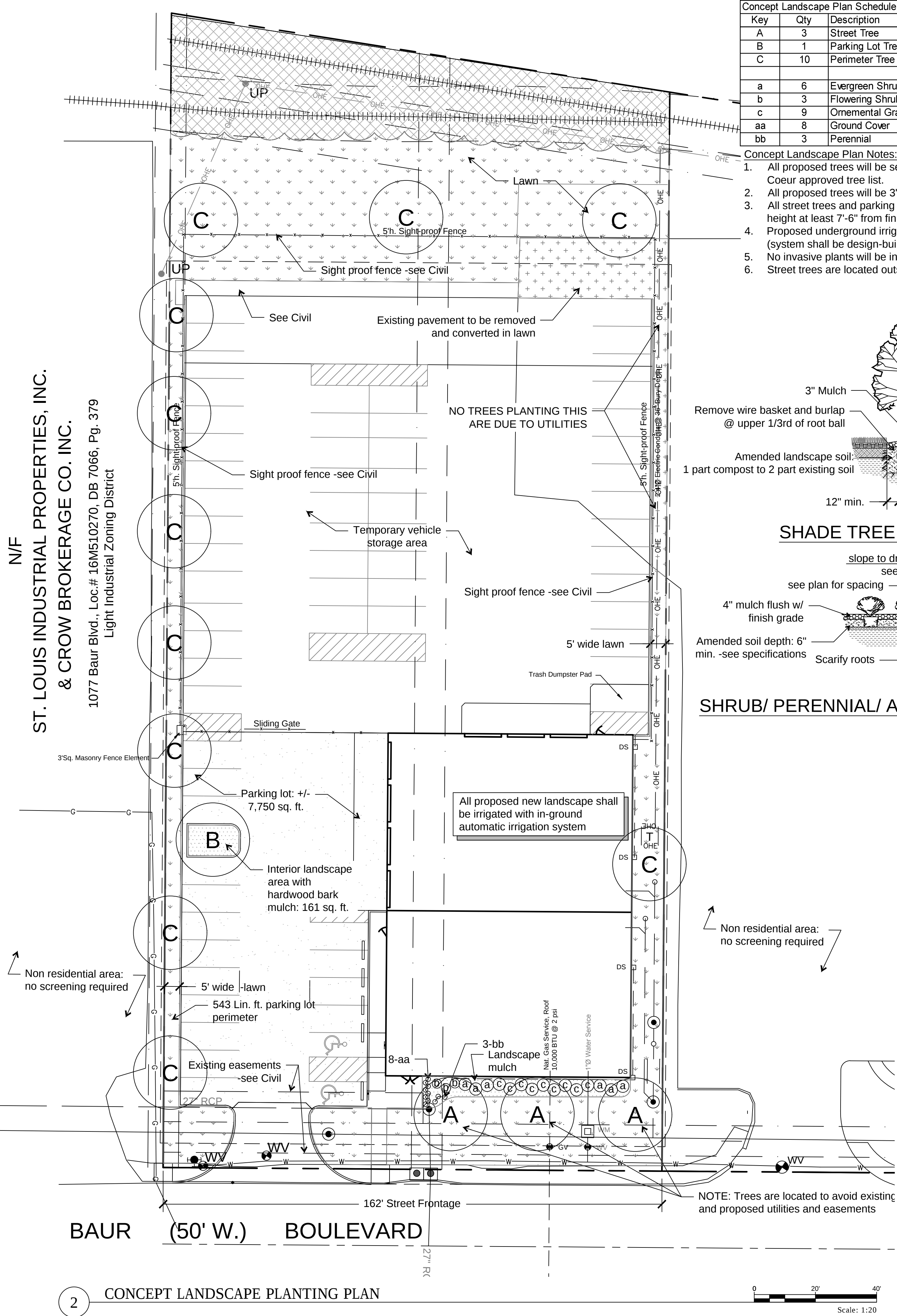
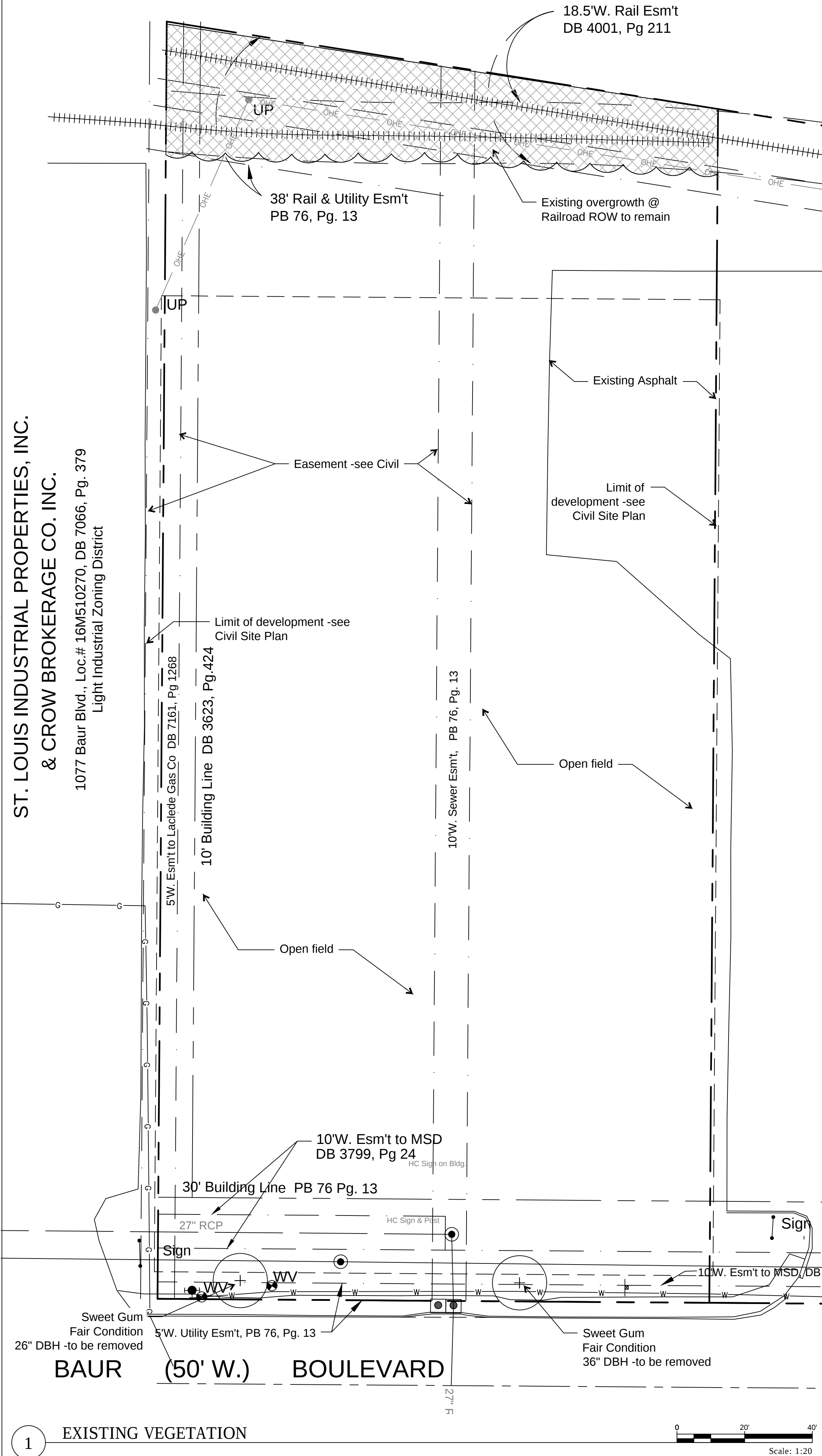
SCALE: 1/8" = 1'-0"

Schaefer Solutions III, LLC

9902 WATSON ROAD
CRESTWOOD, MISSOURI 63126

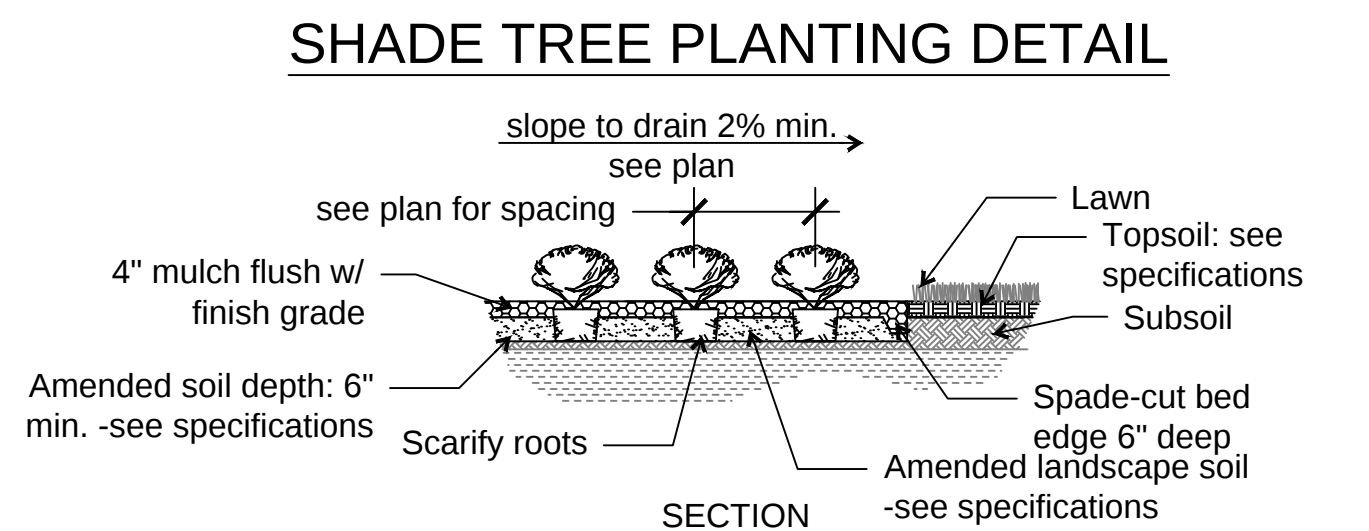
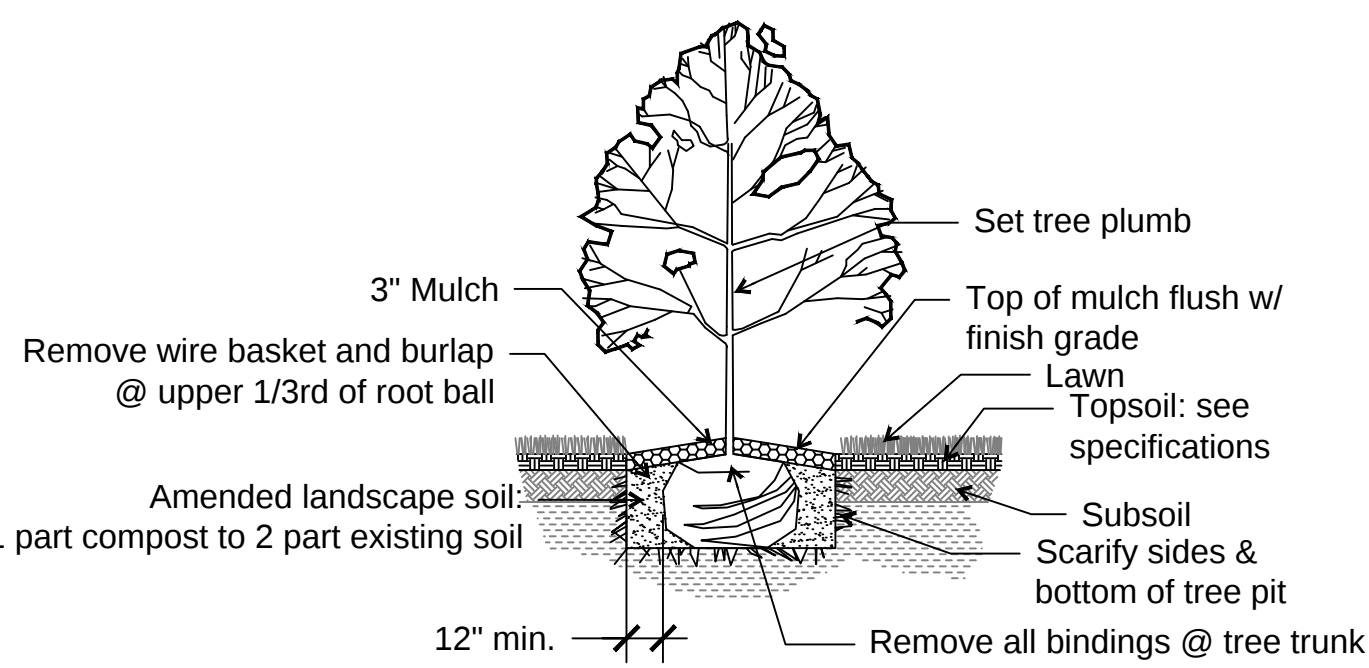
4509 BAUER BLVD.

CREVE COEUR, MISSOURI 63132



Concept Landscape Plan Schedule				
Key	Qty	Description	Type	Size
A	3	Street Tree	Shade Tree	3" Cal.
B	1	Parking Lot Tree	Shade tree	3" Cal.
C	10	Perimeter Tree	Flowering Tree	3" Cal.
a	6	Evergreen Shrub		18-24"
b	3	Flowering Shrub		18-24"
c	9	Ornamental Grass		18-24"
aa	8	Ground Cover		1 Qt.
bb	3	Perennial		1 Qt.

- Concept Landscape Plan Notes:
1. All proposed trees will be selected from the City of Creve Coeur approved tree list.
 2. All proposed trees will be 3" caliper.
 3. All street trees and parking lot trees will have a clear truck height at least 7'-6" from finish grade.
 4. Proposed underground irrigated system will be installed (system shall be design-build).
 5. No invasive plants will be installed as part of this development.
 6. Street trees are located outside of all easements.



DERMODY & ASSOCIATES

Uisce beatha

LANDSCAPE ARCHITECTS

ph # 314.205.8871

Missouri Certificate of Authority # 2000902208

CLIENT:

Henson Consulting, LLC

2317 Ossenfort Road

St. Louis, MO 63038

Office 636-458-4402

Landscape Planting Plan for:

Schaefer Auto Body @ 4509 Bauer Blvd.

Creve Coeur, MO 63132

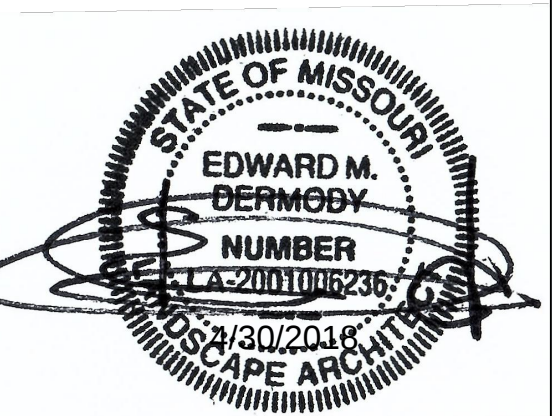
Property Owner:

Schaefer Solutions III, LLC

9902 Watson Road

Crestwood, Missouri 63129

Revisions:		
No.	Description	Date:
1	City Comment -add shrubs	4/19/2018
2	City Comment	4/30/2018



This drawing and the details on it are the sole property of the landscape architect and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or in part, or for any other purpose or project without the written consent of the Landscape Architect.

Copyright © by Dermody & Associates, LLC

Issue Date: 3/23/2018

Drawn by: EMD

Checked By: EMD

Sheet Title

Concept Planting Plan

Project Number: 962.002

BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING THE ISSUANCE OF A NEW CONDITIONAL USE
PERMIT FOR AUTOMOTIVE BODY, PAINT, AND INTERIOR REPAIR AND
MAINTENANCE USE, SCHAEFER AUTOBODY CENTER, INC.
LOCATED AT 4509 BAUR BOULEVARD**

WHEREAS, under Section 405.380(C), Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) in the "LI" Light Industrial zoning district requires the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, Marty Henson, Henson Consulting, LLC, on behalf of Scott Schaefer, of Schaefer Auto Body Center, Inc., and Drew Bextermueller, Dierbergs Realty # 2, Inc., has submitted a request for a boundary adjustment between the properties addressed as 4509 and 10725 Baur Boulevard, and a conditional use permit and site development plan for a new Schaefer Auto Body Center at 4509 Baur Boulevard; and

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, May 7, 2018, beginning at 6:30 p.m. or immediately following the close of the previous public hearing, on said application for the conditional use permit as provided by Section 405.1070(D)(2); and

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and

WHEREAS, the Planning and Zoning Commission reviewed and, by _____ votes, approved the boundary adjustment and recommended approval of the conditional use permit, subject to the conditions contained herein, at its meeting on May 7, 2018; and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed conditional use, when subject to certain conditions set forth herein:

1. Will contribute to and promote the community welfare and convenience at the specific location.
2. Will not cause substantial injury to the value of neighboring property.
3. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation therefrom.
4. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

BILL NO. _____

ORDINANCE NO. _____

SECTION 1: A Conditional Use Permit is authorized to be issued pursuant to Section 3 hereof for the operation of an Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) at 4509 Baur Boulevard, in LI (Light Industrial) District, whose legal description is as follows:

A TRACT OF LAND BEING PART OF SECTION 3 OF LINDBERGH-WARSON INDUSTRIAL CENTER, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 76 PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, AND DESCRIBED AS FOLLOWS:

COMMENCING FROM AN OLD IRON PIPE IN THE SOUTHERN LINE OF THE UNION ELECTRIC COMPANY RIGHT-OF-WAY AND BEING IN THE NORTHEASTERN CORNER OF A 5.751 ACRE TRACT CONVEYED TO UNION ELECTRIC COMPANY BY DEED RECORDED IN BOOK 3737 PAGE 18 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG SAID SOUTHERN RIGHT-OF-WAY LINE SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 284.87 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERN LINE, SOUTH 80 DEGREES 59 MINUTES 05 SECONDS EAST, 164.85 FEET TO A POINT; THENCE LEAVING SAID SOUTHERN RIGHT-OF-WAY LINE, SOUTH 00 DEGREES 24 MINUTES 54 SECONDS WEST, 352.62 FEET TO THE NORTHERN LINE OF BAUR BOULEVARD, 50 FEET WIDE; THENCE ALONG SAID NORTHERN LINE, NORTH 89 DEGREES 35 MINUTES 00 SECONDS WEST, 163.00 FEET TO A POINT; THENCE LEAVING SAID NORTHERN LINE OF BAUR BOULEVARD, NORTH 00 DEGREES 24 MINUTES 54 SECONDS EAST, 377.27 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 1.366 ACRES, MORE OR LESS.

SECTION 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. The Conditional Use Permit shall be for the operation of an Automotive Body, Paint, and Interior Repair and Maintenance (NAICS 811121) within the new 8,960 sq. ft. building at 4509 Baur Boulevard. The related boundary adjustment process shall be completed with recording of approved plat prior to issuance of the conditional use permit.
2. The Applicant is required to submit Grading and Site Improvement Plans, showing all exterior improvements, for all new construction to the Division of Planning for review, as required by Section 410.380 of the Subdivision and Land Development Regulations (Subdivision Code). The Grading and Site Improvement Plans shall be in substantial conformance with the "Site Development Plans," and the "Concept Planting Plan" submitted on April 30, 2018 as bound together and submitted in conjunction with Application #18-018 by Dawdy & Associates, Inc., and as amended below.
3. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the revised "Exterior Elevations" submitted on May 4, 2018 as bound together and submitted in conjunction with Application #18-018 by Dawdy & Associates, Inc., and as amended below.
4. The Elevations shall be revised to include a split faced material and a color consistent with the brick on the front of the building.
5. All activity and storage of parts and other materials shall occur within the building or fenced area.
6. The hours of operation are limited to 7 AM to 7 PM Monday-Friday. Additional business hours may be permitted with the Zoning Administrator's approval, including but not limited to, the hosting of special events.
7. A final landscape plan shall be provided to comply with Section 405.540 Landscaping for the Zoning Administrator's approval.
8. A minimum 5 foot landscaped buffer shall be provided along both sides of the property line with 10725 Baur Boulevard.
9. An underground irrigation system shall be installed and maintained to serve all new landscaped areas. Vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed and in a prompt manner.

BILL NO. _____

ORDINANCE NO. _____

10. All internal sidewalks shall be in compliance with Section 405.730 Sidewalks of the Zoning Ordinance, that requires a minimum of 6 feet in width or 8 feet if used as curb stop.
11. The sight proof fence surrounding the storage area shall be of a natural wood and stained, or another material, dark in color and sight proof.
12. Any new mechanical equipment installed for the site shall be located within the fenced area, or properly screened with approved materials by the Zoning Administrator.
13. All lighting shall be in conformance with Section 405.680, Lighting, of the Zoning Code, and Section 205.810 of the Parking Ordinance.
14. All signs and banners shall be in conformance with Article VII, Sign Regulations, of the Zoning Code.
15. The Applicant will work with staff to provide a 25 foot wide greenway easement from north to south for the future Centennial Greenway connection, if feasible.
16. Any future enlargement, extension, expansion or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
17. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
18. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
19. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

SECTION 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

SECTION 4: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

BILL NO. _____

ORDINANCE NO. _____

ADOPTED THIS ____ DAY OF _____, 2018.

DR. SCOTT SAUNDERS
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2018.

BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK



city of

CREVE COEUR

7.2.a

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

APPLICATION TO PLANNING AND ZONING COMMISSION #18-019 FOR APPROVAL OF THE FINAL PLAT FOR THE MINOR SUBDIVISION OF 0.5 ACRES TO CREATE A NEW LOT AT THE NORTH EAST CORNER OF 11733 OLIVE BOULEVARD

FOR THE MEETING OF: Monday, May 7, 2018

LOCATION: 11733 Olive Boulevard and 11745 Olive Boulevard. The property is zoned CB-Core Business District

REQUEST: Nick Sepac, of Mid County Real Estate, LLC, property owner of 11733 Olive Boulevard, has submitted an application for the approval of the final plat for the minor subdivision of the existing 3.9 acres, to create a separate 0.5194 acre lot at the north east corner of the property. The remaining Lot A property is 3.39 acres. No changes to the zoning are requested.

ADDITIONAL INFORMATION: The preliminary plat was approved by the Planning and Zoning Commission on April 2, 2018. Approval of a final plat is a ministerial act that should be granted unless a technical failure is found in the drawing or the drawing is not in substantial conformance with the preliminary plat.

Key Issues:

- Does the request further the goals and/or implement the Comprehensive Plan?
- Does the request follow the Subdivision Regulations?

Comp. Plan References

- NA

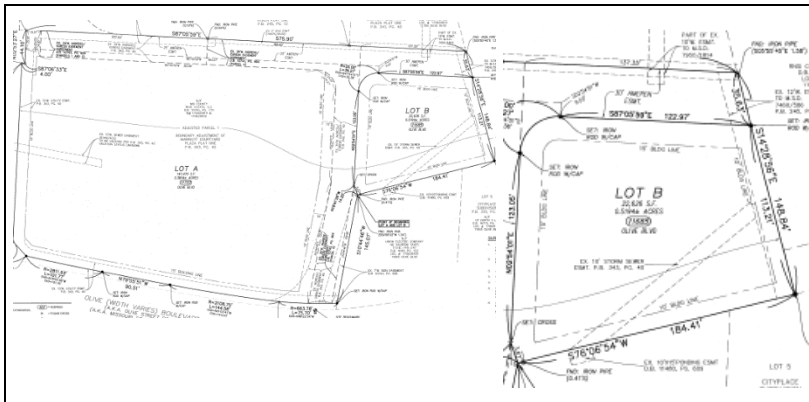
Zoning Code References

- Section 405.370: CB-Core Business District
- Chapter 410: Subdivision and Development of Land

APPLICANT: Nick Sepac
Mid County Real Estate, LLC
2128 Woodlet Park Drive
Chesterfield, MO 63017

**APPLICANT'S
REPRESENTATIVE:**

Jamey A. Henson
The Sterling Company
5055 New Baumgartner Road
St. Louis, MO 63129



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner

DATE: 5/2/2018

ATTACHMENTS: Applicant's materials submitted on April 6, 2018
Draft Ordinance

Attachment: 18-019.11733 Olive Boulevard Subdivision Final Plat.Staff Report.5-7-2018 (18-019: Marriot Courtyard Plaza Plat 2)

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

Direction	Use	Zoning District	Separated by
North	Hotel	CB-Core Business District	Private Alley/Cross Access
South	Ameren Substation	CB-Core Business District	N/A
East	CityPlace Retail Center	CB-Core Business District	N/A
West	Aldi Shopping Center	CB-Core Business District	Private Alley/Cross Access

DISCUSSION

The Planning and Zoning Commission initially reviewed the preliminary subdivision plat for the minor subdivision to create Lot B from the property at 11733 Olive Boulevard, to allow for the future relocation of the Ameren substation. Section 410.220: Lots, provides further direction regarding lot layout where the lots must be in accordance with the provisions of the zoning district in which the property is located, with the individual lots having a width and depth adequate to provide the necessary front, side and rear yard requirements of the Creve Coeur Zoning Ordinance. The proposed lots comply with the minimum district requirements for the CB District that requires a minimum lot area of ½ acres (21,780 sq. ft.) with a minimum lot depth of 100 feet and lot width of 100 feet. The new Lot B is 22,626 sq. ft. or approximately 0.52 acres and has a lot dimension of 122.97 feet along the private street to the north, and 123.05 feet along the private street to the west, 184.41 feet along the south adjacent to the Ameren lot at 11665 Olive Boulevard, and 113.21 feet at the City Place Retail property. The remaining Lot A property is approximately 3.39 acres. A condition of the approval of the preliminary plat included that the setbacks on the property were to be included. Below is a close-up of the final plat:

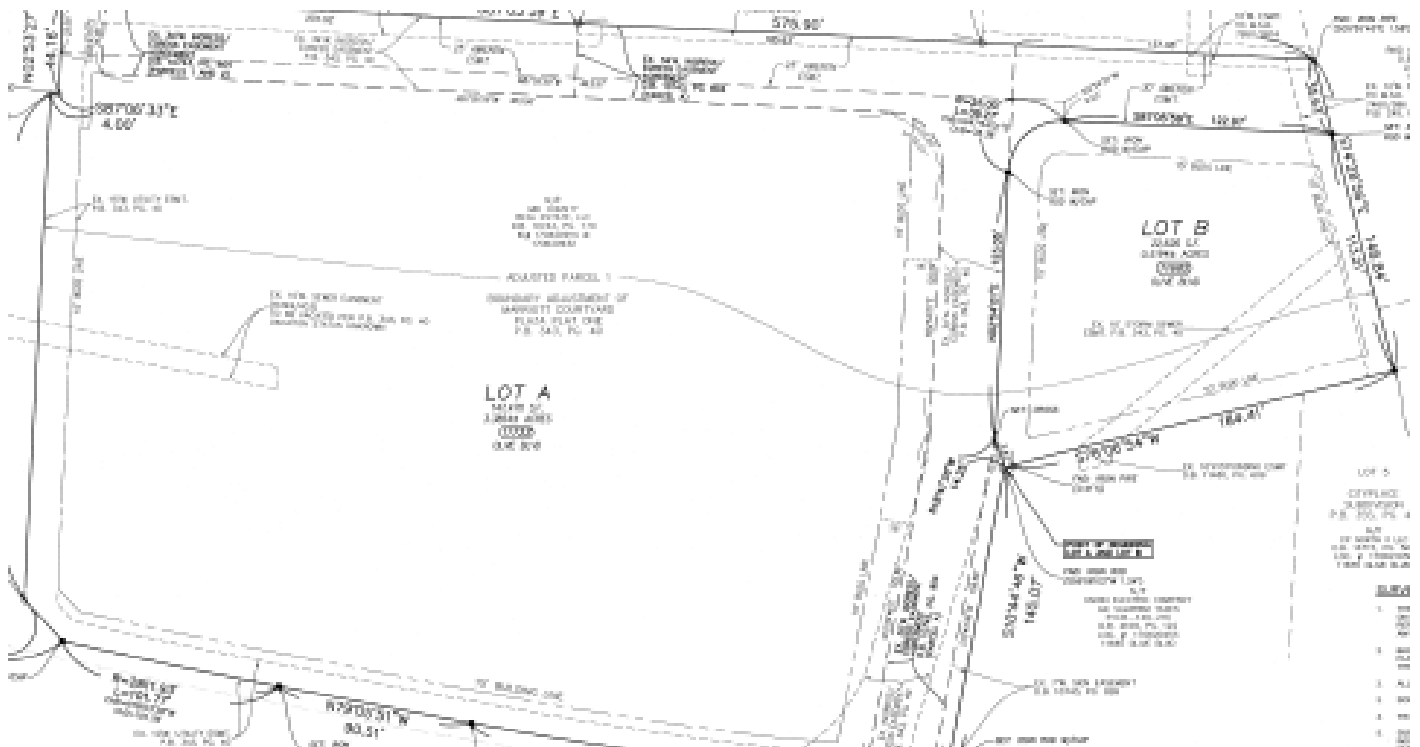


Figure 1: Close-up of the Plat showing Lot A and Lot B of the proposed subdivision

Additionally, the City has requested an easement along/near the north side of the property for the existing utility duct bank that was installed in anticipation of the Olive TDD's burial of the power lines. The easement would allow for such work in this area should that project ever move forward. The Applicant has included the easement to Ameren along the entire length of Lot A on the plat. Therefore, Staff finds that the final plat is consistent with the preliminary plat and that the conditions have been met.

CONCLUSION AND ACTION

Should the Planning and Zoning Commission recommend approval of the proposed final plat, staff recommend the following conditions be added:

1. The Applicant shall provide two (2) disks containing a digitized version of the plat along with two (2) printed copies of the recorded plat. Acceptable data formats include AutoCAD (.dwg or .dxf), MicroStation Design File (.dgn), ArcInfo Coverage, ArcView Shape File (.shp), or MapInfo.

Action on this item will be in the form of a motion to recommend approval as presented, or approval with additional conditions to meet all technical requirements. The following is an example motion for this application:

“I move to recommend approval of the final plat of the Olive Marriott minor subdivision with the conditions outlined in the staff report for the meeting of May 7, 2018.” (Other conditions may be added, eliminated, altered, and modified by prior motion).

APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE (CHAPTER 405 OF THE CREVE COEUR MUNICIPAL CODE)

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: CREVE COEUR SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (CHAPTER 410 OF THE CREVE COEUR MUNICIPAL CODE)

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 4: AERIAL MAP

11733 Olive Boulevard, Olive Marriott Subdivision



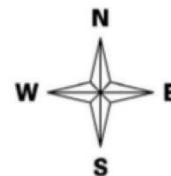
City Limits

Parcels

Parcels Label

Roads Labels

March 20, 2018



Prepared By

HORNER SHIFRIN

BILL NUMBER _____

ORDINANCE NUMBER _____

**AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT FOR THE
MARRIOTT COURTYARD PLAZA PLAT 2 TO CREATE A NEW LOT B FOR
THE PROPERTY ADDRESSED AS 11733 AND 11745 OLIVE BOULEVARD,
CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI**

WHEREAS, an application has been submitted for the approval of a final plat for the minor subdivision of the existing 3.9 acres, to create a new separate 0.52-acre lot at the northeast corner of the property; and

WHEREAS, the final plat of the Marriott Courtyard Plaza Plat 2 substantially conforms to the preliminary plat reviewed by the Planning and Zoning Commission on April 2, 2018; and,

WHEREAS, public notice of said final plat application was provided in accordance with Section 410.140.C.2 of the Creve Coeur Municipal Code; and

WHEREAS, the Planning and Zoning Commission recommended, by a vote of _____, approval of the Marriott Courtyard Plaza Plat 2 final plat on May 7, 2018; and

WHEREAS, a copy of the proposed ordinance has been made available for public inspection prior to its adoption by the City Council and this bill having been read by title in open meeting two times before final passage by the City Council, and

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, Missouri as follows:

SECTION 1: The final plat of subdivision known as Marriott Courtyard Plaza Plat 2, described as a tract of land being all of "Adjusted Parcel 1 of Boundary Adjustment, Road Dedication and Easement Plat of Parcel A of 'Marriott Courtyard Plaza Plat 1' (Plat Book 343, Page 40) Located In Section 3, Township 45 North, Range 5 East, City of Creve Coeur, St. Louis County, Missouri", as heretofore submitted on April 6, 2018 is hereby approved subject to the following conditions:

1. The Applicant shall provide two (2) disks containing a digitized version of the plat along with two (2) printed copies of the recorded plat. Acceptable data formats include AutoCAD (.dwg or .dxf), MicroStation Design File (.dgn), ArcInfo Coverage, ArcView Shape File (.shp), or MapInfo.

SECTION 2: Such approval of the plat for the subdivision of the property shall be endorsed on said Plat as indicated in Section 1 hereof under the hand of the City Clerk, and the seal of the City of Creve Coeur, Missouri shall be affixed thereto.

SECTION 3: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2018.

DR. SCOTT SAUNDERS
PRESIDENT OF CITY COUNCIL

Attachment: 18-019.11733 Olive Boulevard Subdivision Final Plat.Draft Ordinance.5-7-2018 (18-019: Marriott Courtyard Plaza Plat 2)

APPROVED THIS ____ DAY OF _____, 2018.

BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK