



AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
TUESDAY, JANUARY 22, 2019
6:30 PM

Pursuant to Section 610.022 RSMo, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

CALL TO ORDER

ROLL CALL

Ms. Beth Kistner (Chair)
Mr. Tim Carney
Ms. Muriel Hall
Mr. Don Magruder
Mr. James Myers
Mr. Gene Rovak
Mr. Matthew Schuh
Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Whitney Kelly, City Planner
Ms. Jessica Stutte, Planning Assistant/Recording Secretary

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

- 1. January 7, 2019 Planning and Zoning Commission Draft Meeting Minutes**

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS**1. Application #18-050: Minor Site Plan Approval For Exterior Modifications To The Building At 453 N. Lindbergh Blvd.**

Alan Peele, of Cardinal Contractors, has applied for approval of modifications to the exterior of the building at 453 N. Lindbergh Blvd. The proposal consists of painting the existing building a new beige color, adding new gabled roofs to the front facade and cladding the front columns supporting the balcony with stone. The building will be used as a sales and management office only for Cardinal Contracting with no storage of materials or equipment on site. Section 405.1080 requires minor site plan approval by the Planning and Zoning Commission for any proposed alteration that would significantly affect the exterior of a building.

NEW BUSINESS**1. Application #19-001: Minor Site Plan Approval For The Exterior Modification To The Building For The Aldi Tenant Space At 11745 Olive Boulevard. Request to Continue**

Adam Noga, APD Engineering and Architecture, PLLC, on behalf of Aldi Inc. has submitted an application for the exterior renovation to the Aldi's tenant space at 11745 Olive Boulevard that includes new entrance canopy structure and lighting. Section 405.1080 requires minor site plan approval by the Planning and Zoning Commission for any proposed alteration that would significantly affect the exterior of a building. Staff is requesting that the item be continued to the February 4, 2019 meeting date.

2. PUBLIC HEARING. Application #19-002: Text Amendments To Various Sections Of The Zoning Ordinance (Chapter 405) To Provide For Regulations Regarding Medical Marijuana Businesses. Request to Table

Jason Jaggi, Director of Community Development, on behalf of the City of Creve Coeur, has submitted for text amendment to various sections of the Zoning Ordinance (Chapter 405) to provide land use regulations for medical marijuana processing and dispensaries to comply with recent state law. Staff is requesting to table the item for further research on the various regulations that maybe required. The item will be re-noticed when ready to proceed for Planning and Zoning Commission review.

3. PUBLIC HEARING. Application #19-003: Text Amendments To Section 405.470(A)(14)(B) Regarding The Regulations For Restaurants To Eliminate The 40% Limitation For Such Uses Within A Retail Or Office Building

Jason Jaggi, Director of Community Development, on behalf of the City of Creve Coeur, has submitted an application for revisions to Section 405.470(A)(14)(b) where restaurants are limited to two acre sites, however the acreage requirement does not apply to restaurants without drive-thru services in the "CB," "PO," "PC" and "LI" Districts that are located within a retail or office building, provided that such restaurants do not collectively occupy more than forty percent (40%) of the building square footage.

4. Santino Court Subdivision Improvement Plan Request For Extension And Clarify The Language Of Section 4 Within Ordinance No. 5570

Ordinance 5570 authorized the rezoning from A Single Family Residential to B-RDD and preliminary plans for the Santino Court Subdivision on February 26, 2018. The final plat and subdivision improvement plans were reviewed and approved by the Planning and Zoning Commission on May 21, 2018. Council authorized the final plan on June 2018, Ordinance 5590. Section 405.1080(K)(4) states that no site development plan or minor site plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of the application if the application as resubmitted is substantially the same as the initially approved application. However, the Commission and the Council, as applicable, have the power in such cases to attach new conditions to their re-approval or to disapprove the reapplication. Where the application for re-approval contains changes which the Zoning Administrator concludes materially alter the initial application, the Zoning Administrator shall initiate a new site development plan review procedure as stated in Section 405.1080 or a new minor site plan review procedure as stated in Section 405.1080. The Applicant's are requesting a one year extension due to the reasons described in a letter received January 8, 2019. Section 4 of Ordinance incorrectly referenced a 180 day prior date. The revised Ordinance corrects this error.

WORK AGENDA**DEPARTMENT REPORTS**

Director of Community Development

1. Capital Improvement Program (CIP) FY 2020-2024 Schedule**ADJOURNMENT**

Posted: _____

Jason W. Jaggi
Director of Community Development



DRAFT MINUTES
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, JANUARY 7, 2019
6:30 PM

CALL TO ORDER

Ms. Kistner called the meeting to order at 6:30 pm.

ROLL CALL

Beth Kistner	Commission Chair	
Tim Carney	Commission Member	
Gene Rovak	Commission Member	(Absent)
Muriel Hall	Commission Member	
Don Magruder	Commission Member	
James Myers	Commission Member	
Matthew Schuh	Commission Member	(Absent)

The following staff were also present: Carl Lumley, City Attorney; Jason Jaggi, Director of Community Development; and, Jessica Stutte, Planning Assistant/ Recording Secretary.

Ms. Kelly, City Planner, was not in attendance.

ACCEPTANCE OF THE AGENDA

Mr. Carney made a motion to approve the agenda. Mr. Myers seconded. All in favor.

APPROVAL OF MINUTES

1. December 17, 2018 Planning and Zoning Commission Draft Meeting Minutes

Mr. Magruder made a motion to approve the minutes for December 17, 2018. Mr. Carney seconded. All in favor.

PUBLIC COMMENT

None

UNFINISHED BUSINESS

None

NEW BUSINESS**1. Application #18-050. Minor Site Plan Approval for Exterior Modifications to the Building at 453 N. Lindbergh Blvd.**

Mr. Alan Peele, of Cardinal Contractors, spoke to the request for approval to update the building at 453 N Lindbergh Blvd. He showed the color and said he would like the exterior to be warm gray. He said he would like the columns to be stone. He said it would be changing the aesthetics and not the function.

Mr. Carney asked if the cedar would be a natural color.

Mr. Peele said it would be.

Mr. Jaggi said the simulated stone would be placed on the columns. He said staff felt it would be an improvement. He said that the landscaping could be improved, and that staff recommends some shrubbery and a few trees. Mr. Jaggi said the parking lot would also need to be resealed. He said the office use is permitted. He spoke to the sidewalk and said that because it would be a very small segment and located within MoDot right away they didn't see the need to recommend it at this time or request an easement for future improvements.

Ms. Kistner asked if the balcony railing would change.

Mr. Peele said they would be putting in a black metal rail.

Mr. Carney asked about lighting.

Mr. Peele said that was not a concern right now.

Mr. Myers asked about the use of the building once completed.

Mr. Peele said the space would be used for his employees to manage their job paperwork.

Ms. Kistner said it was hard to visualize the proposed changes to the building without a color rendering.

Mr. Magruder said he would like to see samples of the railing and the color of the materials.

Ms. Kistner said she would like to see how the different styles blend together because she cannot visualize it. Ms. Kistner added a detailed rendering would be helpful.

Ms. Hall asked if he would be doing the work himself and could he bring in samples for the Commission to see.

Mr. Peele said he could do that.

Mr. Carney said color renderings would be helpful.

Ms. Hall asked what color the roof would be.

Mr. Peele said they would be a slate gray asphalt shingle.

Ms. Kistner said they wanted to see the final facade.

Mr. Myers made a motion to continue the item to the next meeting. Mr. Magruder seconded. All in favor.

RESULT:	CONTINUED [UNANIMOUS]	Next: 1/22/2019 6:30 PM
MOVER:	James Myers, Commission Member	
SECONDER:	Don Magruder, Commission Member	
AYES:	Kistner, Carney, Hall, Magruder, Myers	
ABSENT:	Rovak, Schuh	

2. Application: #18-048: Boundary Adjustment for 906 Woodshire Lane

The applicant, Mark Ruck, was not in attendance.

Mr. Jaggi spoke to the request. He said the applicant has 2 properties back to back, one in the city, one in the county. He said the property would also need to be annexed. He said no additional land non-conformities were being created and that the consolidated lot would be closer to the required size.

Mr. Carney asked if it would be able to be a flag lot.

Mr. Jaggi said it would not.

Mr. Magruder made a motion to approve subject to staff's recommended conditions, Ms. Hall seconded. All in favor.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Don Magruder, Commission Member
SECONDER:	Muriel Hall, Commission Member
AYES:	Kistner, Carney, Hall, Magruder, Myers
ABSENT:	Rovak, Schuh

WORK AGENDA

1. Zoning Ordinance Update-West Olive Corridor

Mr. Jaggi said they wanted to focus on the West Olive Corridor west of I -270. He said this is the newer part of Creve Coeur and has newer residential areas and development compared to east of I-270. He said the first step was to understand the diversity of the existing zoning. He suggested rezoning the sliver of CB on the north side of Olive to GC or something else.

There was some discussion of the MX district and the role it plays.

There was discussion about the height of some of the buildings.

Mr. Carney asked if there was a height restriction in Planned Office areas.

Mr. Jaggi said he thought there was.

There was discussion about the CB district.

Mr. Jaggi spoke about setbacks. He said the length and varied setbacks would make it very difficult to have firm setbacks. He said the different zoning districts were part of the challenge with consistent setbacks.

There was further discussion about setbacks.

Ms. Kistner suggested a range of allowable setbacks.

Mr. Jaggi spoke about sky plane and buffers and the directions they could take.

Mr. Jaggi will provide additional information for the second review of this corridor at the next meeting.

RESULT:	ITEM DISCUSSED
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DEPARTMENT REPORTS

Mr. Jaggi said the CIP was approaching and he would like to get the information to the Commission as soon as possible.

ADJOURNMENT

Mr. Myers made a motion to adjourn. All in favor.

Meeting closed at 7:47pm.



city of CREVE COEUR

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APPLICATION TO PLANNING AND ZONING COMMISSION #18-050 FOR A MINOR SITE PLAN APPROVAL FOR THE EXTERIOR MODIFICATION TO THE BUILDING AT 453 N. LINDBERGH BOULEVARD

FOR THE MEETING OF: Tuesday, January 22, 2019

SUBJECT PROPERTY LOCATION: 453 N. Lindbergh Boulevard, Zoned GC-General Commercial District.

REQUEST: Alan Peele, of Cardinal Contractors, has submitted an application for the modifications to the exterior of the building at 453 N. Lindbergh Boulevard, that include painting the existing building a light beige color, new roof eaves, and stone columns on the balcony. The building will be used as a sales and management office only for Cardinal Contracting, no storage of materials or equipment will be on site.

ADDITIONAL INFORMATION: The building was originally developed in 1965 and has largely remained unchanged since that time. Therefore, the property has pre-existing, nonconformities on the site. Section 405.1080 also requires minor site plan approval by the Planning and Zoning Commission for any proposed alteration that would significantly affect the exterior of a building. City Council action is not required.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?
- Is the request consistent with the Design Guidelines?

Comprehensive Plan References

- Design Guidelines

Zoning Code References

- Section 405.210: Regulation of Uses
- Section 405.360: General Commercial District
- Section 405.1080: Site Concept, Site Development and Minor Site Plan Approval.

APPLICANT: Alan Peele
 Cardinal Contractors
 2362 Hwy 94 South Outer Rd
 St Charles, MO 63303



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: 1/17/2019
ATTACHMENTS: Applicant's Materials received January 17, 2019

REVISIONS SINCE THE JANUARY 7, 2019 PLANNING AND ZONING COMMISSION

During the prior Commission Meeting, the members asked to see color renderings of the proposed elevations, and that the Applicant provide material samples to aid in the review. The proposed alterations include a new gable roof and stone columns, and the overall structure painted a light grey color, instead of the beige. The Applicant will have material and color samples for the Commission's review at the meeting.



Figure 1: Color rendering of the front elevations.



Figure 2: North and South Color Elevations



Figure 3: Rear (West) Elevation

The Applicant also provided a revised Landscape plan to include two new red maple trees on either side of the entrance, and boxwood shrubs to soften the existing landscaping walls as discussed in the prior report.

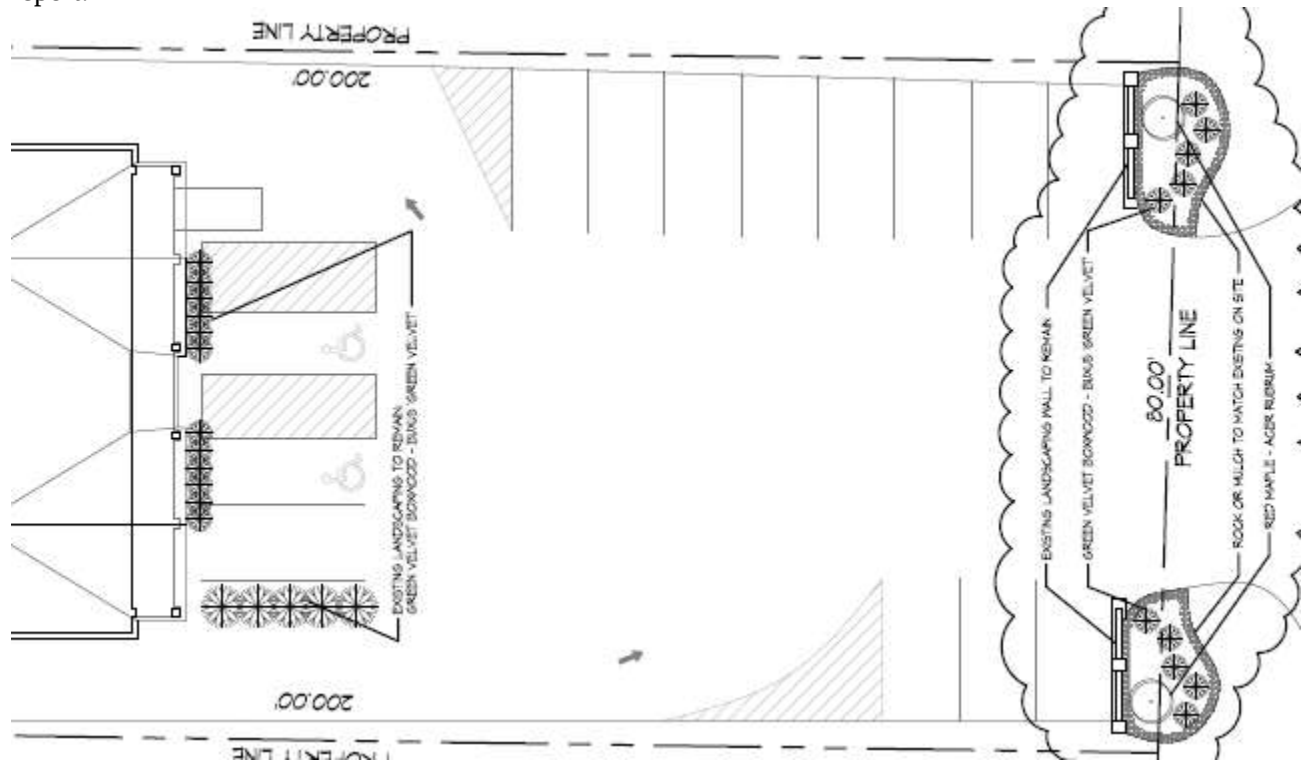


Figure 4: Revised Site/Landscape Plan

The Commission should review the materials and provide direction to the Applicant.

RECOMMENDATION

Below are the updated recommendations from the prior staff report, with the exception that the Landscaping as submitted is revised. Additional discussion of the color and painting of the brick may require additional conditions.

1. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the "Concept Elevations" received January 17, 2019 as bound together and submitted in conjunction with Application #18-050 by Killian Smith Architect + Associates and with all conditions of approval.
2. All lighting shall be in conformance with Section 405.680, Lighting, of the Zoning Code, and Section 405.810 of the Parking Ordinance. Any new additional light standards shall require approval of the Planning and Zoning Commission prior to installation.
3. The use of the building shall be for office only. There shall be no storage of construction materials, roofing materials, or equipment associated with the Roofing Contracting on the property at any time.
4. All vehicles displaying permitted vehicular signs owned by or operated on behalf of a business operating within the City limits shall only park said vehicle when at the business location behind the front building line within a properly designated parking space. Where such parking is not available, said vehicle shall park as far from the right-of-way and in the least visible area possible, in relation to the public rights-of-way, in compliance with Section 405.930(D)(6)(a) of the City's Sign Regulations.

5. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code
6. The trees shall be a minimum of 3" caliper to comply with Section 405.540(F)(1) of the Landscaping Ordinance.
7. All landscaping shall be permanently maintained in good condition with at least the same quality and quantity of landscaping as initially approved. Vegetation that is totally or predominantly dead and/or disfigured due to disease or injury shall be replaced as needed, and should the street trees be removed, sufficient landscaping shall be provided on the property to be consistent with the Landscape Plan to the extent possible, as required under Section 405.540 Landscaping
8. All property maintenance issues shall be addressed to the Building Official's satisfaction, to specifically include repairing, re-sealing and restriping the asphalt parking lot.
9. No site development plan or minor site plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of the application if the application as resubmitted is substantially the same as the initially approved application. However, the Commission and the Council, as applicable, have the power in such cases to attach new conditions to their re-approval or to disapprove the reapplication. Where the application for re-approval contains changes which the Zoning Administrator concludes materially alter the initial application, the Zoning Administrator shall initiate a new site development plan review procedure as stated in Section 405.1080 or a new minor site plan review procedure as stated in Section 405.1080.

MOTION

The motion to approve the site development plan as shown in the Applicant's materials will be in the form of approval, approval with conditions, denial or deferral. City Council action is not required for minor site development plans. The following is an example of an appropriate motion for this proposal:

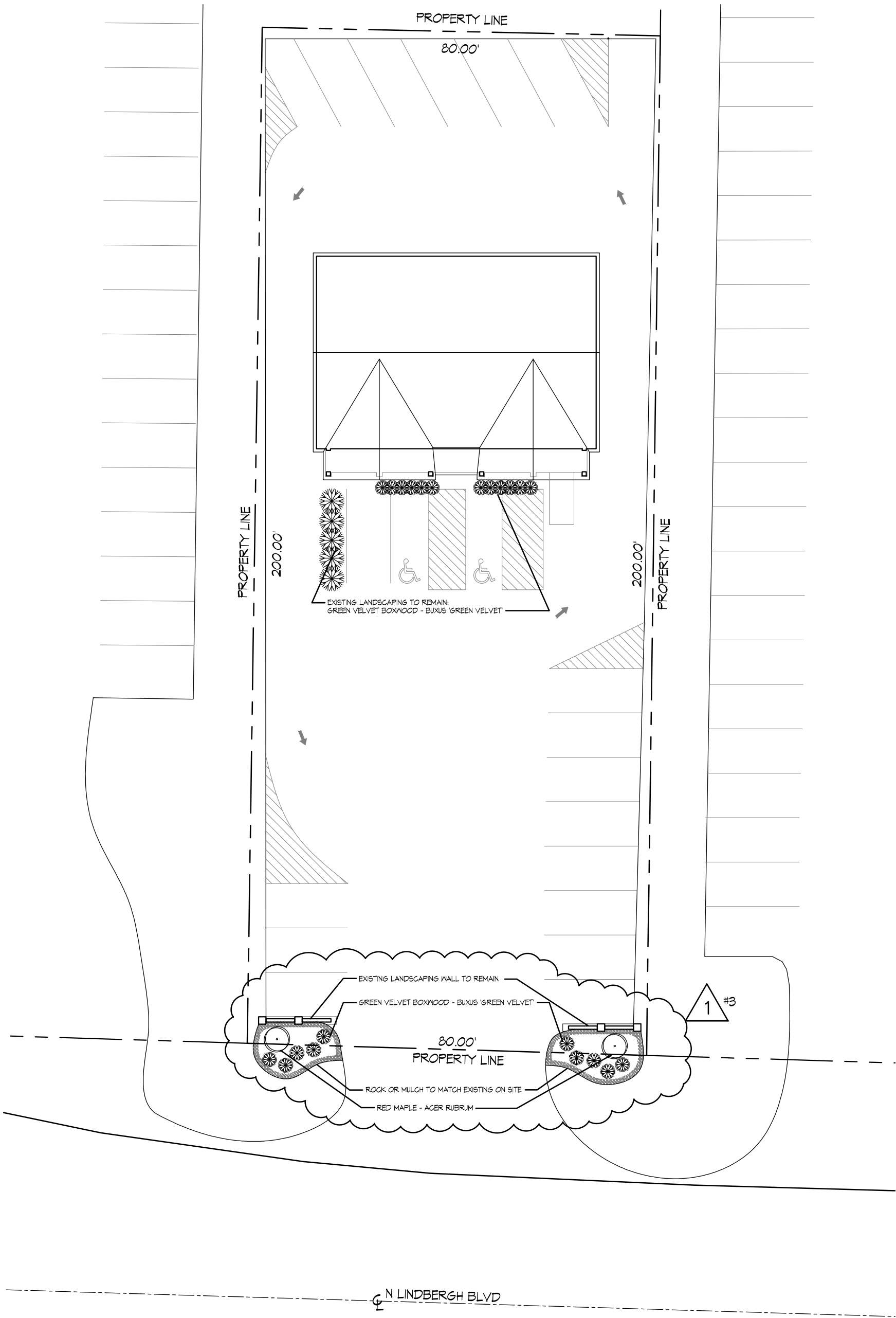
"I move to approve of the minor site plan for the façade improvements for the building at 453 N. Lindbergh Boulevard as bound together with Application #18-050, as presented to the Planning and Zoning Commission, subject to the conditions contained in the staff report for the meeting of January 22, 2019" (conditions may be added, eliminated, or modified by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

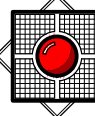
Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.



1 SITE PLAN
SCALE: 1" = 20'-0"

C-1	16 JAN 19	Project Name EXTERIOR RENOVATION FOR: PEELE PROPERTIES 453 N LINDBERGH BLVD CREVE COEUR, MO 63141	Project Code APR 1802	 KILLIAN SMITH ARCHITECT + ASSOCIATES, P.C. 800 South Harrison 314 • 909 • 8822 St. Louis MO 63122 Fax 314 • 909 • 8833	COPYRIGHT NOTICE © 2019 THIS DRAWING AND DESIGN REPRESENT THE ARCHITECTURAL WORK OF KILLIAN J. SMITH AND KILLIAN SMITH ARCHITECT + ASSOCIATES, P.C. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM KILLIAN SMITH ARCHITECT + ASSOCIATES, P.C.
		Drawing Title SITE PLAN			



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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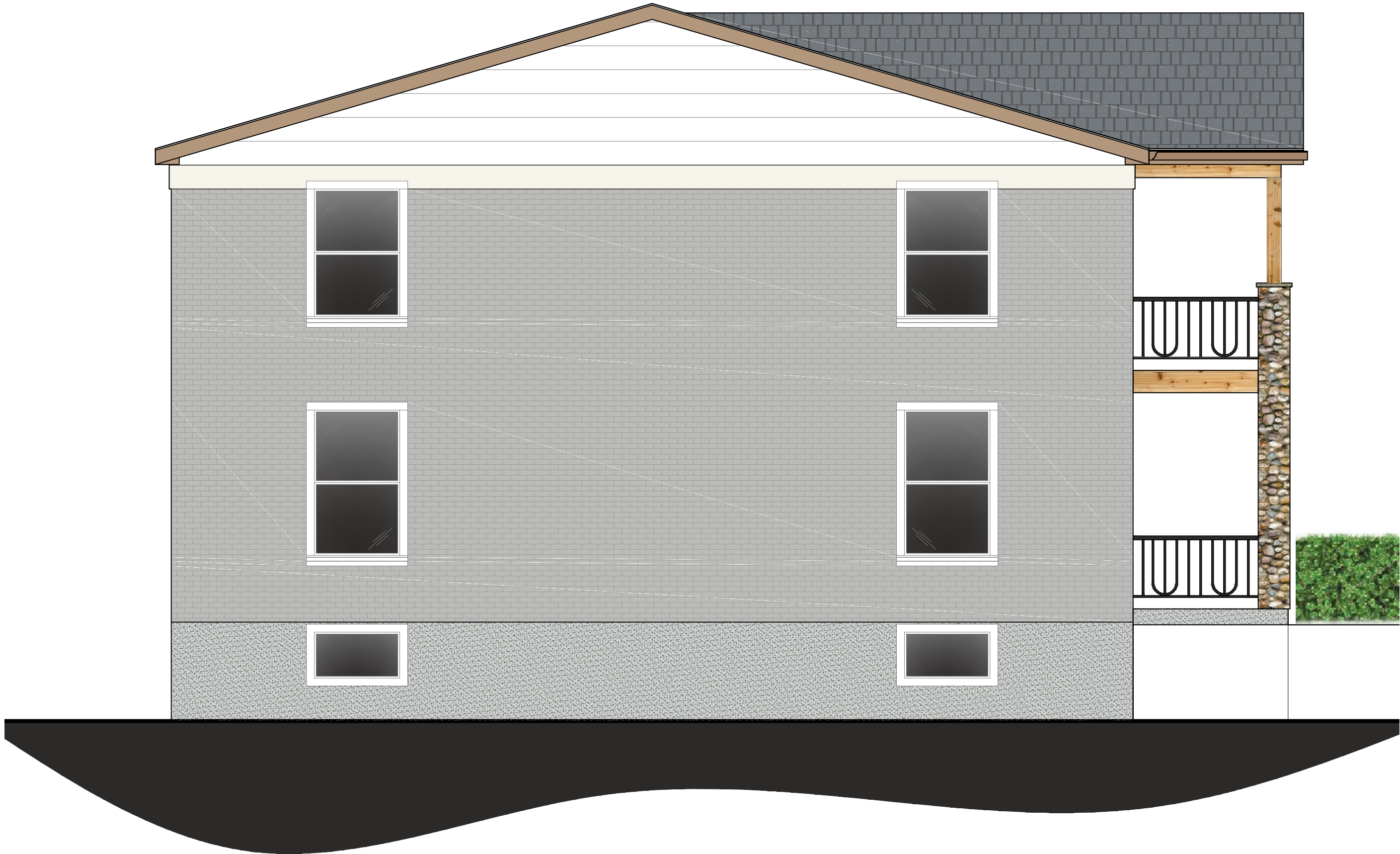
Project Code
APR 1802

EXTERIOR RENOVATION FOR:
PEELE PROPERTIES
453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Issue Date
16 JAN 19

Drawing Number
AD-1

Attachment: Revised drawings received 1-17-2019 (453 N Lindbergh Minor Site Plan Exterior Modifications)

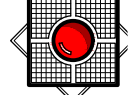


1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Revisions 6.1.b

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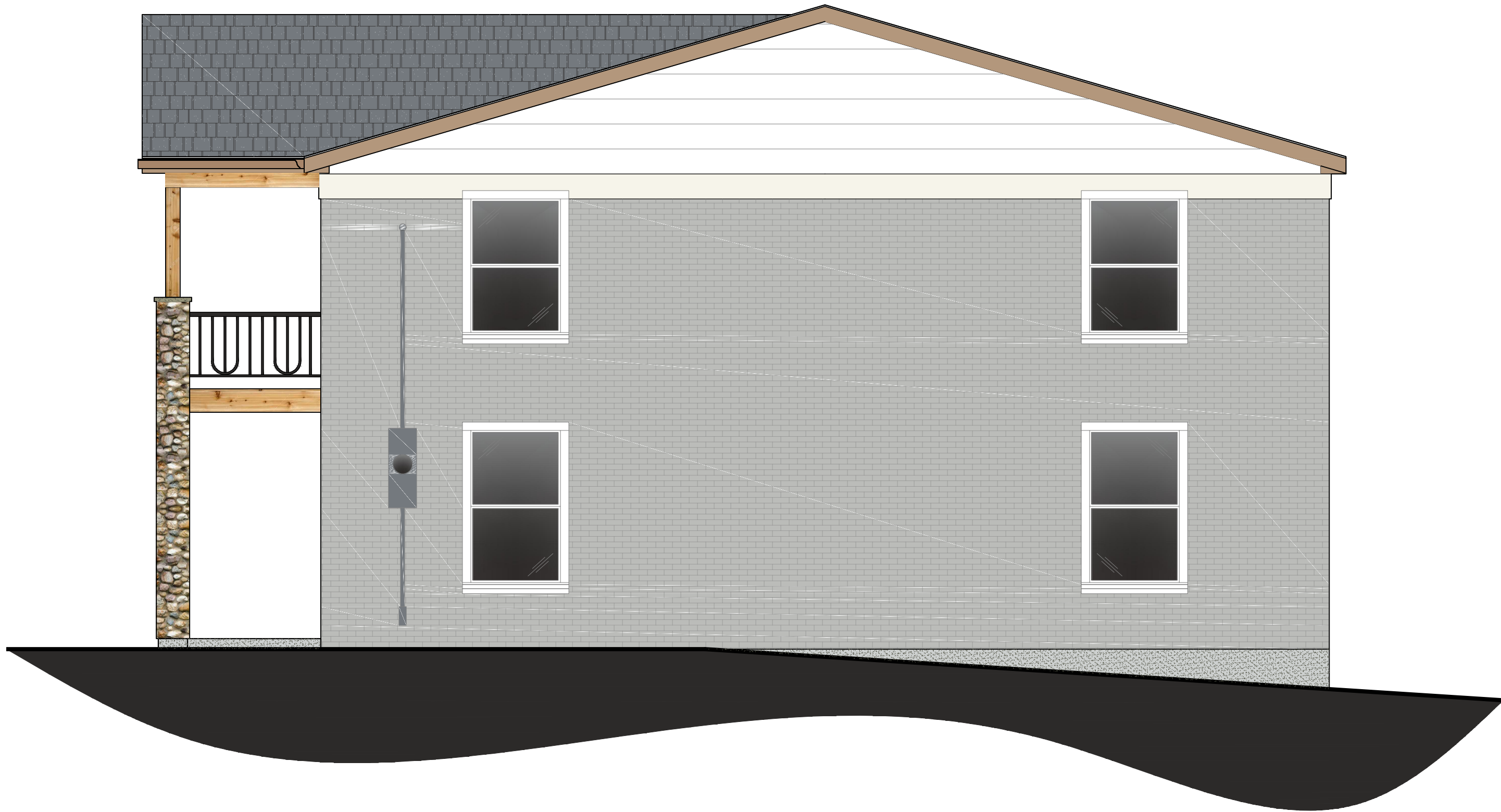
Project Code
APR 1802

EXTERIOR RENOVATION FOR:
PEELE PROPERTIES
453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Issue Date
16 JAN 19

Drawing Number
AD-2
Packet Pg. 14

Attachment: Revised drawings received 1-17-2019 (453 N Lindbergh Minor Site Plan Exterior Modifications)



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Revisions 6.1.b

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Project Code
APR 1802

Project Name
EXTERIOR RENOVATION FOR:
PEELE PROPERTIES
453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Issue Date
16 JAN 19

Drawing Number

AD-3

Packet Pg. 15

Attachment: Revised drawings received 1-17-2019 (453 N Lindbergh Minor Site Plan Exterior Modifications)



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions 6.1.b

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Project Code
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Project Name
EXTERIOR RENOVATION FOR:
PEELE PROPERTIES
453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Issue Date
16 JAN 19

Drawing Number
AD-4
Packet Pg. 16

Attachment: Revised drawings received 1-17-2019 (453 N Lindbergh Minor Site Plan Exterior Modifications)



city of CREVE COEUR

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APPLICATION TO PLANNING AND ZONING COMMISSION #18-050 FOR A MINOR SITE PLAN APPROVAL FOR THE EXTERIOR MODIFICATION TO THE BUILDING AT 453 N. LINDBERGH BOULEVARD

FOR THE MEETING OF: Monday, January 7, 2019

SUBJECT PROPERTY LOCATION: 453 N. Lindbergh Boulevard, Zoned GC-General Commercial District.

REQUEST: Alan Peele, of Cardinal Contractors, has applied for approval of the modifications to the exterior of the building at 453 N. Lindbergh Boulevard, that include painting the existing building a light beige color, new roof eaves, and stone columns on the balcony. The building will be used as a sales and management office only for Cardinal Contracting, no storage of materials or equipment will be on site.

ADDITIONAL INFORMATION: The building was originally developed in 1965 and has largely remained unchanged since that time. Therefore, the property has pre-existing, nonconformities on the site. Section 405.1080 requires minor site plan approval by the Planning and Zoning Commission for any proposed alteration that would significantly affect the exterior of a building. City Council action is not required.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?
- Is the request consistent with the Design Guidelines?

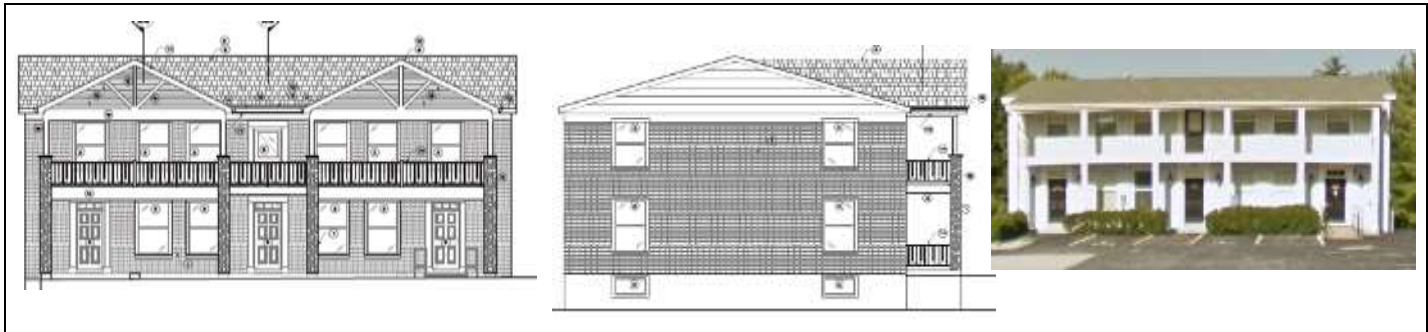
Comprehensive Plan References

- Design Guidelines

Zoning Code References

- Section 405.210: Regulation of Uses
- Section 405.360: General Commercial District
- Section 405.1080: Site Concept, Site Development and Minor Site Plan Approval.

APPLICANT: Alan Peele
 Cardinal Contractors
 2362 Hwy 94 South Outer Rd
 St Charles, MO 63303



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: 1/3/2019
ATTACHMENTS: Applicant's Materials received December 11, 2018, and Site Plan/Landscaping Plan received December 28, 2018

PROJECT DESCRIPTION

The original building was developed in 1965 and contains pre-existing, non-conformities on the site. The Applicant recently purchased the property and is renovating the exterior of the building for offices. Cardinal Contracting is a roofing contractor (NAICS 238160) which is not an allowed use within the City. However, the Applicant has indicated that this property will be used only as the sales office, with no storage of materials or supplies, dumpsters nor trucks be parked, nor company vehicles parked overnight on site at this location. Therefore, Staff has included a condition of approval to the effect that the use will remain as an office function only.

The proposed alterations include a new gable roof and stone columns, and the overall structure painted a light beige color.



Figure 1: Proposed front elevation

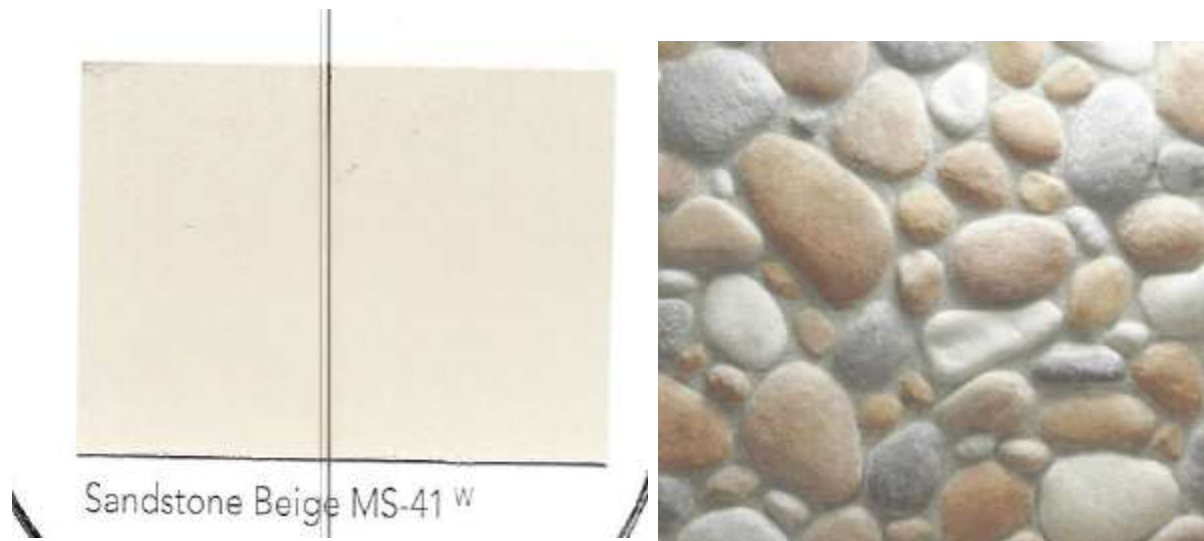


Figure 2: Proposed color and new manufactured stone material for the columns.

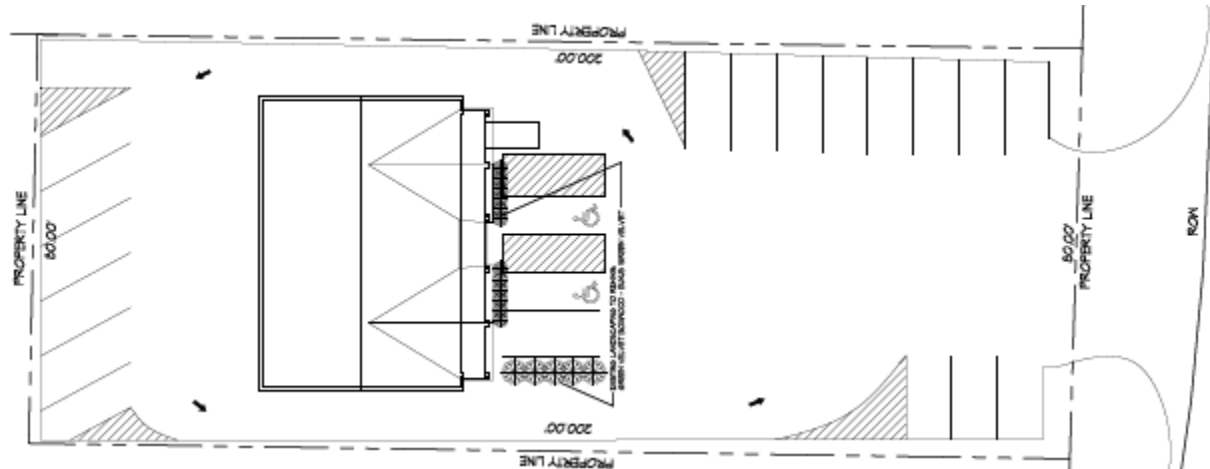


Figure 3: Site plan with existing landscaping.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Office	GC-General Commercial	NA
South	Office	GC-General Commercial	NA
East	Office	GC-General Commercial	Lindbergh Blvd.
West	Office	GC-General Commercial	NA

COMPREHENSIVE PLAN REVIEW

Creve Coeur 2030 Plan includes the subject property within the Lindbergh Boulevard Corridor that calls for a visually-distinctive mixed-use and office corridor that is part of the Mixed-Use District Place Type. Land uses are supported through primarily vehicular access with improved walkability, pedestrian connections to adjacent neighborhoods, and beautifully landscaped streets. (p. 102). As the Applicant is largely using the site as is, and there are pre-existing, non-conformities on the Site with very limited landscaping, the proposal is largely in keeping with these recommendations in as much as this request can, with the condition that additional landscaping shall be provided at the entrance along N. Lindbergh Boulevard, and to soften the site elements where possible, to further the site toward the goals of the Comprehensive Plan and the Landscaping Regulations as discussed further below.

Design Guidelines

The City's Design Guidelines recommend that materials should have good architectural character, be durable, and selected for their compatibility with adjoining buildings and properties. Natural, traditional building materials that require minimum maintenance, with color that is integral to the materials and not be painted on (Chapter E Materials/Colors, p. 9). The Applicants are proposing to re-paint the existing gray brick a light beige color, adding manufactured stone cladding on the columns, and providing new gabled roofs at the entrances facing N. Lindbergh Boulevard. Since the masonry is already painted and the applicant is proposing to use wood cedar siding on the faces of the new roof gables, the request fulfills the objectives of the Design Guidelines as much as it can in consideration of the pre-existing nature of the building. The Applicant will be present material and color samples for the Commission's review at the meeting.

ZONING REVIEW

As the building is pre-existing, and the Applicants are only seeking to modify the exterior of the building, zoning review is limited to the existing landscaping.

Landscaping:

Section 405.540(F)(10) Landscaping of the Zoning Ordinances requires that all landscaping shall be permanently maintained in good condition with at least the same quality and quantity of landscaping as initially approved. As the site is pre-existing, non-conforming, and Staff has not been able to locate a prior approved landscape plan, the proposed landscaping is largely to maintain the existing on site. However, Staff has included a condition of approval that a revised landscape plan be provided to bring the site closer to compliance with the existing regulations where possible, including a minimum of 1 street tree of 3" caliper along any street frontage and additional plantings including trees and shrubs along the architectural walls facing N. Lindbergh Boulevard for the Zoning Administrator's approval to soften up the entrances.

Sidewalks

Section 405.730 Sidewalks requires that all non-residential developments requiring site concept plan and/or site development plan approval must provide safe, clearly defined and direct access between buildings and from the principal building's entrance to the public sidewalk. However, the Applicants are utilizing an existing site largely as is without adding additional coverage, and there is an existing partial sidewalk along N. Lindbergh Boulevard to the north of the driveway entrance. There appears to be room to provide a sidewalk on the south side of the entrance to the property line; however, the length of this segment will be very short, and a connection is not provided on the adjacent property to the south. Given the limited benefit; Staff has not required one to be included at this time.

Other Items

The site is generally in good repair; however, the asphalt parking lot needs maintenance. Staff has listed a condition that as part of the renovation, the parking lot be repaired, resealed and re-stripped and that any other property maintenance issues be corrected at the direction of the Building Official.

RECOMMENDATION

Based on the above analysis, the request for façade improvements meets all of the requirements of the Comprehensive Plan and Zoning Ordinance, with the exceptions discussed above. Staff recommends the following conditions be incorporated in any motion for the approval of the minor Site Plan. Additional discussion of the color and painting of the brick may require additional conditions.

1. The Applicant is required to submit a Building Permit application, as required by Article II of the Building Code. Exterior elevations shall be in substantial conformance with the "Concept Elevations" received December 11, 2018 as bound together and submitted in conjunction with Application #18-040 by Killian Smith Architect + Associates and with all conditions of approval.
2. All lighting shall be in conformance with Section 405.680, Lighting, of the Zoning Code, and Section 205.810 of the Parking Ordinance. Any new additional light standards shall require approval of the Planning and Zoning Commission prior to installation.
3. A revised landscape plan shall be provided to bring the site into compliance with Section 405.540, including adding trees and additional plantings along the architectural walls facing N. Lindbergh Boulevard for the Zoning Administrator's approval.
4. The property shall only be used as an office. Construction vehicles shall not be parked on site overnight. There shall be no storage of construction materials, roofing materials, or equipment associated with the Roofing Contracting on the property at any time.
5. All vehicles displaying permitted vehicular signs owned by or operated on behalf of a business operating within the City limits shall only be parked when at the business location behind the front building line within a properly designated parking space. Where such parking is not available, said vehicle shall park as far from the right-of-way and in the least visible area

possible, in relation to the public rights-of-way, in compliance with Section 405.930(D)(6)(a) of the City's Sign Regulations.

6. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code
7. All property maintenance issues shall be addressed to the Building Official's satisfaction, to specifically include repairing, re-sealing and restriping the asphalt parking lot.
8. No site development plan or minor site plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of the application if the application as resubmitted is substantially the same as the initially approved application. However, the Commission and the Council, as applicable, have the power in such cases to attach new conditions to their re-approval or to disapprove the reapplication. Where the application for re-approval contains changes which the Zoning Administrator concludes materially alter the initial application, the Zoning Administrator shall initiate a new site development plan review procedure as stated in Section 405.1080 or a new minor site plan review procedure as stated in Section 405.1080.

MOTION

The motion to approve the site development plan as shown in the Applicant's materials will be in the form of approval, approval with conditions, denial or deferral. City Council action is not required for minor site development plans. The following is an example of an appropriate motion for this proposal:

"I move to recommend approval of the minor site plan for the façade improvements for the building at 453 N. Lindbergh Boulevard as bound together with Application #18-050, as presented to the Planning and Zoning Commission, subject to the conditions contained in the staff report for the meeting of January 7, 2019" (conditions may be added, eliminated, or modified by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

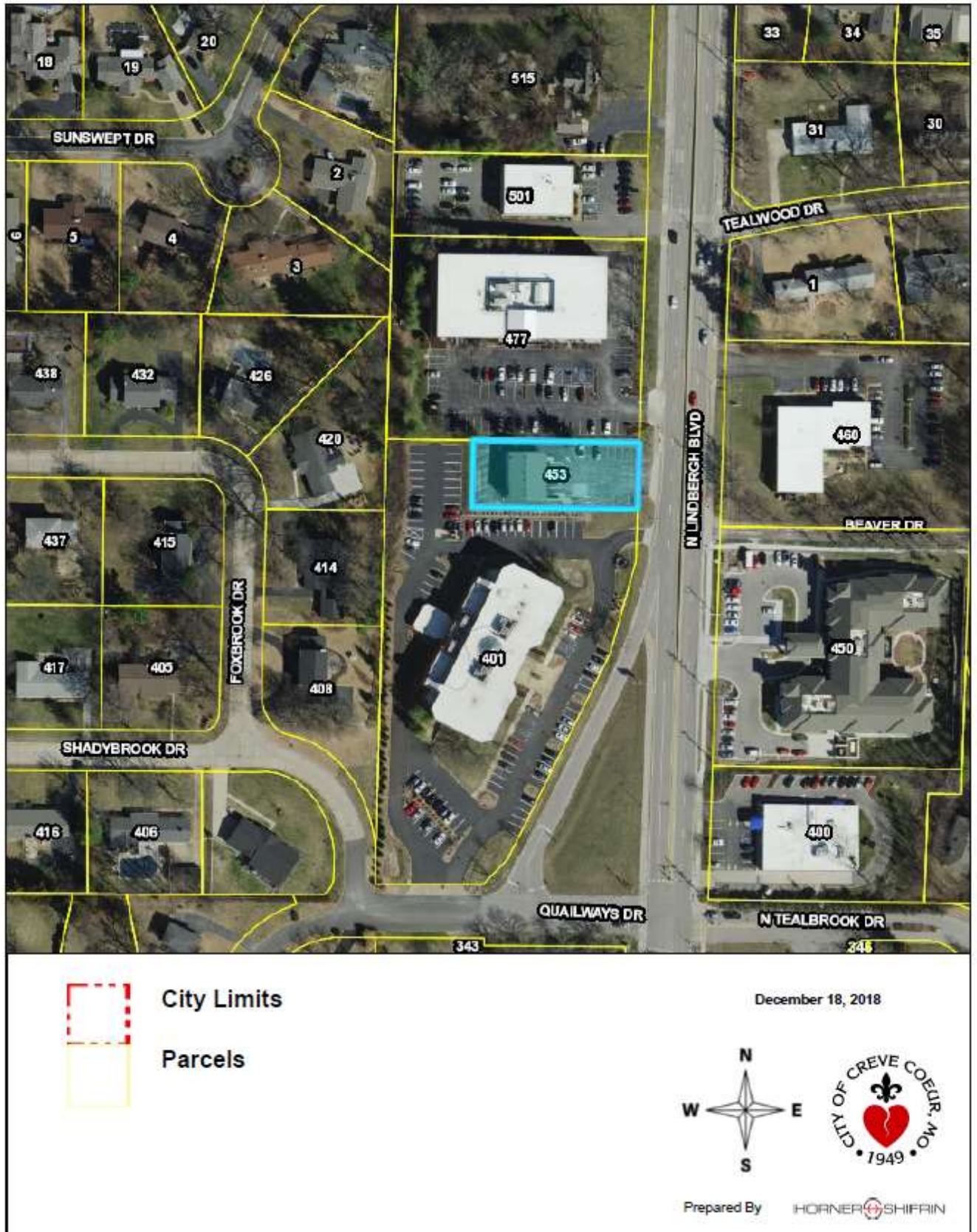
Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO

453 N. Lindbergh Boulevard



APPENDIX 4: SITE PHOTOGRAPHS

Taken: 1-3-2019



Description: View of the existing building looking west at the existing landscaping adjacent to the building.



Description: View of the existing building looking west from the entrance at N. Lindbergh Boulevard.

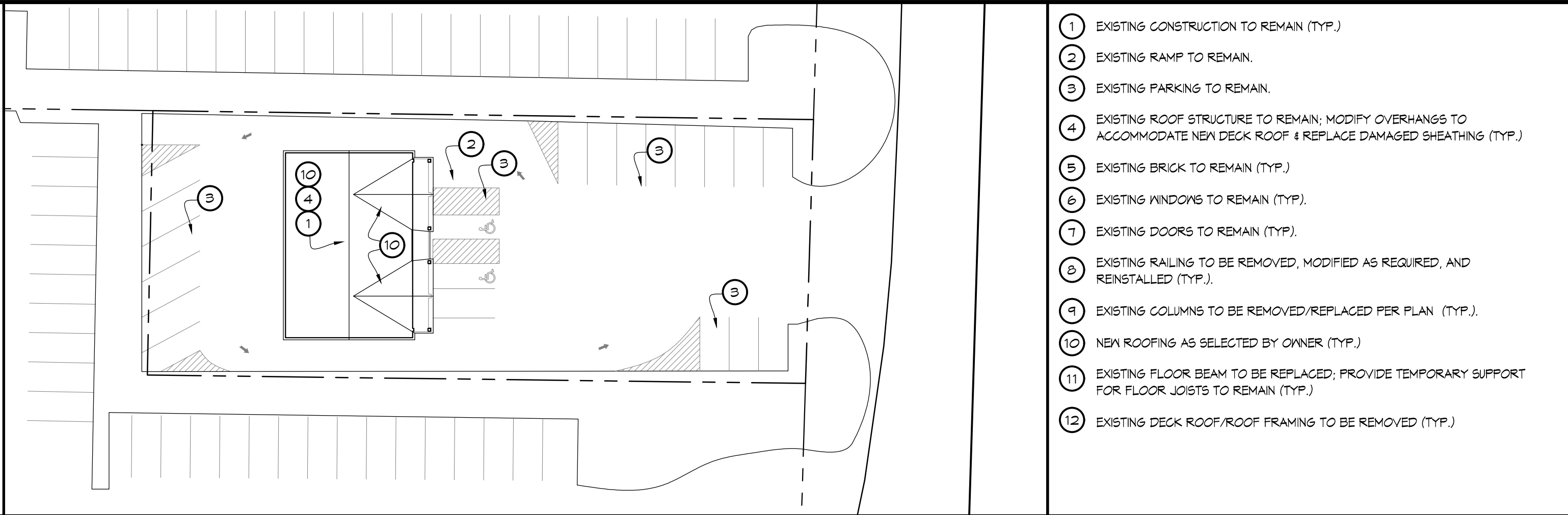
	Description: View looking east from the parking lot toward N. Lindbergh Boulevard.
	Description: View looking east from the rear property line at the existing rear of the building.

EXTERIOR RENOVATION FOR:

PEELE PROPERTIES

453 N LINDBERGH BLVD

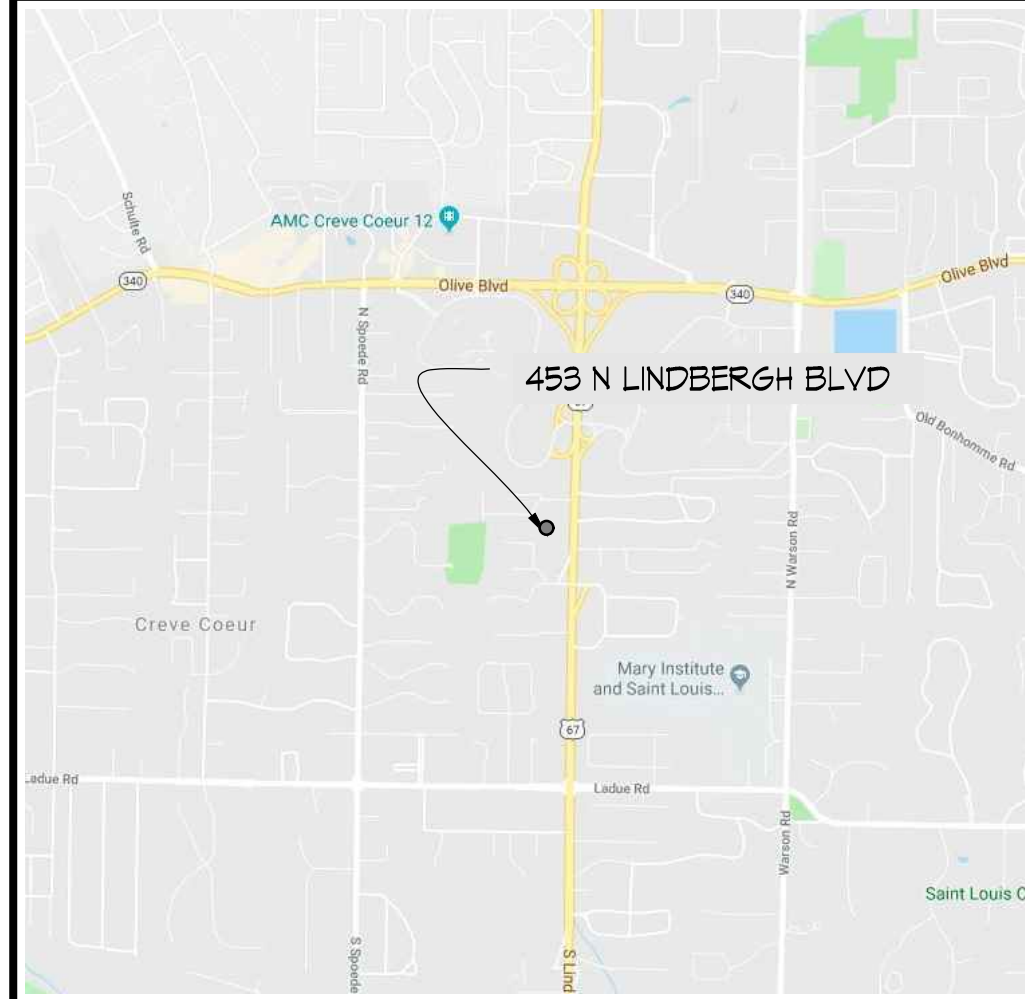
CREVE COEUR, MO 63141



- 1 EXISTING CONSTRUCTION TO REMAIN (TYP.)
- 2 EXISTING RAMP TO REMAIN.
- 3 EXISTING PARKING TO REMAIN.
- 4 EXISTING ROOF STRUCTURE TO REMAIN; MODIFY OVERHANGS TO ACCOMMODATE NEW DECK ROOF & REPLACE DAMAGED SHEATHING (TYP.)
- 5 EXISTING BRICK TO REMAIN (TYP.)
- 6 EXISTING WINDOWS TO REMAIN (TYP.)
- 7 EXISTING DOORS TO REMAIN (TYP.)
- 8 EXISTING RAILING TO BE REMOVED, MODIFIED AS REQUIRED, AND REINSTALLED (TYP.).
- 9 EXISTING COLUMNS TO BE REMOVED/REPLACED PER PLAN (TYP.).
- 10 NEW ROOFING AS SELECTED BY OWNER (TYP.)
- 11 EXISTING FLOOR BEAM TO BE REPLACED; PROVIDE TEMPORARY SUPPORT FOR FLOOR JOISTS TO REMAIN (TYP.)
- 12 EXISTING DECK ROOF/ROOF FRAMING TO BE REMOVED (TYP.)

5 SITE PLAN SCALE: 1" = 30'-0"

9 KEYED NOTES SCALE: NO SCALE



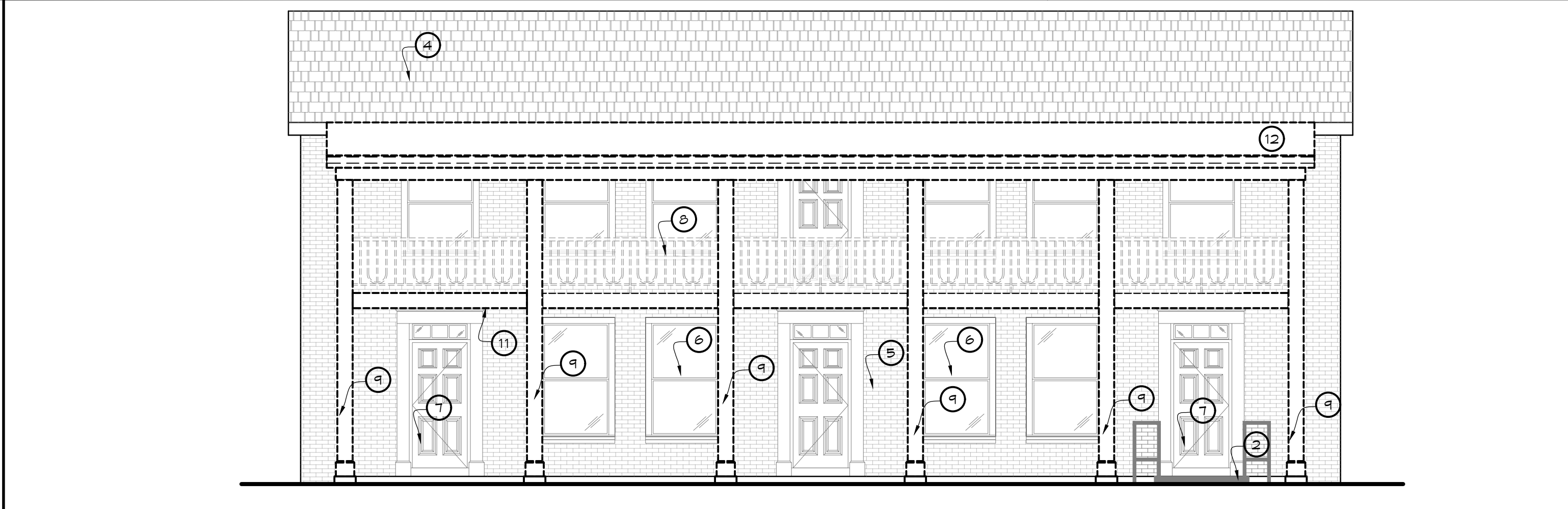
1 VICINITY MAP SCALE: NTS

2009 INTERNATIONAL BUILDING CODE

Proposed Building Summary: Deck reconstruction of existing two-story office space. Changes to the interior are not included in this contract. Scope of work: selective demolition, new structural framing and exterior finishes.

Use Group: Group B - Business (304.1)
Classification: EXISTING - NO CHANGE
Construction Classification: Type III-B (Assumed) - Non-sprinklered (602.5)
Height & Area Limitations: 3-Story - 19,000/sq. ft. (T-504.4 & T-506.2)
EXISTING - NO CHANGE

Fire Resistance Ratings:	Structure Element: (T-601, p.69)	(hrs.)	(U.L. #)
	Exterior walls	0	-
	Fire walls / Party walls	0	-
	Fire separation	0	-
	Fire partition	0	-
	Dwelling Unit Separation	0	-
	Smoke barrier	0	-
	Non-bearing	0	-
	Interior bearing	0	-
	Structural	0	-
	Floor (beams)	0	-
	Roof	0	-
	EXISTING - NO CHANGE	0	-

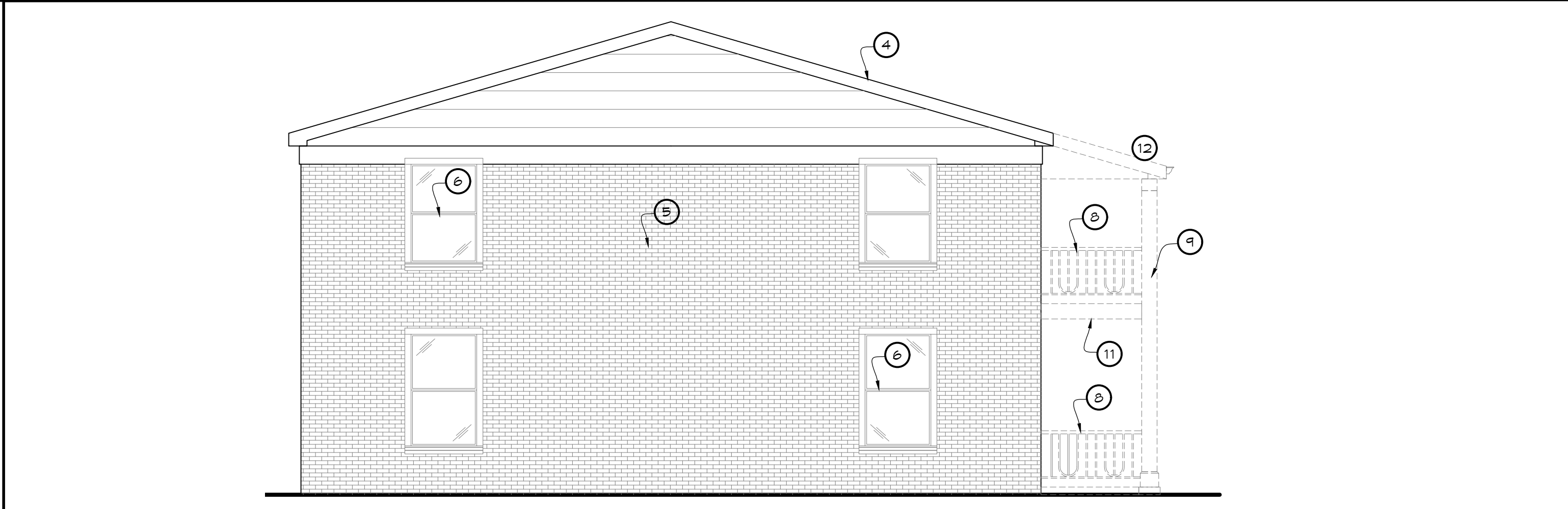


6 EXISTING EAST ELEVATION SCALE: 3/16" = 1'-0"

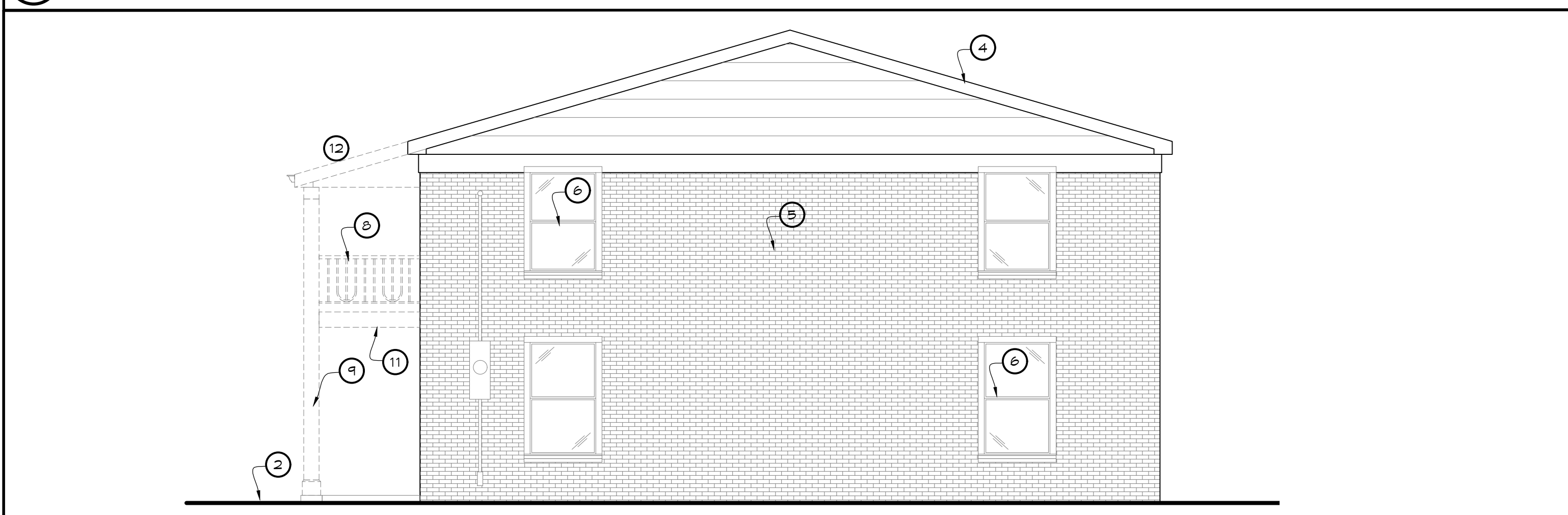
AAC	Autoclaved Aerated Concrete	JT	Joint
AC	Acoustical Ceiling	LAV	Lavatory
AB	Acoustical Board	MECH	Mechanical
ADJ	Adjustable	MEMB	Membrane
AF	Above Finish Floor	MTL	Metal
AGGR	Aggregate	MH	Manhole
ASPH	Asphalt	MO	Masonry Opening
AT	Acoustical Tile	MTD	Mounted
BC	Bottom of Curb	NIC	Not in Contract
BD	Board	NO	Number
BITUM	Bituminous	NTS	Not to Scale
BL	Brick Ledge		
BLK	Block	OA	Overall
BM	Beam	OC	On Center
BRG	Bearing	OPNG	Opening
BS	Back Splash		
BUR	Built up Roof		
CA	Carpet	P	Paint
CAB	Cabinet	PLAM	Plastic Laminate
CB	Catch Basin	PLAS	Plaster
CEM	Cement	PLYWD	Plowwood
CJ	Control joint	FR	Fair
CMU	Concrete Masonry Unit	FRF	Proof
CO	Cased Opening	PTD	Painted
COL	Column	PTN	Partition
CONC	Concrete	QT	Quarry Tile
CONSTR	Construction		
CONTR	Contractor	R	Riser
CT	Ceramic Tile	RD	Roof Drain
		REIN	Reinforced
DBL	Double	RES	Resilient
DIA	Diameter	RM	Room
DISP	Dispenser	RO	Rough Opening
DN	Down	RFG	Roofing
DR	Door		
DS	Downspout	SHTG	Sheeting
		SM	Similar
EP	Epoxy	SPEC	Specification
EJ	Expansion Joint	SESL	Stainless Steel
ELEV	Elevation	STL	Steel
ENC	Electric Water Cooler		
EX	Existing	T	Tread
EXP	Exposed	TE	Towel Bar
EXT	Exterior	TC	Top of Curb
		T&G	Tongue and Groove
FD	Floor Drain	THK	Thick
FDN	Foundation	THR	Throat
FE	Fire Extinguisher	THRES	Threshold
FEC	Fire Extinguisher Cabinet	TP	Top of Pavement
FHC	Fire Hose Cabinet	TFD	Toilet Paper Dispenser
FIN	Finish	TW	Top of Wall
FLR	Floor	TYP	Typical
FP	Fireplace		
FTS	Footing	UNO	Unless Noted Otherwise
FNC	Fabric Wall Covering	UR	Urinal
GA	Gauge	V	Vinyl
GALV	Galvanized	VCT	Vinyl Composite Tile
GB	Gypsum Board	VNC	Vinyl Wall Covering
GRB	Grain Bar		
GYP	Gypsum	W	With
		WC	Water Closet
HB	Hose Bib	WD	Wood
HM	Hollow Metal	WH	Wardrobe Hanger
HGT	Height	W/O	Without
INSUL	Insulation	WR	Waste Receptacle
INT	Interior	W/SC	Wainscot

2 ABBREVIATIONS SCALE: NO SCALE

4 GENERAL NOTES SCALE: NO SCALE



7 EXISTING SOUTH ELEVATION SCALE: 3/16" = 1'-0"



8 EXISTING NORTH ELEVATION SCALE: 3/16" = 1'-0"

Revisions
Date
6.1.d

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Project Code
APR 1802

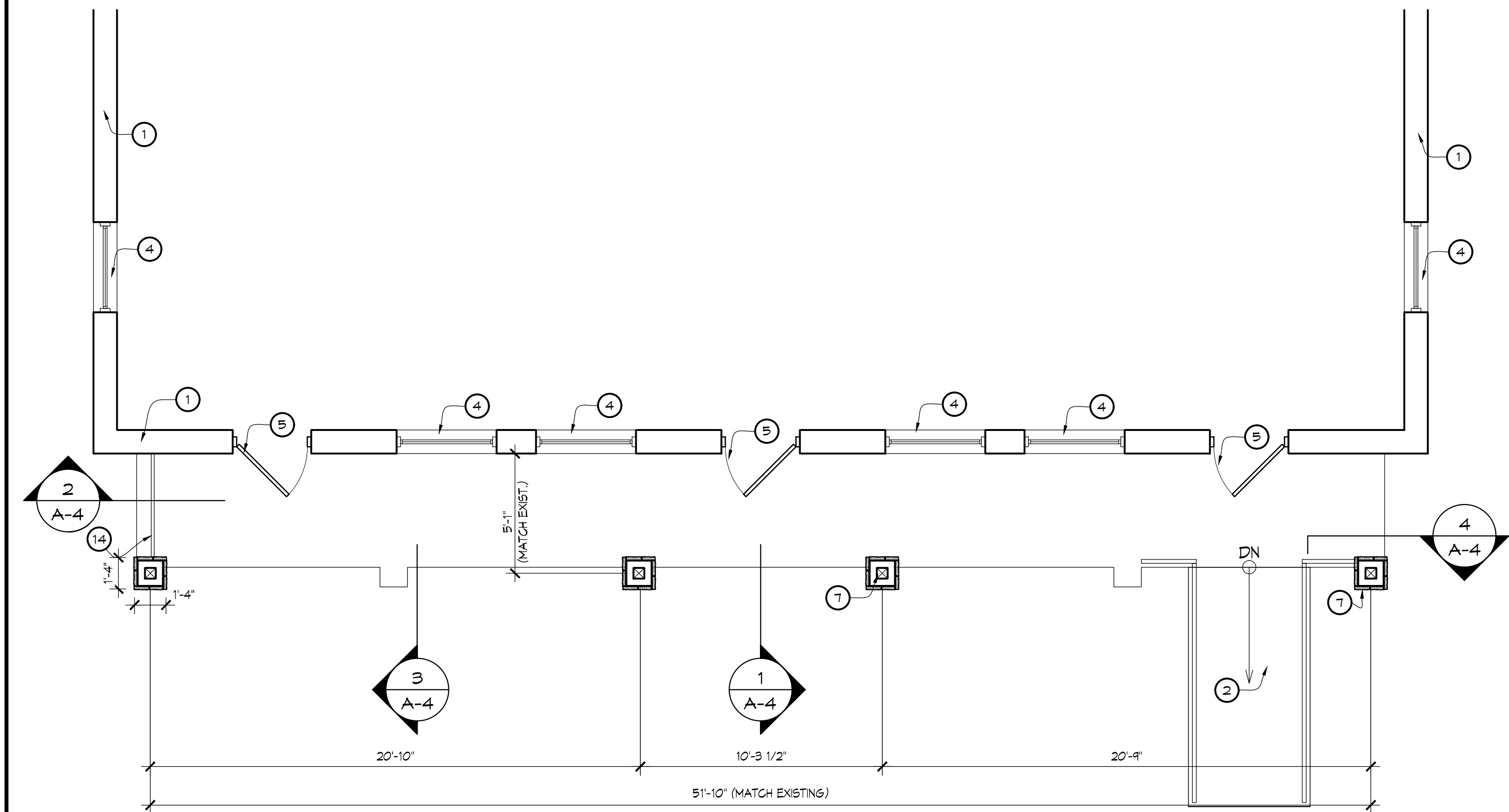
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453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Issue Date
21 NOV 18

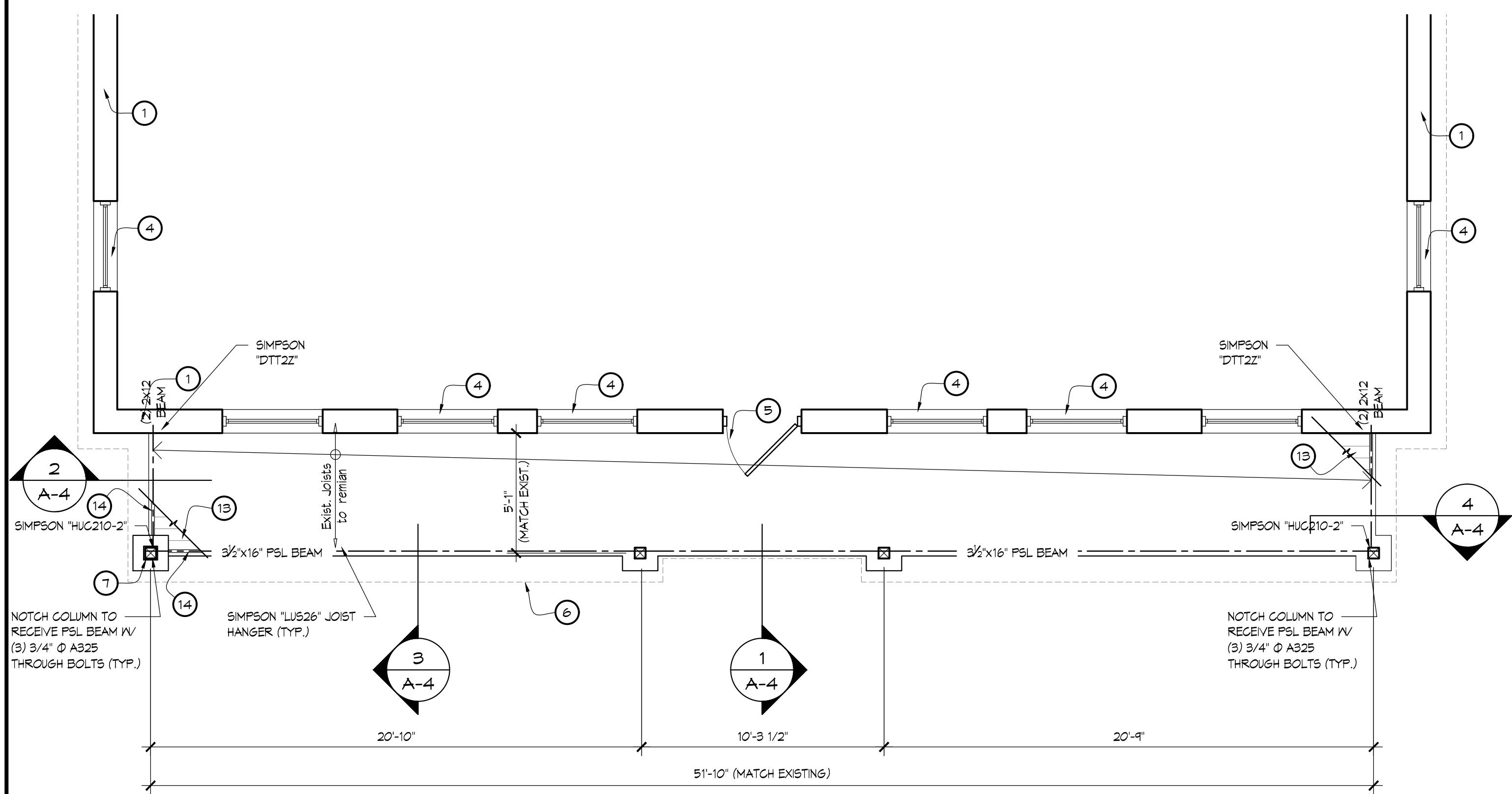
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Attachment: Applicant Materials-Exterior Elevations (453 N Lindbergh Minor Site Plan Exterior Modifications)

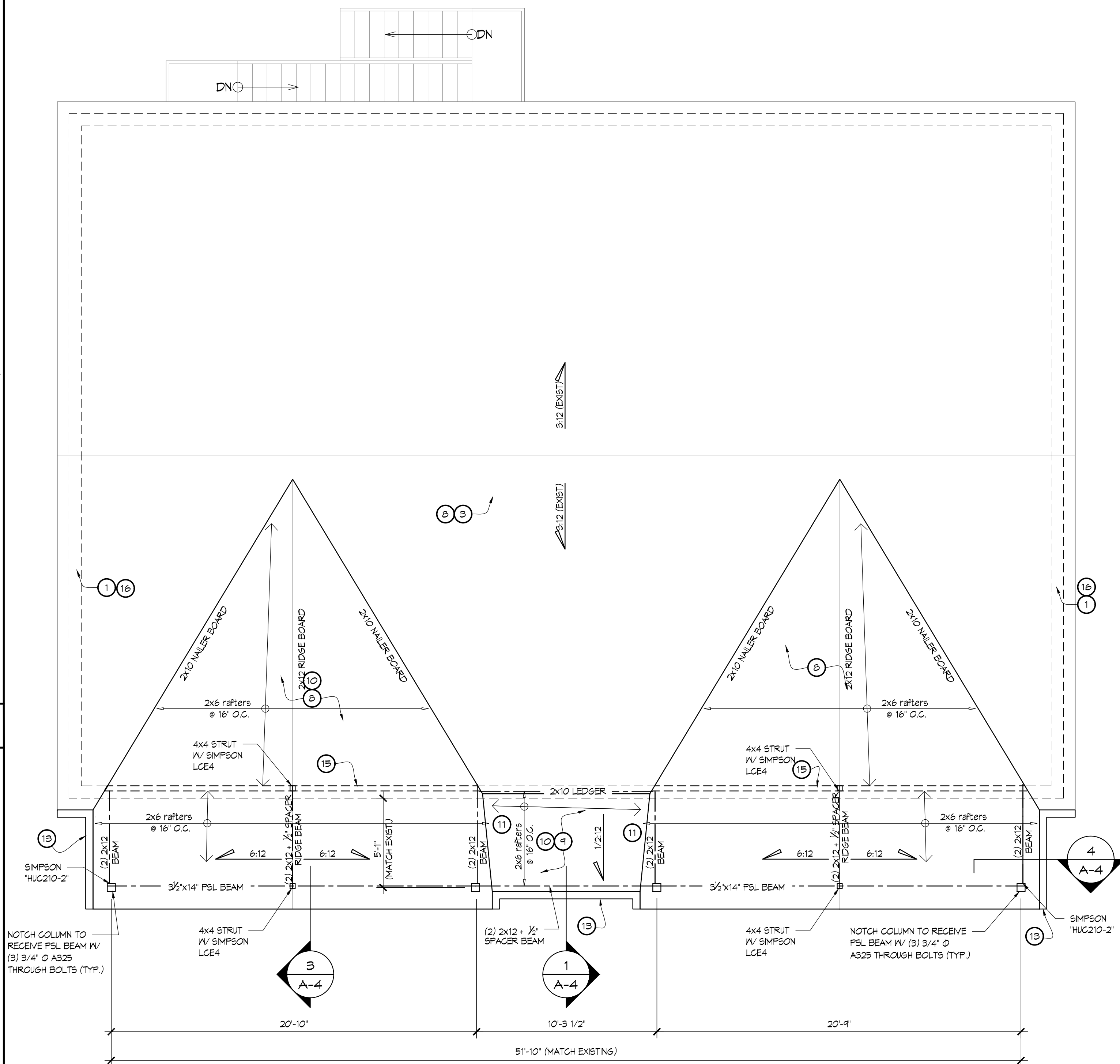
Packet Pg. 25



1 PARTIAL FIRST FLOOR / FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 PARTIAL SECOND FLOOR / FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



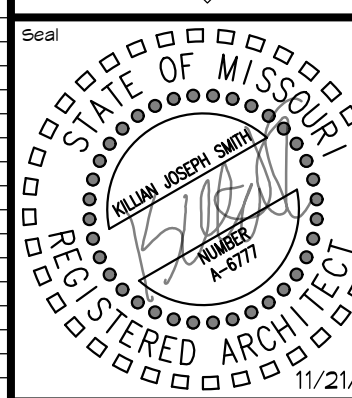
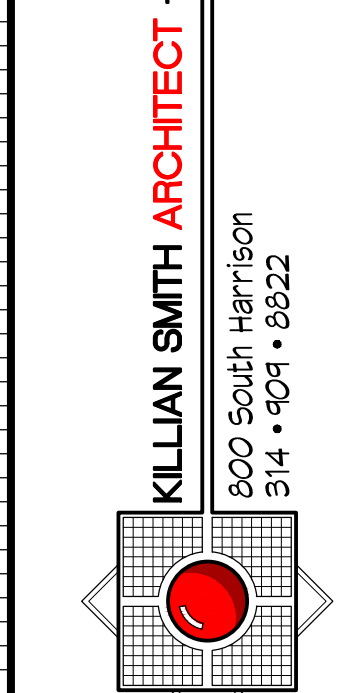
3 ROOF / ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- 1 EXISTING CONSTRUCTION TO REMAIN (TYP.)
- 2 EXISTING RAMP TO REMAIN
- 3 EXISTING ROOF STRUCTURE TO REMAIN; MODIFY OVERHANGS TO ACCOMMODATE NEW DECK ROOF & REPLACE DAMAGED SHEATHING (TYP.)
- 4 EXISTING WINDOWS TO REMAIN (TYP.)
- 5 EXISTING DOORS TO REMAIN (TYP.)
- 6 LINE OF ROOF ABOVE.
- 7 EXISTING COLUMN TO BE REPLACED WITH NEW BUILT-UP COLUMN; 6x6 COLUMN ON EXISTING CONCRETE PIERS W/ SIMPSON CB6 OFFSET BASE ANCHOR, 2x4 FURRING WALL, 1/2" SHEATHING, AND STONE VENEER AS SELECTED BY OWNER (TYP.)
- 8 NEW ROOFING AS SELECTED BY OWNER ASPHALT SHINGLES ON 15# FELT TYPE I UNDERLAYMENT; PROVIDE NON-CORROSIVE FLASHING AT ALL ROOF-ROOF JOINS (TYP.)
- 9 NEW EPDM ROOFING AS SELECTED BY OWNER.
- 10 3/8" ROOF SHEATHING (TYP.)
- 11 PROVIDE 2x OVERFRAMING AS REQUIRED (TYP.)
- 12 GUTTER AND DOWNSPOUTS AS SELECTED BY OWNER (TYP.)
- 13 NEW DECKING AS SELECTED BY OWNER OVER EXISTING DECK JOISTS (TYP.)
- 14 EXISTING RAILING TO BE REMOVED, MODIFIED AS REQUIRED, AND REINSTALLED (TYP.)
- 15 GABLE END WALL: 2x4 STUDS @ 16" O.C. FROM EXIST. TOP PLATE TO UNDERSIDE OF NEW RAFTERS AND CEDAR BOARDS ON EXT. SIDE SPACED TO PROVIDE VENTILATION TO OVERFRAMED SECTION OF NEW ROOF.
- 16 LINE OF WALL BELOW (TYP.)

4 KEYED NOTES
SCALE: NO SCALE

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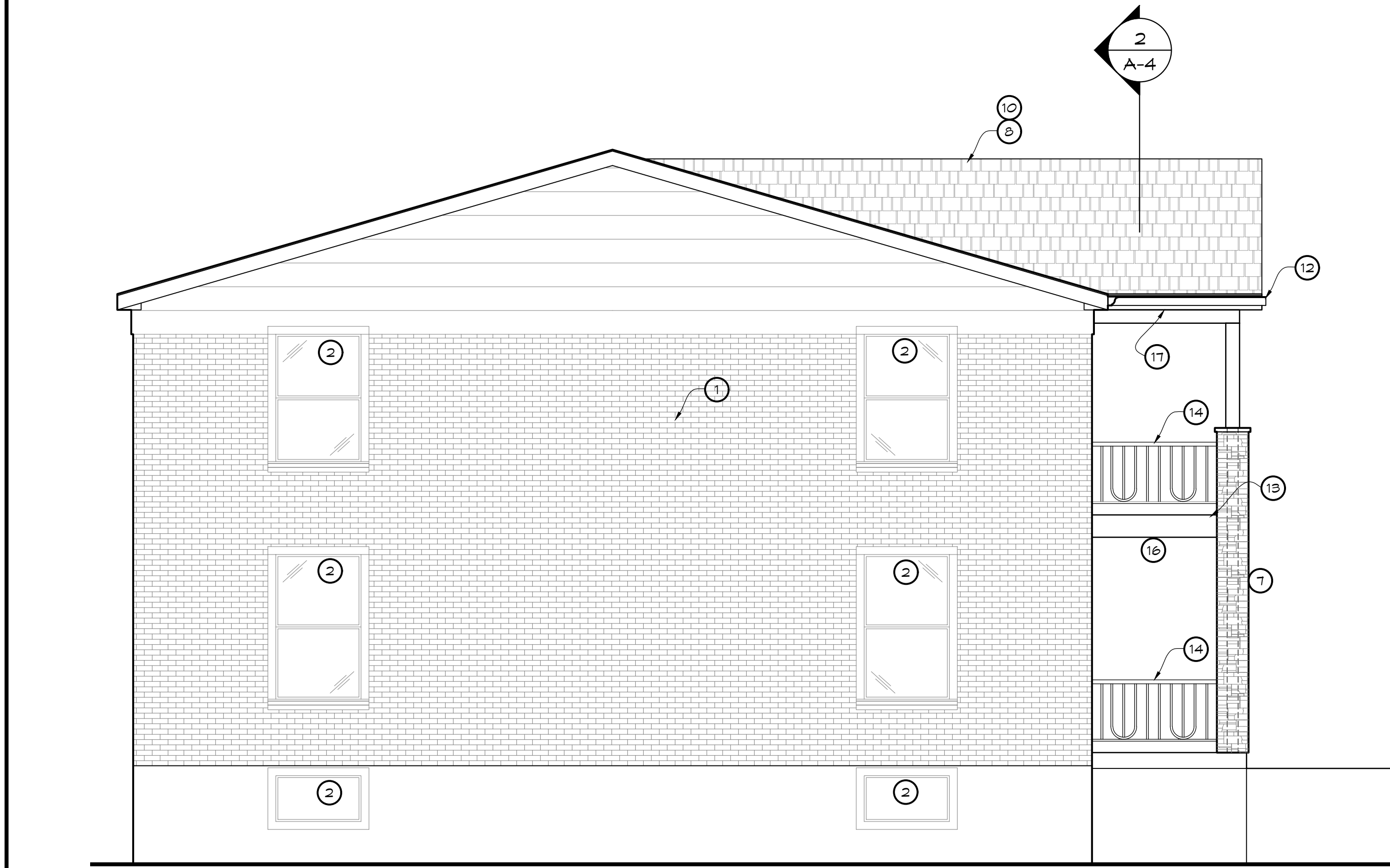
PEELE PROPERTIES
453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Project Name
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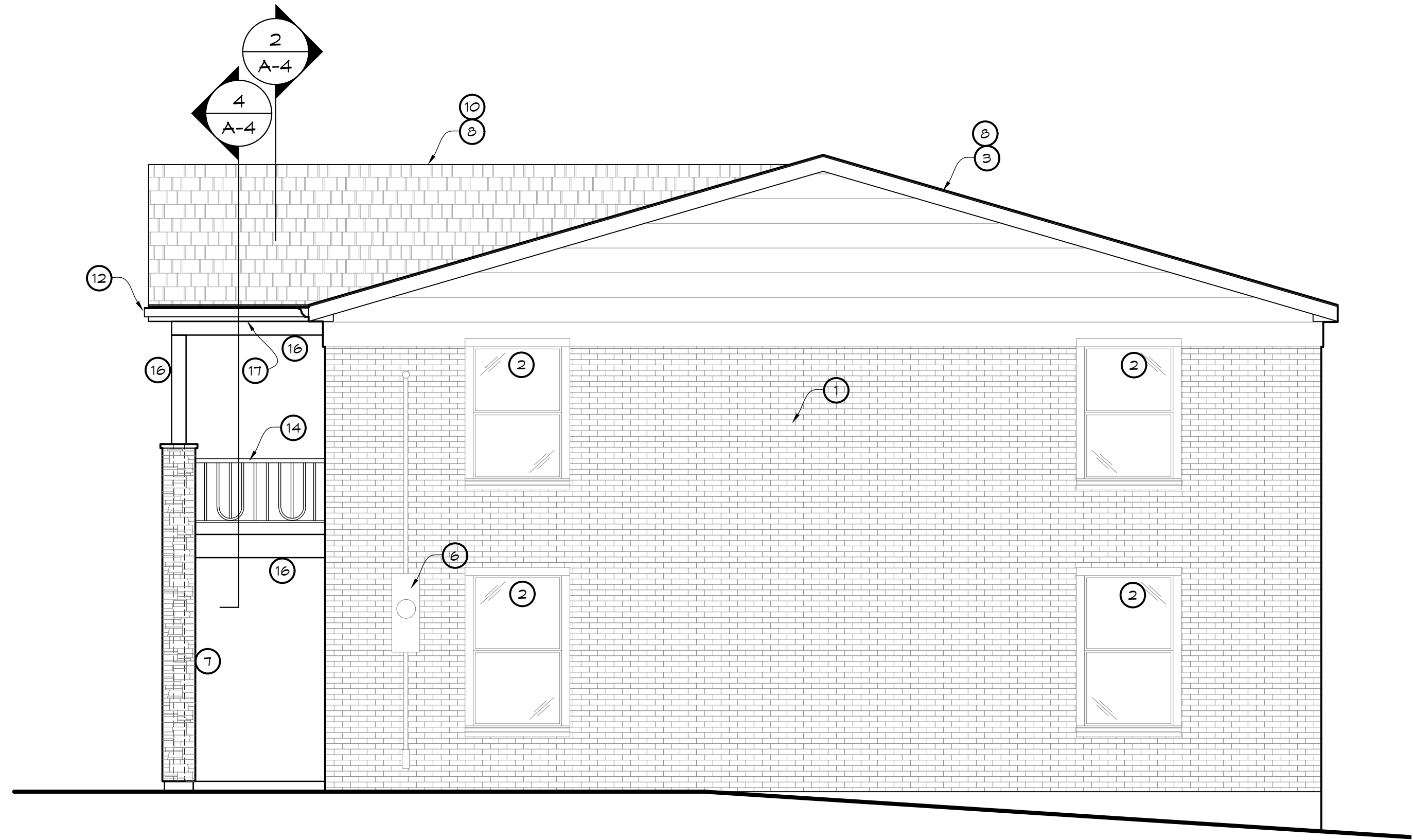
Issue Date
21 NOV 18

Drawing Number
A-2

FLOOR/FRAMING PLANS AND KEYED NOTES



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



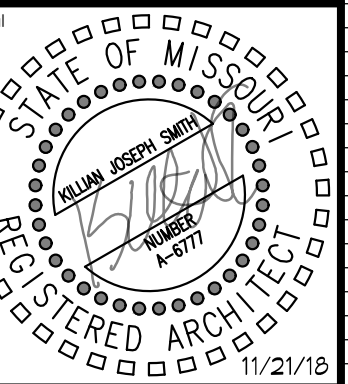
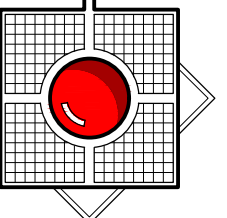
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

- 1 EXISTING CONSTRUCTION TO REMAIN (TYP.)
2 EXISTING RAMP TO REMAIN
3 EXISTING ROOF STRUCTURE TO REMAIN; MODIFY OVERHANGS TO ACCOMMODATE NEW DECK ROOF & REPLACE DAMAGED SHEATHING (TYP.)
4 EXISTING WINDOWS TO REMAIN (TYP.)
5 EXISTING DOORS TO REMAIN (TYP.)
6 EXISTING ELECTRICAL TO REMAIN
7 EXISTING COLUMN TO BE REPLACED WITH NEW BUILT-UP COLUMN: 6x6 COLUMN ON EXISTING CONCRETE PIERS W/ SIMPSON GB66 OFFSET BASE ANCHOR, 2x4 FURRING WALL, 1/2" SHEATHING, AND STONE VENEER AS SELECTED BY OWNER (TYP.)
8 NEW ROOFING AS SELECTED BY OWNER ASPHALT SHINGLES ON 15# FELT TYPE I UNDERLAYMENT; PROVIDE NON-CORROSIVE FLASHING AT ALL ROOF-ROOF JOINTS (TYP.)
9 NEW EPDM ROOFING AS SELECTED BY OWNER
10 3/8" ROOF SHEATHING (TYP.)
11 PROVIDE 2x OVERFRAMING AS REQUIRED (TYP.)
12 GUTTER AND DOWNSPOUTS AS SELECTED BY OWNER (TYP.)
13 NEW DECKING AS SELECTED BY OWNER OVER EXISTING DECK JOISTS (TYP.)
14 EXISTING RAILING TO BE REMOVED, MODIFIED AS REQUIRED, AND REINSTALLED (TYP.)
15 SABLE END WALL: 2x4 STUDS @ 16" O.C. FROM EXIST. TOP PLATE TO UNDERSIDE OF NEW RAFTERS AND CEDAR BOARDS ON EXT. SIDE SPACED TO PROVIDE VENTILATION TO OVERFRAMED SECTION OF NEW ROOF.
16 BEAM/COLUMN/STURT PER PLAN (WRAP WITH CEDAR (TYP.)
17 1x8 FASCIA AS SELECTED BY OWNER (TYP.)

4 KEYED NOTES
SCALE: NO SCALE

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Project Code

APR 1802

Project Name
EXTERIOR RENOVATION FOR:

PEELE PROPERTIES

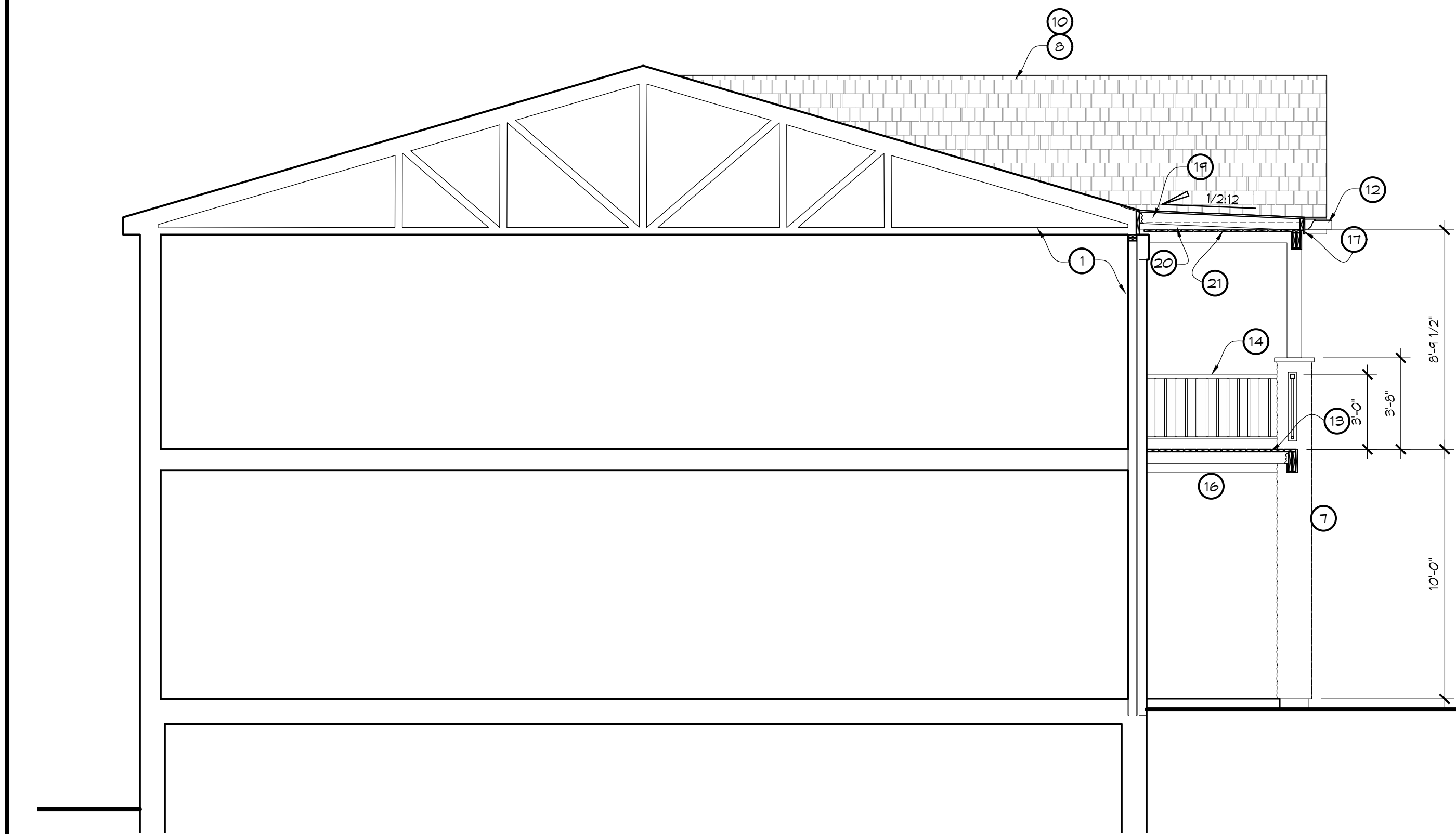
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CREVE COEUR, MO 63141
Drawing Title
EXTERIOR ELEVATIONS AND KEYED NOTES

Issue Date

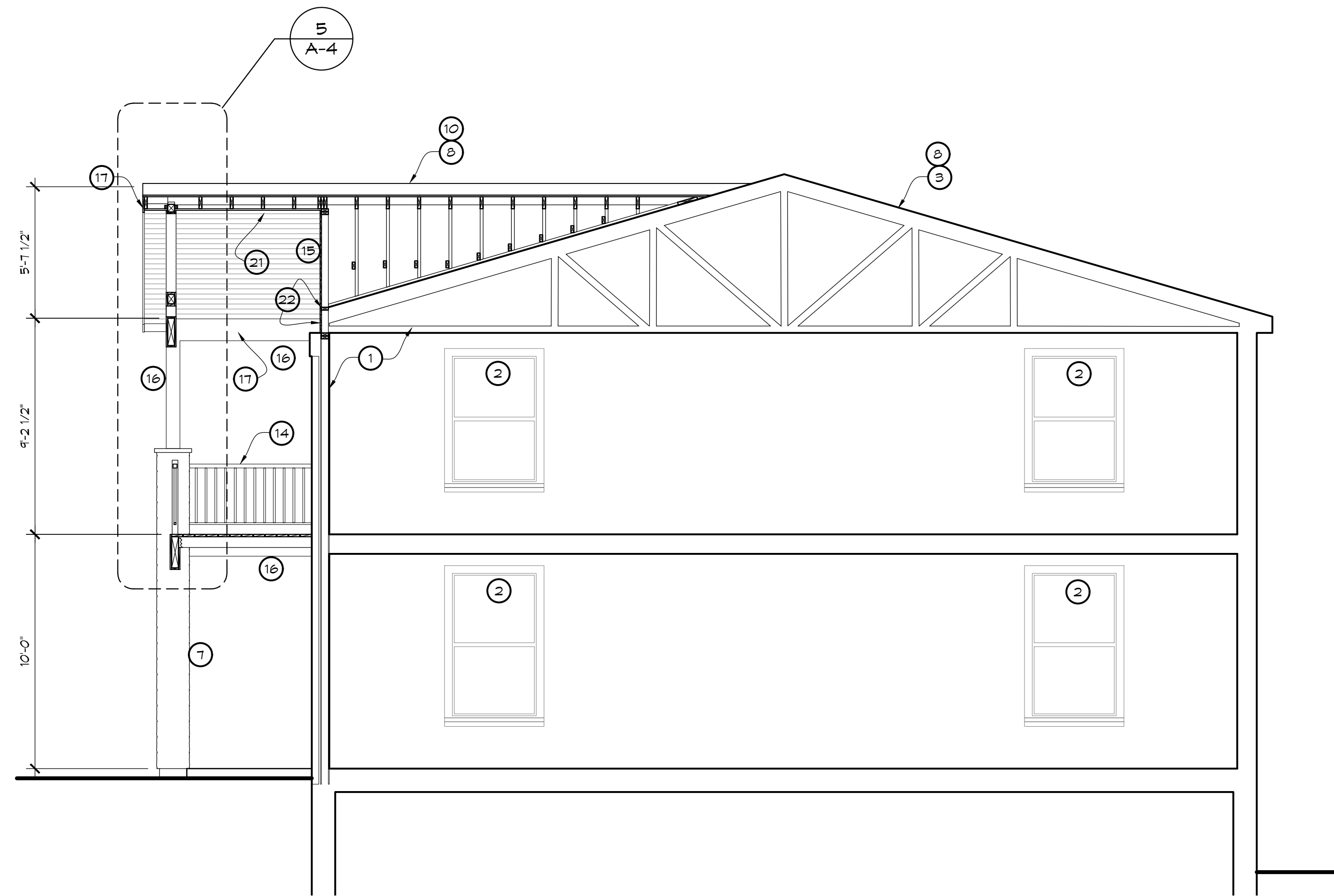
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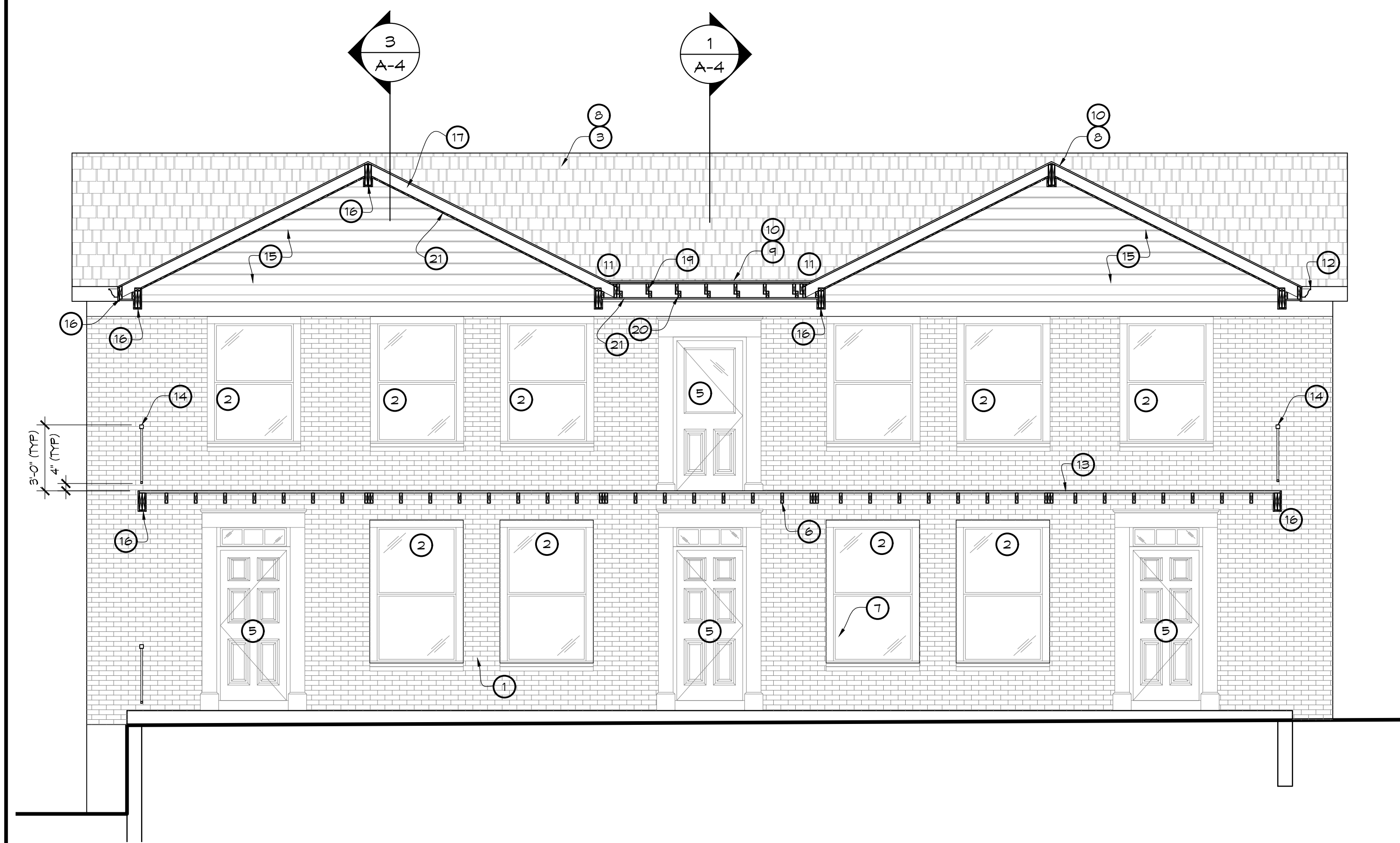
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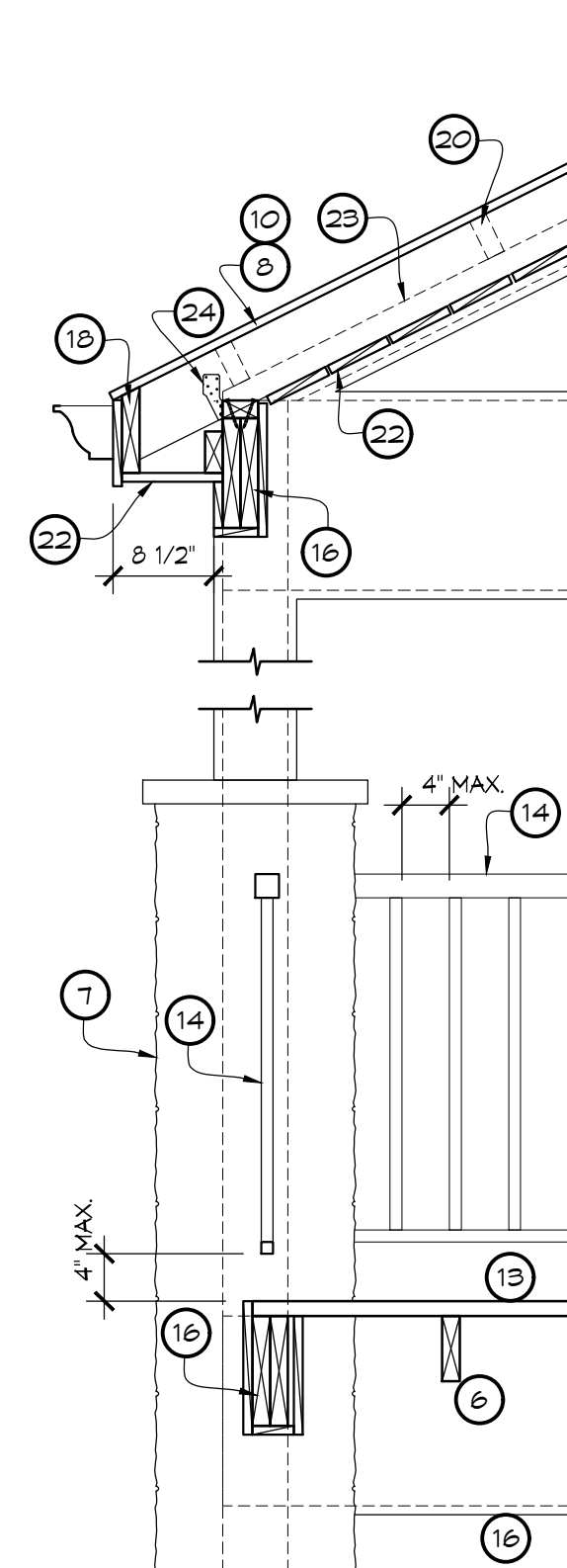
1 LONGITUDINAL DECK SECTION
SCALE: 1/4" = 1'-0"



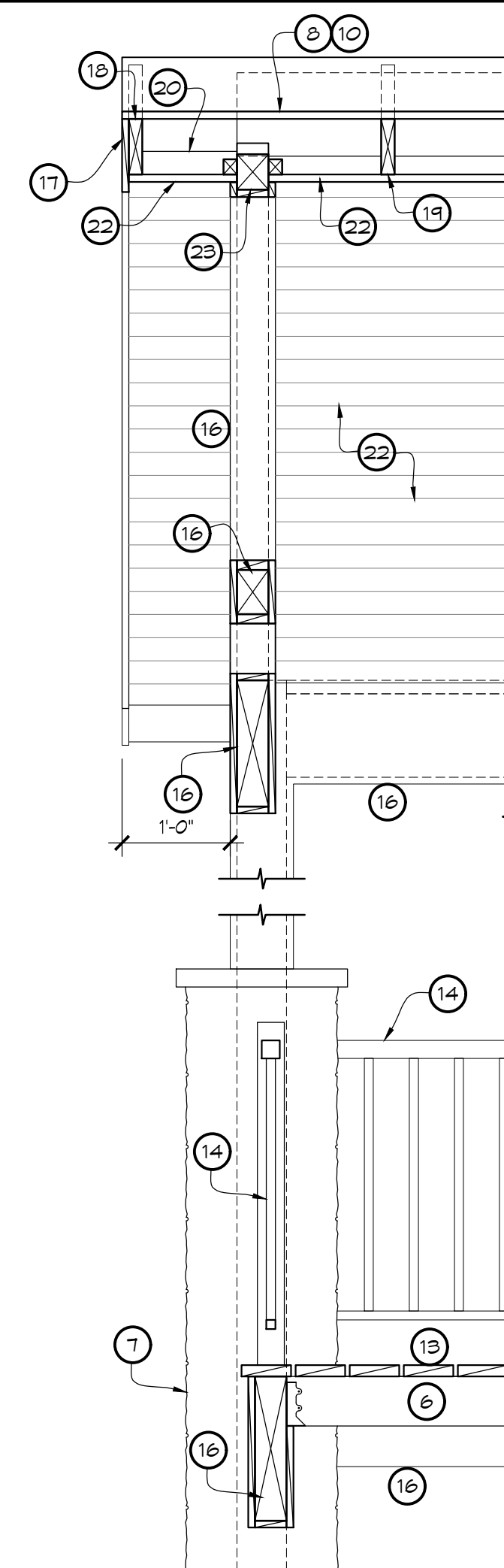
3 LONGITUDINAL DECK SECTION
SCALE: 1/4" = 1'-0"



2 TRANSVERSE DECK SECTION
SCALE: 1/4" = 1'-0"



4 SECTION DETAIL
SCALE: 3/4" = 1'-0"



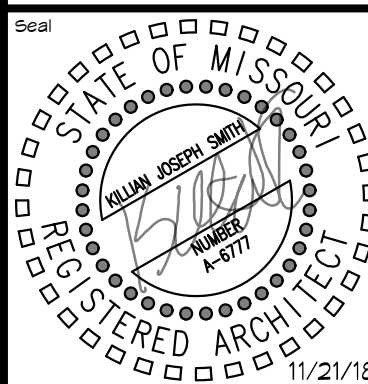
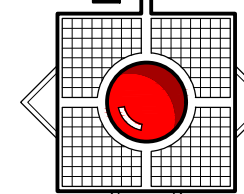
5 SECTION DETAIL
SCALE: 3/4" = 1'-0"

- EXISTING CONSTRUCTION TO REMAIN (TYP.)
- EXISTING RAMP TO REMAIN
- EXISTING ROOF STRUCTURE TO REMAIN; MODIFY OVERHANGS TO ACCOMMODATE NEW DECK ROOF & REPLACE DAMAGED SHEATHING (TYP.)
- EXISTING WINDOWS TO REMAIN (TYP.)
- EXISTING DOORS TO REMAIN (TYP.)
- DECK JOISTS TO REMAIN (TYP.)
- EXISTING COLUMN TO BE REPLACED WITH NEW BUILT-UP COLUMN: 6x6 COLUMN ON EXISTING CONCRETE PIERS w/ SIMPSON CB66 OFFSET BASE ANCHOR, 2x4 FURRING WALL, 1/2" SHEATHING, AND STONE VENEER AS SELECTED BY OWNER (TYP.)
- NEW ROOFING AS SELECTED BY OWNER ASPHALT SHINGLES ON 15# FELT TYPE I UNDERLAYMENT; PROVIDE NON-CORROSIVE FLASHING AT ALL ROOF-ROOF JOINTS (TYP.)
- NEW EPDM ROOFING AS SELECTED BY OWNER
- 3/8" ROOF SHEATHING (TYP.)
- PROVIDE 2x OVERFRAMING AS REQUIRED (TYP.)
- GUTTER AND DOWNSPOUTS AS SELECTED BY OWNER (TYP.)
- NEW DECKING AS SELECTED BY OWNER OVER EXISTING DECK JOISTS (TYP.)
- EXISTING RAILING TO BE REMOVED, MODIFIED AS REQUIRED, AND REINSTALLED (TYP.)
- GABLE END WALL: 2x4 STUDS @ 16" O.C. FROM EXIST. TOP PLATE TO UNDERSIDE OF NEW RAFTERS AND CEDAR BOARDS ON EXT. SIDE SPACED TO PROVIDE VENTILATION TO OVERFRAMED SECTION OF NEW ROOF.
- BEAM/COLUMN/STURT PER PLAN (WRAP WITH CEDAR (TYP.)
- 1x6 FASCIA AS SELECTED BY OWNER (TYP.)
- 2x6 SUB-FASCIA (TYP.)
- ROOF RAFTERS PER PLAN (TYP.)
- 2x4 CEILING JOISTS/OUTRIGGERS (TYP.)
- CEDAR CEILING/SOFFIT; SPACE BOARDS TO PROVIDE VENTILATION (TYP.)
- PROVIDE FIRE-BLOCKING TO SEPARATE EXISTING ATTIC FROM NEW ROOF (TYP.)
- 4x4 GABLE END RAFTER LOWERED TO ALLOW OUTRIGGERS TO PASS OVER
- SIMPSON H2.5 HURRICANE CLIP AT EACH RAFTER (TYP.)

6 KEYED NOTES
SCALE: NO SCALE

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314 • 504 • 8622
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Project Code
APR 1802

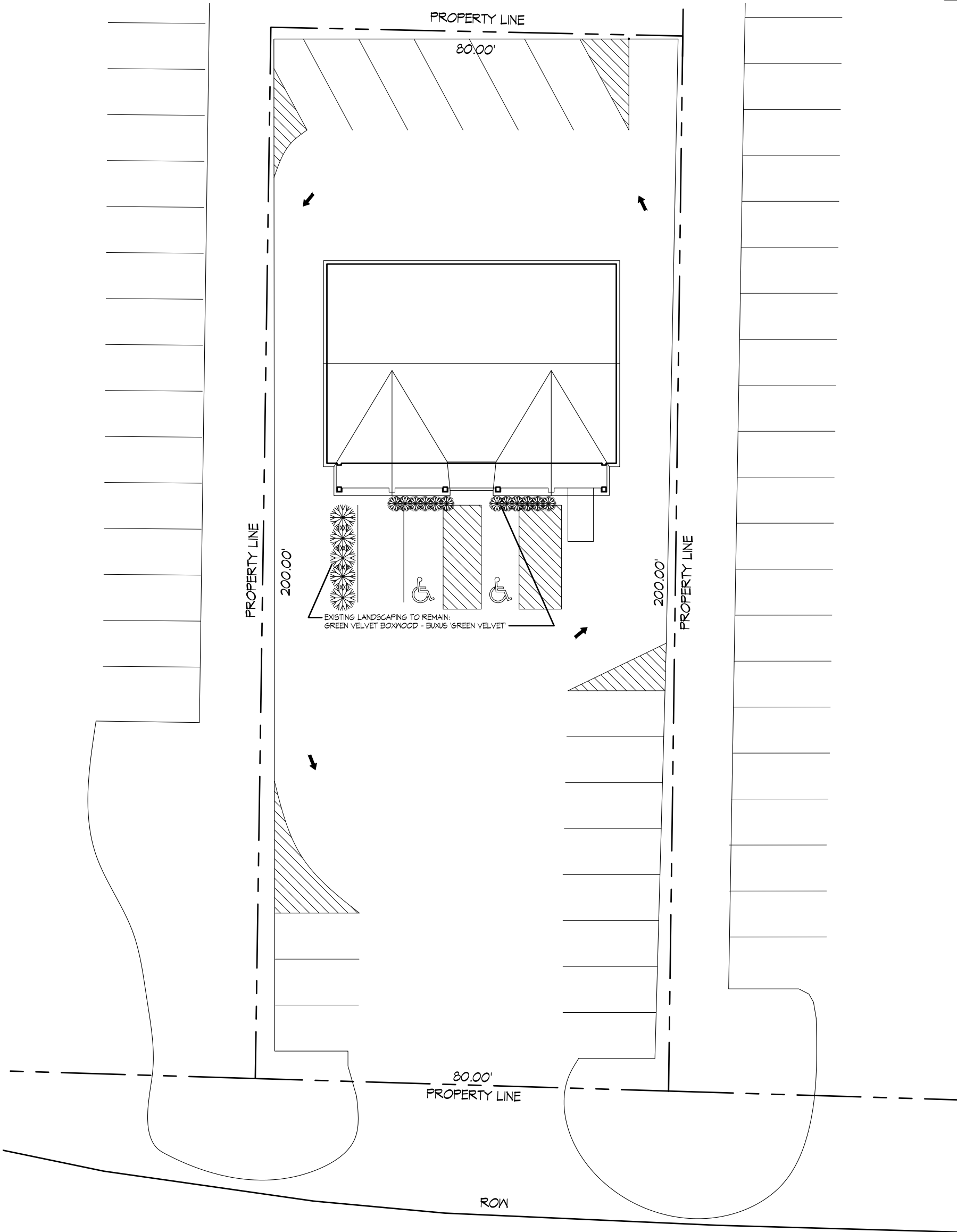
EXTERIOR RENOVATION FOR:
PEELE PROPERTIES

453 N LINDBERGH BLVD
CREVE COEUR, MO 63141

Drawing Title
BUILDING SECTIONS, DETAILS, AND KEYED NOTES

Issue Date
21 NOV 18

Drawing Number
A-4



EAST ELEVATION

EXISTING LANDSCAPING TO REMAIN:
GREEN VELVET BOXWOOD - BUXUS 'GREEN VELVET'



EAST ELEVATION

EXISTING LANDSCAPING TO REMAIN:
GREEN VELVET BOXWOOD - BUXUS 'GREEN VELVET'



1

SITE PLAN

SCALE: 1" = 20'-0"

Drawing Number C-1	Issue Date 26 DEC 18 Project Code APR 1801	Project Name EXTERIOR RENOVATION FOR: PEELE PROPERTIES 453 N LINDBERGH BLVD CREVE COEUR, MO 63141 Drawing Title SITE PLAN	 KILLIAN SMITH ARCHITECT + ASSOCIATES, P.C. 800 South Harrison 314 • 909 • 8822 St. Louis MO 63122 Fax 314 • 909 • 8833	COPYRIGHT NOTICE © 2018 THIS DRAWING AND DESIGN REPRESENT THE ARCHITECTURAL WORK OF KILLIAN J. SMITH AND KILLIAN SMITH ARCHITECT + ASSOCIATES, P.C. AND ARE COPYRIGHTED AND REMAIN THE PROPERTY THEREOF. REPRODUCTION OF ANY KIND IS STRICTLY PROHIBITED.	
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city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141
 (314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

APPLICATION TO PLANNING AND ZONING COMMISSION
#19-003 TEXT AMENDMENTS TO SECTION 405.470(A)(14)(B)
REGARDING THE REGULATIONS FOR RESTAURANTS TO ELIMINATE
THE 40% LIMITATION FOR SUCH USES
WITHIN A RETAIL OR OFFICE BUILDING

FOR THE MEETING OF: Tuesday, January 22, 2017, 6:30 P.M.

LOCATION: CB-Core Business District, PO-Planned Office, PC-Planned Commercial, and LI-Light Industrial

REQUEST: Jason Jaggi, Director of Community Development, on behalf of the City of Creve Coeur, has submitted an application for revisions to Section 405.470(A)(14)(b) where restaurants are limited to two acre sites, however the acreage requirement does not apply to restaurants without drive-thru services in the "CB," "PO," "PC" and "LI" Districts that are located within a retail or office building, provided that such restaurants do not collectively occupy more than forty percent (40%) of the building square footage.

ADDITIONAL INFORMATION: Restaurants within a retail or office building were limited to 25% of the total building square footage in 2004. In 2013, the limitation was increased to 40% in consideration of the changing market for restaurants and services within shopping centers. Staff is seeking to eliminate the square footage limit for restaurants within a retail or office building on sites of less than two acres, as parking and other impacts are taken into consideration through the conditional use process.

APPLICANT: Jason W. Jaggi, AICP
 Director of Community
 Development
 City of Creve Coeur
 300 N. New Ballas Road
 Creve Coeur, MO 63141

REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: January 15, 2019
ATTACHMENTS: Draft Ordinance

Key Issues:

- Are the changes consistent with the purposes of the Zoning Code?
- Are the changes consistent with the purposes of the Comprehensive Plan?

Creve Coeur 2030 References

- Retail Supply & Demand
- Downtown and Central Business District
- West Olive and Large Commercial Properties
- East Olive Corridor
- Mixed-Use Innovation Campus District

Zoning Code References

- Section 405.470: Conditional Uses

REQUEST AND BACKGROUND

In 2004, City Council approved a text amendment restricting eating and drinking places to 25% of the building square footage within retail or office buildings for the “CB” Core Business District, “PO” Planned Office District, “PC” Planned Community District, “LI” Light Industrial District, and “MX” Mixed-Use District on sites of less than two acres. The limitations of restaurants were not included in the “GC” General Commercial District. At the time of the approval process, there were concerns that the development of too many restaurants within the retail mixed-use development would overwhelm the site with parking. The response was the establishment of the 25% limit, and that a single restaurant could not be more than 3,500 sq. ft. in the MX District. At the time, the regulations for the MX District were within the Zoning Regulations for the District and not under Section 405.470 for Conditional Uses. It was later moved to the Conditional Uses Section, so that all regulations for restaurants were in one section.

In May 2012, the Planning and Zoning Commission, reviewed and recommended approval of a request to eliminate the provision in the “MX” Mixed Use District, as the overall character is established through the quality of the site planning and architecture that is analyzed through the site development plan process, and the parking and other means are controlled through the landscaping and site coverage limit elsewhere in the Zoning Ordinance. The City Council subsequently elected to increase the restriction from 25% to 40%, instead of eliminating restriction altogether. However, at the time, Staff did raise the concern that eventually the 40% would be pressured to change as well. The ordinance revised the language to be, as follows:

Section 405.340 ‘MX’ Mixed Use District

- C. Conditional Uses. The City Council may authorize any of the following uses through the issuance of a conditional use permit as provided in Section 405.1070, based on the criteria in Section 405.470, after receipt of the recommendation of the Planning and Zoning Commission and subject to such restrictions and conditions as are deemed necessary or appropriate:

~~1. On Class 1 properties (parcels between one (1.00) and two and ninety-nine hundredths (2.99) acres):~~

1. ~~a.~~ Public utility substations, distribution facilities and distribution cabinets.
2. ~~b.~~ Roof-mounted communication equipment.
3. Eating places (all uses within SIC code 5812 except as limited below) including:
 - (a) Eating and drinking establishment(s) shall be located on sites of not less than two (2.0) acres;
 - (b) Eating and drinking establishment(s) shall be located on the ground floor of the structure;
 - (c) Eating and drinking establishments shall not occupy more than forty percent (40%) of the approved building square footage for the building footprint and a single eating and drinking establishment shall not exceed three thousand five hundred (3,500) square feet in size;
 - (d) Each eating and drinking establishment shall have a minimum of sixteen (16) seats for dining; and
 - (e) Eating and drinking establishment(s) shall not provide drive-thru or drive-up services to patrons. "Drive-thru" and "drive-up" shall mean service to on-premises patrons who do not enter the restaurant/patio area, but rather receive service through a drive-up window and/or receive food service in their automobiles.
4. ~~c.~~ Funeral services (all uses within SIC Code 726 except crematories).
5. ~~d.~~ Communication towers.

In 2013, Ordinance 5295, the regulation for the CB, PO, PC, and LI Districts under Section 405.470 Conditional Uses was increased from 25% to 40% to coincide with the increase that was approved in the MX District. Also in 2013, Council approved a text amendment to allow for a 15% reduction in the number of parking spaces for shopping centers that offer a mix of retail, restaurants, and personal services. Prior to this, all uses were calculated individually. It was with the reduction in parking required, and with the increase in restaurants that the 40% was generally found to be right at the level restaurants could be accommodated while still meeting the City's parking requirements. The Commission and Council at the time did not wish to simply eliminate the regulation, in order to maintain the overall mix of uses for shopping centers.

At the time it was also seen as a benefit to discourage the overabundance of parking spaces that was in conflict with the Comprehensive Plan and Design Guidelines, where requiring more parking than necessary only promotes large expanses of asphalt. Consumers tend to "self-regulate" when it comes to parking in shopping centers based upon the availability of parking when arriving at a center and, if the lot is full, they will often go to another location or wait for another opportunity. Certain shopping days (especially around Thanksgiving) may be the exception to the rule, but designing for one or two days of the year leads to sites that have undesirably large and expensive to maintain expanses of asphalt for the other 360+ days of the year. This is exactly the situation discouraged by the Design Guidelines and is not in keeping with the above-stated purposes of the parking regulations. However, given that there is no such restriction in the GC District, and Staff is unaware of any problems as a result, it is not anticipated that the market push would be so great that it would eliminate all other uses. Further, the availability of parking for restaurants is reviewed for any new conditional use permit, thus provides for an effective measure reviewing any impacts.

As the retail market has changed, and with the City's large daytime population and high income levels, Staff believes the market remains strong for more restaurants in the area. Therefore, Staff is considering eliminating the maximum amount of restaurants within a retail or office building to remove this particular condition for restaurants. However, restaurants in the MX District, and any free standing restaurants in the CB, PO, PC, and LI District are still required to have a minimum of two acres.

Also of note, during the discussion for Drive-Thru Restaurants, the specific regulations on the MX District were removed in 2014:

SECTION 405.470: CONDITIONAL USES

14. Food services and drinking places--(NAICS 722). Shall be located on sites of not less than two (2) acres with the following exceptions and conditions:

d. ~~In the "MX" District:~~

- ~~(1) Restaurants cannot be located on sites that adjoin or abut property within an "A", "B", "C" or "D" Single Family Residential District or that adjoin or abut property within an "AR" Attached Single Family Residential District used for attached single family dwellings including town homes or duplexes but excluding multi-family dwellings;~~
- ~~(2) Shall be located on sites of not less than two (2.0) acres;~~
- ~~(3) Shall be located on the ground floor of the structure;~~
- ~~(4) Shall not occupy more than forty percent (40%) of the approved building square footage for the building footprint and a single eating and drinking establishment shall not exceed three thousand five hundred (3,500) square feet in size;~~
- ~~(5) Shall have a minimum of sixteen (16) seats for dining; and~~

Drive-thru services on sites in the "MX," "GC," "CB," "PO," "PC," and "LI" Districts that only abut non-residential uses are subject to the following:

COMPREHENSIVE PLAN

The Creve Coeur 2030 plan included a Retail Supply and Demand Study that outlined that current retail development, is now moving away from automobile oriented strip centers, and focusing on walkable aggregations of retail that do not depend on department store anchors, but rather include entertainment; restaurants, pubs, and coffee shops; outdoor plaza with fountains, and art; and main street types of retail in a main street format. If these uses are included in a city center with added, proximal residential, either free-standing or in mixed uses, the destination will have people out and about at all hours and feel more vibrant and attractive than the competing offerings in the region (p. 21). With the changing market in retail for more restaurants and services oriented businesses, as well as the changing market in the LI District and the promotion of the 39N District, Staff is seeing a demand for more restaurants in some areas of the City. Given that there is no such restriction in the GC District, where the mix of uses, are regulated through the availability of parking on site, Staff does not anticipate that the market push would be so great that it would eliminate all other uses within a single center. The Comprehensive Plan calls out for each of the districts, specifically recommends encouraging active ground floor uses with outdoor dining and retail site amenities (Downtown and Central Business District, p. 76; West Olive and Large Commercial Properties, p. 86; East Olive Corridor p. 93; and Mixed-Use Innovation Campus District, p. 99).

The recommendations regarding site amenities are reviewed within the site development plan process. Any intent of the districts and character of the development are established through the quality of the site planning and overall architecture of the development, and which are currently being addressed through the revisions of the Zoning Ordinance for each district to correspond with the recommendations of the Comprehensive Plan. The coming and going of individual tenants within the development will not significantly affect those characteristics. For those uses that could create an impact, they are further reviewed through the conditional use permit process. All restaurants in the City require a conditional use permit with Planning and Zoning Commission's review and City Council approval, where site related issues, including parking, are examined. There is no reason to believe that increasing the allowable square footage for a restaurant would be out of character for the district as long as the purposes of the district are maintained in the design, rather than the design being tailored to one use (restaurant). Therefore, eliminating the limit of restaurants within a retail or office building, would be consistent with the findings of the retail demand of the Comprehensive Plan.

CONCLUSION AND ACTION

The character of development is established through the site development plan review process, and maintained through the individual review of conditional use permits, to ensure that any use or development meets with the intent of the Comprehensive Plan, Design Guidelines, and the district regulations of the Zoning Ordinance, including parking, site coverage and landscaping, are met. The quality of the site development plan and architecture establish the character of the development. Individual tenants within a building do not significantly alter this character. Thus, in Staff's opinion, the limit of 40% seems to be unnecessary when all other site related conditions are examined through the conditional use permit process, particularly when such limitation is not required in the GC District. Therefore, Staff recommends the following text amendment to eliminate this provision. It is important to note, that restaurants are still required to be on two acres in the MX District (whether free standing or within a retail or office building), and free standing restaurants in the "CB," "PO," "PC" and "LI" Districts must also be on a two acre site. The acreage requirement does not apply if within a small retail or office building, or in the GC District:

Section 405.470 Conditional Uses

14. Food services and drinking places — (NAICS 722). Shall be located on sites of not less than two (2) acres with the following exceptions and conditions:
 - a. The acreage requirement does not apply to restaurants without drive-thru services within the "GC" District;

- b. The acreage requirement does not apply to restaurants without drive-thru services in the "CB," "PO," "PC" and "LI" Districts that are located within a retail or office building, ~~provided that such restaurants do not collectively occupy more than forty percent (40%) of the building square footage;~~

MOTION

If the Planning Commission has chosen to accept the draft ordinance as written, the following would be a suitable motion for this application:

“I move to recommend approval of the text amendments to eliminate the maximum restaurant square footage within a retail or office building under Section 405.470(14)(b) as discussed with Application #19-003 on the January 22, 2019”

APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 405.470 CONDITIONAL USES, OF ARTICLE VI STANDARDS FOR PERMITTED, ACCESSORY AND CONDITIONAL USES OF THE ZONING ORDINANCE OF THE CODE OF ORDINANCES OF THE CITY OF CREVE COEUR, MISSOURI TO ELIMINATE THE LIMITATION OF RESTAURANTS TO FORTY PERCENT (40%) OF RETAIL OR OFFICE BUILDING ON SITES OF LESS THAN TWO ACRES IN THE "CB" CORE BUSINESS, "PO" PLANNED OFFICE, "PC" PLANNED COMMUNITY, AND "LI" LIGHT INDUSTRIAL DISTRICTS.

WHEREAS, Section 405.470(14)(b) prohibits restaurants located within a retail or office building to collectively occupy more than twenty-five (40%) of the building square footage; and,

WHEREAS, the Planning and Zoning Commission of the City of Creve Coeur, Missouri has recognized the need for amendments to such restriction of the City Code of Ordinances as set forth herein, to more effectively implement the goals of the Comprehensive Plan and the purposes of the Zoning Code; and,

WHEREAS, the Planning and Zoning Commission of the City of Creve Coeur, Missouri, held a public hearing thereon at the Creve Coeur Government Center on Tuesday, January 22, 2019, beginning at 6:30 p.m., or immediately following the close of the previous public hearing; and,

WHEREAS, the Planning and Zoning Commission reviewed and, by a vote of ____ recommended approval of the subject amendments at its meeting on Tuesday, January 22, 2019; and,

WHEREAS, notice of said public hearing had previously been published at least 15 days prior to the hearing in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur and otherwise posted and published in accordance with the Zoning Ordinance; and,

WHEREAS, all persons who presented themselves at said meeting and desiring to be heard were given an opportunity to be heard and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the City Council; and the Bill was read by title in open meeting two times before final passage by the City Council; and,

WHEREAS, the City Council being fully informed finds that amending the City Code of Ordinances would be in harmony with and bear a substantial relation to the public welfare, health, safety, comfort and convenience of the citizens of the City of Creve Coeur and in the public interest.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, Missouri as follows:

SECTION 1: Section 405.470 Conditional Uses of the Zoning Ordinance, of the City of Creve Coeur's Code of Ordinances shall be amended as follows:

SECTION 405.470: CONDITIONAL USES

14. Food services and drinking places — (NA/CS 722). Shall be located on sites of not less than two (2) acres with the following exceptions and conditions:
 - a. The acreage requirement does not apply to restaurants without drive-thru services within the "GC" District;
 - b. The acreage requirement does not apply to restaurants without drive-thru services in the "CB," "PO," "PC" and "LI" Districts that are located within a

BILL NO. _____

ORDINANCE NO. _____

retail or office building, ~~provided that such restaurants do not collectively occupy more than forty percent (40%) of the building square footage;~~

SECTION 2: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2019.

DR. SCOTT SAUNDERS
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2019.

BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK

Attachment: 19-003.Eliminate 40% of Restaurants.Draft Ordinance.1-22-2019 (#19-003: Section 405.470(A)(14)(B) Text Amendment)



1607 tower grove avenue • saint louis, missouri 63110 • t 314.771.7300 • f 314.771.7303

January 8th, 2019

Mr. Jason Jaggi, AICP
Director of Community Development
300 N. New Ballas Rd.
Creve Coeur, MO 63141

Santino Court Development
Development Extension Request

Dear Jason,

On February 26th, 2018, City Council approved our project at Santino Court. Please note that the project remains the same as approved by the City. Since then, we have been working diligently with all parties involved to create a sustainable and successful subdivision. With that being said, we ran into several unanticipated issues that have delayed this project. See below:

- Since February of 2018, when City Council first approved the project, we have been working with the residents and Trustees of Emerald Green Estates to obtain their approval of the project. Please advise if you would like copies of our correspondence with the Trustees in this regard. In short, the sum of those efforts culminated in an August 2018 neighborhood meeting attended by UIC and the Trustees. After the meeting, the trustees granted verbal approval of our plans and specifications. This approval was formalized thereafter with written approval provided by the Trustees in November 2018.
- After submittal of our Site Improvement Plans in June 2018, we received several rounds of questions from the City and MSD. We underestimated the time required to complete this process. It took us until October 2018 to satisfy all questions.
- Due to the structure of Ballas and Ladue, LLC, it took us longer than expected to secure the bond. As of this morning, the bond has been approved.

Due to the above issues, we would like to request a one-year extension. Once the bond paperwork is processed, permit and escrow fees will be submitted to the City of Creve Coeur. This will allow us to begin land development.

If you have any questions or concerns, feel free to contact me at bmcMahon@uicstl.com or 314-369-2404.

Thanks,

Brett McMahon
Development Project Manager

Attachment: REQUEST FOR EXTENSION Final Development Extension Letter 20190108 (Santino Court Request for Extension)

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE AMENDING ORDINANCE 5570 AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF CREVE COEUR TO REZONE 4.257 ACRES OF LAND FROM “A” SINGLE-FAMILY RESIDENTIAL DISTRICT TO “B” SINGLE-FAMILY RESIDENTIAL DISTRICT AND AUTHORIZING A RESIDENTIAL DESIGNED DEVELOPMENT (RDD) WITH ACCOMPANYING PRELIMINARY SUBDIVISION PLAT AND SITE DEVELOPMENT PLAN FOR THE PROPOSED SANTINO COURT SUBDIVISION, FOR THE PROPERTY CURRENTLY ADDRESSED AS 105 AND 157 N. NEW BALLAS ROAD, 1 SANTINO COURT, AND 11921 LADUE ROAD

WHEREAS, Ordinance 5570 authorized the rezoning from A Single Family Residential to B-RDD and preliminary plans for the Santino Court Subdivision on February 26, 2018. The final plat and subdivision improvement plans were reviewed and approved by the Planning and Zoning Commission on May 21, 2018. Council authorized the final plan on June 2018, Ordinance 5590; and

WHEREAS, Brent Crittenden, of Urban Improvement Company, LLC, submitted a request for a one year extension, pursuant to Section 405.1080(K)(4): and

WHEREAS, and Section 4 of Ordinance 5570 incorrectly referenced a 180 day prior date; and

WHEREAS, the amending Ordinance corrects this error; and

WHEREAS, the Planning and Zoning Commission reviewed and, by a _____ vote recommended approval of the extension request, and clarification of the revised Ordinance; and,

WHEREAS, all persons who presented themselves and desiring to be heard were given an opportunity to be heard and a copy of the proposed ordinance was made available for public inspection prior to its further consideration by the City Council; and this Bill having been read by title in open meeting two times by the City Council; and

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

SECTION 1: Section 4 of Ordinance 5570 shall be amended to read as follow, all other conditions shall remain in effect:

SECTION 4: As set forth in Section 405.1080 (K)(4) of the Zoning Ordinance of the City of Creve Coeur, ~~A Site Development Plan approved by the City of Creve Coeur shall be valid for a period of up to one (1) year from the date it is approved. After one year, a Site Development Plan will no longer be valid unless an extension is granted. The City of Creve Coeur may grant one, one (1) year extension prior to the expiration of the Site Development Plan upon written request of the applicant submitted to the City at least 180 days prior to the expiration date and granted prior to the expiration date.~~ states: no site development plan or minor site plan approval shall be valid for a period longer than twelve (12) months from the date it is approved, unless within such period a building permit is obtained and substantial construction is commenced. Substantial construction shall be deemed to consist of clearing the site, completion of footings, basement or building slab and inspection of such work. The Planning and Zoning Commission and the City Council, when required, may grant extensions not exceeding twelve (12) months each upon written request of the original applicant prior to the expiration of such period and resubmission of

SUBSTITUTE BILL NO. 5690

ORDINANCE NO. _____

the application if the application as resubmitted is substantially the same as the initially approved application. However, the Commission and the Council, as applicable, have the power in such cases to attach new conditions to their re-approval or to disapprove the reapplication. Where the application for re-approval contains changes which the Zoning Administrator concludes materially alter the initial application, the Zoning Administrator shall initiate a new site development plan review procedure as stated in Section 405.1080 or a new minor site plan review procedure as stated in Section 405.1080.

SECTION 2: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS _____ DAY OF _____, 2019

DR. SCOTT SAUNDERS
PRESIDENT OF CITY COUNCIL

APPROVED THIS _____ DAY OF _____, 2019

BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK

Attachment: Draft Correcting Ordinance 5570 (Santino Court Request for Extension)

SUBSTITUTE BILL NO. 5690ORDINANCE NO. 5570

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF CREVE COEUR TO REZONE 4.257 ACRES OF LAND FROM "A" SINGLE-FAMILY RESIDENTIAL DISTRICT TO "B" SINGLE-FAMILY RESIDENTIAL DISTRICT AND AUTHORIZING A RESIDENTIAL DESIGNED DEVELOPMENT (RDD) WITH ACCOMPANYING PRELIMINARY SUBDIVISION PLAT AND SITE DEVELOPMENT PLAN FOR THE PROPOSED SANTINO COURT SUBDIVISION, FOR THE PROPERTY CURRENTLY ADDRESSED AS 105 AND 157 N. NEW BALLAS ROAD, 1 SANTINO COURT, AND 11921 LADUE ROAD

WHEREAS, Brent Crittenden, of Urban Improvement Company, LLC, has submitted a request for the rezoning and preliminary plat approval of 4.257 acres at 105 and 157 N. New Ballas Road, 1 Santino Court, and 11921 Ladue Road, Creve Coeur, MO from A Single Family Residential to B Single Family Residential with RDD-Residential Design Development designation to allow for the development of a subdivision of 9 single family homes with an average lot size of 19,817.7 square feet; and

WHEREAS, in accordance with Sections 405.280, 405.450(C), and 405.1080 of the Zoning Ordinance, the applicant has submitted a Site Development Plan (hereafter referred to as the "subdivision improvement plan") and Preliminary Plat to the Department of Planning for the Santino Court subdivision, including 9 lots on the 4.257 acres, with residential designed development (RDD); and

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, December 18, 2017, beginning at 6:30 p.m., and continued to Tuesday, January 16, 2018, at 6:30 p.m. or immediately following the close of the previous public hearing, on the rezoning and RDD request and accompanying Preliminary Plat; and

WHEREAS, notice of said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur and otherwise posted and published in accordance with the Zoning Ordinance; and

WHEREAS, the Planning and Zoning Commission reviewed and, by a 1-5 vote recommended denial of the rezoning, RDD, plat, and site development plan, at its meeting on January 16, 2018; and,

WHEREAS, all persons who presented themselves and desiring to be heard were given an opportunity to be heard and a copy of the proposed ordinance was made available for public inspection prior to its further consideration by the City Council; and this Bill having been read by title in open meeting two times by the City Council; and

WHEREAS, the City Council being fully informed finds that rezoning the property would be in harmony with and bear a substantial relation to the public welfare, health, safety, comfort and convenience of the citizens of the City of Creve Coeur and in the public interest and in good zoning practice; and

WHEREAS, the City Council finds that the Residential Designed Development proposal, as submitted on December 12, 2018 and when subject to certain conditions set forth herein, is consistent with good planning practice, consistent with good site landscape planning, is not detrimental to the existing and permitted uses in the surrounding area, is deemed desirable to provide the purpose of Section 405.450 of the Zoning Code and is in accordance with the

Attachment: Ord 5570 Santino Ct (Santino Court Request for Extension)

SUBSTITUTE BILL NO. 5690ORDINANCE NO. 5570

criteria of Section 405.450(C)(1-3) of the Zoning Code regarding minimum project area, gross acreage, yards, and site and building coverage;

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

SECTION 1: The Official Zoning Map of the City of Creve Coeur shall be amended to rezone the property addressed as 105 and 157 N. New Ballas Road, 1 Santino Court, and 11921 Ladue Road, Creve Coeur, MO from A Single Family Residential to B Single Family Residential with RDD-Residential Design Development designation, subject to the conditions stated herein, which property is more specifically described as follows:

Legal Descriptions

1 Santino Court – Lot 42 of Emerald Green Estates, according to the plat thereof recorded in Plat Book 104 page 20 of the St. Louis County Records

105 N New Ballas - Lot 43 of Emerald Green Estates, according to the plat thereof, recorded in Plat Book 104 page 20, EXCEPTING THEREFROM the South 15 feet thereof conveyed to the State of Missouri by deed recorded in Book 5322 page 466 of the St. Louis County Records and FURTHER EXCEPTING THEREFROM that portion conveyed to the State of Missouri, acting by and through the Missouri Highway and Transportation Commission by deed recorded in Book 8410 page 601 of the St. Louis County Records.

157 N New Ballas – Lot 41 of Emerald Green Estates, according to the plat thereof recorded in plat book 104 page 20 of the St. Louis County Records.

11921 Ladue - Lot 44 of Emerald Green Estates, as per plat thereof recorded in Plat Book 104 page 20 of the St. Louis County Records, excepting therefrom the South 15 feet thereof conveyed to the State of Missouri by deed recorded in Book 5322 page 466.

SECTION 2: A residential designed development (RDD) permit is hereby granted for the Santino Court subdivision, to be located on the land described in Section 1 of this ordinance, subject to the conditions contained herein.

SECTION 3: The Santino Court RDD shall conform to the Site Improvement Plan, the Preliminary Plat and the Landscape Plan, last revised January 10, 2018, or as further revised as required and approved by the City of Creve Coeur, and are further subject to the following conditions:

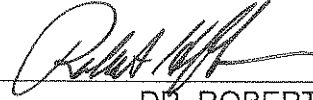
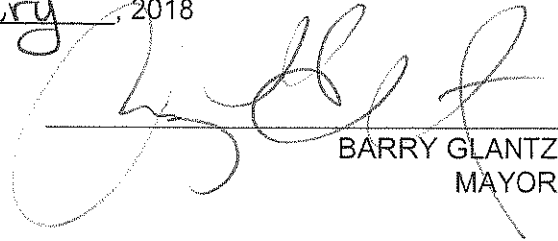
1. The final plat shall include a 25 foot landscaped easement provided along Ladue Road and N. New Ballas Road, south of Santino Court, and to the top of the retaining wall for Lot 1 to ensure long-term preservation of the green space and landscaping in these areas.
2. The Applicant shall submit a final subdivision plat with trust indentures and final subdivision improvement plans for review and approval by the Planning and Zoning Commission and City Council. The Grading and Subdivision Improvement Plans shall be in substantial conformance with the Site Development Plans and the Landscape Plan submitted on January 10, 2018 as bound together and submitted in conjunction with Application #17-044 by UIC, and as amended below.

SUBSTITUTE BILL NO. 5690ORDINANCE NO. 5570

3. All building elevations shall be in substantial conformance with the "Exterior Elevations" submitted on January 10, 2018 as bound together and submitted in conjunction with Application #17-044 by UIC, showing equal design treatment of all sides. Exterior wall materials shall be limited to brick, fiber cement, and wood siding, except as modified below. No vinyl siding is permitted.
4. The ground floor of the east elevations of the homes facing North New Ballas Road on Lots 1 and 9 shall be faced with brick in a consistent manner as the front elevations.
5. Final design of the private park amenity shall be specified in the subdivision improvement plans.
6. The Landscape Plan shall be revised to include adding a minimum of one street tree for every 30 lineal feet or part thereof of street frontage, as required in Sections 410.300 and 410.320 of the Subdivision and Land Development Standards along Santino Court, Ladue Road, and North New Ballas Roads, for the Zoning Administrator's approval.
7. Additional evergreen plants shall be provided along the north of Lots 1 and 2 to provide additional screening for the residents to the north.
8. A tree preservation plan shall be submitted showing a minimum of 25% of the existing tree mass or 25% of the trees over 8" caliper shall be preserved as required by Section 405.320 Tree Conservation of the Subdivision Ordinance, and a copy of the Arborist Report regarding the health of the trees to be removed and replaced, subject to Zoning Administrator approval.
9. The proposed four-foot fence along Ladue Road shall not be any closer than 25 feet from the property line.
10. The Subdivision Improvement Plans and final plat shall provide the appropriate easement for the sidewalks along N. New Ballas Road in coordination with the City's Public Works Department
11. Prior to issuance of any building permits, the applicant shall prepare and record the final subdivision plat as approved by the City Council and indentures requiring public access, maintenance, insurance, funding, maintenance of the stormwater BMPs as required by MSD, maintenance of landscaping along Ladue and N. New Ballas roads, and common ground area, to be approved by the City Attorney.
12. All signs shall comply with Section 405.940 of the Zoning Ordinance.
13. All street lighting shall meet with 405.680: Lighting of the Zoning Ordinance.
14. All other standards not specifically approved by the City Council should be in conformance with the Section 405.260, B Single-Family Residential District of the Zoning Code.

SECTION 4: As set forth in Section 405.1080 of the Zoning Ordinance of the City of Creve Coeur, A Site Development Plan approved by the City of Creve Coeur shall be valid for a period of up to one (1) year from the date it is approved. After one year, a Site Development Plan will no longer be valid unless an extension is granted. The City of Creve Coeur may grant one, one (1) year extension prior to the expiration of the Site Development Plan upon written request of the applicant submitted to the City at least 180 days prior to the expiration date and granted prior to the expiration date.

SECTION 5: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

SUBSTITUTE BILL NO. 5690ORDINANCE NO. 5570ADOPTED THIS 26 DAY OF February, 2018DR. ROBERT HOFFMAN
PRESIDENT OF CITY COUNCILAPPROVED THIS 26 DAY OF February, 2018BARRY GLANTZ
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK

March 01, 2018

Members of the Creve Coeur City Council,

This past Monday, February 26, 2018 - Substitute Bill No. 5690 (an Ordinance Amending the Official Zoning Map of the City of Creve Coeur to Rezone 4.257 Acres of Land from "A" Single Family Residential District to "B" Single-Family Residential District and Authorizing a Residential Designed Development (RDD) with Accompanying Preliminary Subdivision Plat and Site Development Plan for the Proposed Santino Court Subdivision, for the Property Currently Addressed as 105 and 157 N. New Ballas Road, 1 Santino Court, and 11921 Ladue Road) received Final Reading / Passage – with a 7-1 City Council vote.

I respectfully request that this item be brought back for further discussion and reconsideration before the City Council - at our meeting on Monday evening, March 12, 2018. A motion (and second) for reconsideration needs to be made by a member of the Council who voted in favor of the project.

I make this request for the following reasons :

- Statements made by various Council members during the actual vote were quite compelling, and worthy of further public discussion.
- Numerous subdivision issues with Emerald Green indentures remain unresolved, and City Council approval of this project may be premature to subdivision approval.
- Unanimous opposition from our Planning and Zoning Commission - along with overwhelming neighborhood opposition.
- With approval of this project, the remaining "A" zoned properties just to the North (on Ballas Road) and just to the West (on Ladue Road) of the subject property appear to now be "isolated", perhaps inviting additional / similar re-zoning requests.
- Precedent setting "down-zoning" of residential property along Ladue Road. This was the primary issue of concern during my initial campaign for Mayor in 2012 – and still remains the foremost concern of Creve Coeur citizens living along this residential corridor.
- Unconventional architectural design. This project is a significant departure from the architecture of the surrounding area, and is a source of concern for neighbors and our Planning and Zoning Commission. The applicant declined to make any substantive design modifications despite strong encouragement from City staff and the Planning and Zoning Commission. Compatibility of design is a risk that must be discussed / addressed in our community. In addition, problems may occur if a project is not embraced by the public (for whatever reason) and remains vacant for too long. This was an issue during the initial development of Enclave Bellerive, and also Ladue Court.

I have not yet signed the above mentioned ordinance, and would rather not veto the bill – as that would prove to be a rather pointless exercise. But I remain deeply troubled and unsettled about this project as proposed, and believe that further due diligence on our part could be beneficial to all involved.

Therefore, I respectfully request that reconsideration of this issue be added to the agenda for our meeting on Monday, March 12 – under business from the Mayor / City Council. A motion (and second) from a Council member on the prevailing side of this issue would open discussion of reconsideration only.

Discussion of the project itself (only if the motion for reconsideration is approved) would be held at a future, public meeting.

Barry L. Glantz
Mayor

Attachment: Ord 5570 Santino Ct (Santino Court Request for Extension)

BILL No 5713ORDINANCE No 5590

**AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT FOR A
SUBDIVISION KNOWN AS SANTINO COURT AT 105 AND 157 N. NEW
BALLAS ROAD, 1 SANTINO COURT, AND 11921 LADUE ROAD, CITY OF
CREVE COEUR, ST. LOUIS COUNTY, MISSOURI**

WHEREAS, an application by Brent Crittenden, of Urban Improvement Company, LLC, has been submitted for the final plat and site improvement plan approval for the 4.257 acres located at 105 and 157 N. New Ballas Road, 1 Santino Court, and 11921 Ladue Road, for 9 single family homes, zoned "B" Single Family Residential with "RDD" Residential Design Development; and

WHEREAS, Ordinance No. 5570 authorized the rezoning for Santino Court Subdivision with the Residential Designed Development designation and the preliminary plat was approved by the City Council on February 23, 2018; and

WHEREAS, the final plat of the Santino Court subdivision substantially conforms to the preliminary plat; and

WHEREAS, public notice of said final plat application was provided in accordance with Section 410.140.C.2 of the Creve Coeur Municipal Code; and

WHEREAS, the Planning and Zoning Commission recommended, by a vote of 7-0, approval of the Santino Court final plat on May 21, 2018; and

WHEREAS, a copy of the proposed ordinance has been made available for public inspection prior to its adoption by the City Council and this bill having been read by title in open meeting two times before final passage by the City Council;

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, Missouri as follows:

SECTION 1: The final plat of the subdivision known as Santino Court, described as a tract of land being Lots 41 & 42 & Parts of Lots 43 & 44 of Emerald Green Estates Section 10, Township 45 North – Range 5 East City of Creve Coeur, St. Louis County, Missouri, as heretofore submitted on April 20, 2018 is hereby approved subject to the following conditions:

1. The Applicant shall provide two (2) disks containing digitized versions of the plat along with two (2) printed copies of the recorded plat. Acceptable data formats include AutoCAD (.dwg or .dxf), MicroStation Design File (.dgn), ArcInfo Coverage, ArcView Shape File (.shp), or MapInfo.
2. The subdivision indentures shall be reviewed and approved by the City Attorney prior to the signing of the Mylar and proof of recording shall be provided prior to the issuance of a building permit.

SECTION 2: Such approval of the plats for the subdivision of the property shall be endorsed on said Plat as indicated in Section 1 hereof under the hand of the City Clerk, and the seal of the City of Creve Coeur, Missouri shall be affixed thereto.

Attachment: ORD 5590 Santino Ct Subdivision Plat (Santino Court Request for Extension)

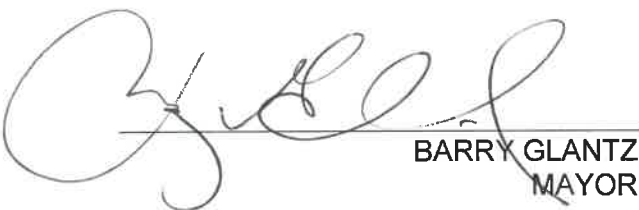
BILL NUMBER 5713**ORDINANCE NUMBER 5590**

SECTION 3: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

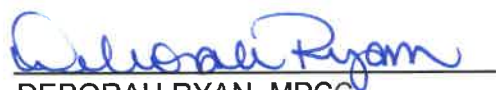
ADOPTED THIS 11th DAY OF June, 2018.


DR. SCOTT SAUNDERS
PRESIDENT OF CITY COUNCIL

APPROVED THIS 11th DAY OF June, 2018.


BARRY GLANTZ
MAYOR

ATTEST:


DEBORAH RYAN, MPCC
CITY CLERK

Attachment: ORD 5590 Santino Ct Subdivision Plat (Santino Court Request for Extension)



city of CREVE COEUR

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 (314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

MEMO TO THE PLANNING & ZONING COMMISSION

Meeting Date: January 22, 2019

Subject: Fiscal Years 2020-2024 Capital Improvement Program Schedule

Memo Prepared by: Jason W. Jaggi, AICP, Director of Community Development

Attachments: CIP Schedule (Rev. 1-16-19)

The City is in the process of preparing the Capital Improvement Program (CIP) for Fiscal Years 2020-2024. According to the attached schedule prepared by Mr. Matt Wohlberg, City Engineer, the City is currently soliciting input from residents, city committees and other stakeholders until February 4th.

The presentation of the draft CIP to the Planning and Zoning Commission is scheduled for March 18, 2019. Prior to the presentation, the draft CIP will be distributed for review by the Planning and Zoning Commission, City Council and Finance Committee on February 25, 2019.

To further assist in your review of the draft CIP budget, the Planning and Zoning Commission is invited to the City Council Work Session on February 25th. The presentation at the Work Session will be similar to that anticipated for the Planning and Zoning Commission meeting on March 18th.

More information on the CIP process can be found on the City's website: <https://www.creve-coeur.org/95/Capital-Improvement-Program>

Staff will review this schedule at the meeting with the Commission and will pass along any feedback to Mr. Wohlberg for further consideration.

Attachment: CIP FY2020-2024 CIP Schedule Memo (CIP FY 2020-2024 Schedule)

Schedule for Annual CIP Update

Capital Improvement Program - Fiscal Years 2020-2024

December 10, 2018 – February 4, 2019	CIP public comment period: City staff solicits input from residents, City committees, staff, and other stakeholders
January 8, 2019	CIP discussion at monthly Department Head meeting
February 4, 2019	Deadline for staff to submit all new and updated CIP project sheets
February 11, 2019	Staff meeting to review the draft CIP.
February 19, 2019	Staff meeting to review final draft of CIP prior to submission to City Council and others.
February 25, 2019	City Administrator submits the draft CIP to City Council, Planning & Zoning Commission, and Finance Committee City Council Work Session #1 – CIP Overview
March 1, 2019	Deadline to submit public hearing notice to City Clerk for publication
March 18, 2019	Presentation of CIP to the Planning & Zoning Commission
March 19, 2019	Review CIP with the Finance Committee
March 25, 2019	City Council Work Session #2 – Review Fleet, Roadway, and Sidewalk Programs
April 8, 2019	Public Hearing before City Council Possible approval by City Council

Attachment: CIP FY2020-2024 Schedule (CIP FY 2020-2024 Schedule)

Schedule revised January 16, 2019.