



AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, MAY 3, 2021
6:30 PM

As a precautionary measure to help prevent exposure and spread of COVID-19, the Planning and Zoning Commission scheduled for Monday, May 3, 2021 at 6:30 p.m. will be livestreamed online.

The Council Chambers will be closed to the public; however, citizens are encouraged to participate and submit public comments in the following ways:

1. **Video Livestream** — Watch a live video broadcast of the Planning and Zoning Commission meeting here <https://us02web.zoom.us/j/89080385174>. The public will be required to provide a name and email address to enter the meeting. The email address will not be saved or used to contact you. Citizens will have the opportunity to make public comments live during the meeting using the video livestream program ([How to Participate in Online Public Meetings](#)).
2. **Teleconference** — Call in to the meeting by dialing 1 312 626 6799/// Webinar ID: webinar ID: 890 8038 5174.
3. **Email** — Public comment may also be emailed to the City no later than 5:00 p.m. on May 3, 2021. Submit public comments to Whitney Kelly, City Planner, at wkelly@crevecoeurmo.gov.
4. **Live Audio** — Listen to a live audio broadcast of the Planning and Zoning Commission meeting by visiting the [Agendas & Minutes](#) page and clicking on the "Audio" link at the start of the meeting (audio only).

For agenda items that require a public hearing, the City's court reporter will swear in all persons who wish to speak on the application, however, the Planning and Zoning Commission may vote to suspend this rule for agenda items where significant public participation is expected in recognition of the logistical constraints of audio/ video conferencing. When the Chair believes it is in the best interest of the Commission to suspend this requirement, he/she shall call for a vote of the Commission to affirm the suspension prior to opening the public hearing. If the requirement is suspended, speakers in the hearing will nonetheless be expected to be truthful.

Members of the public will have three (3) minutes to provide comments. The Commission will utilize a timer that is visible to the public to monitor the time, subject to limits of technology. The Chair reserves the right to end the public comment for that individual if the time allowance is not being respected. The Chair will also have the discretion to end public comment for an individual for disruption of the hearing. Citizens are encouraged to select one or two members of

a group to address the Commission as a spokesperson. Time limits for spokespersons may be extended at the discretion of the Chair.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

CALL TO ORDER

ROLL CALL

Ms. Beth Kistner (Chair)
Mr. Tim Carney
Ms. Muriel Hall
Mr. James Myers
Mr. Gene Rovak
Mr. Larry Potashnick
Mr. Todd Streiler
Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Whitney Kelly, City Planner
Ms. Jessica Stutte, Planning Assistant/Recording Secretary

CALL TO ORDER

ROLL CALL

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

1. April 19, 2021 Planning and Zoning Commission Draft Meeting Minutes

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS

1. **Application #21-012: Minor Site Plan for a for a Fence Within the Front-Yard Setback Along Mosley Forest Drive for the Property Addressed as 11 Ladue Meadows**
Jordan Kinne, of Custom Design Fence & Deck, on behalf of the homeowner of 11 Ladue Meadows, has submitted a revised application for a 4.58 foot (55”) tall, wrought-iron style fence, approximately 15 feet from the rear property line, within the area equivalent to the front-yard setback along Mosley Forest Dr. The subject property is zoned A Single Family Residential which has a front yard setback of 50 feet. : The City

of Creve Coeur's Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district, unless approved by site development plan by the Planning and Zoning Commission.

NEW BUSINESS

1. PUBLIC HEARING. Application #21-014: Application for a Conditional Use Permit for BeerSauce, a Craft Beer and Whiskey Bar at 10453 Olive Boulevard within the Creve Coeur Pavilion Shopping Center

Daniel Gustafson, of BeerSauce CCR, LLC has submitted an application for a conditional use permit for a 3,000 square foot craft beer and whiskey bar, with 55 indoor seats and 34 outdoor seats, at 10453 Olive Boulevard, within the Creve Coeur Pavilion Shopping Center, zoned CB-Core Business District. BeerSauce Shop provides a variety of products pertaining to craft beer, BBQ tools/grills, BBQ sauces and rubs, and small batch and craft beer and whiskey by the pour and BBQ foods. NAICS 722410 Drinking Places (Alcoholic Beverages) are permitted as conditional uses with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission.

WORK AGENDA

None

DEPARTMENT REPORTS

Director of Community Development

ADJOURNMENT

Pursuant to Section 610.022 RSMo, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Posted: _____
Jason W. Jaggi
Director of Community Development



DRAFT MINUTES
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, APRIL 19, 2021
6:30 PM

CALL TO ORDER

Ms. Kistner called the meeting to order at 6:30 PM.

ROLL CALL

Beth Kistner	Commission Chair	(Remote)
Gene Rovak	Commission Member	(Remote)
Tim Carney	Commission Member	(Remote)
Muriel Hall	Commission Member	(Remote)
Larry Potashnick	Commission Member	(Remote)
James Myers	Commission Member	(Remote)
Todd Streiler	Commission Member	(Remote)

The following staff were also present: Carl Lumley, City Attorney; Jason Jaggi, Director of Community Development; Whitney Kelly, City Planner; and, Jessica Stutte, Planning Assistant/ Recording Secretary.

ACCEPTANCE OF THE AGENDA

Mr. Carney made a motion to accept the agenda. Ms. Hall seconded. All in favor.

APPROVAL OF MINUTES

1. April 5, 2021 Planning and Zoning Commission Draft Meeting Minutes

Mr. Potashnick made a motion to accept the minutes. Ms. Hall seconded. All in favor.

PUBLIC COMMENT

None

UNFINISHED BUSINESS

None

NEW BUSINESS

1. Application #21-012: Minor Site Plan for a for a Fence Within the Front-Yard Setback Along Mosley Forest Drive for the Property Addressed as 11 Ladue Meadows

Mr. Ron Kruszewski, property owner, said the fence line is about 15 ft off the property line.

Mr. Jerry Hartz said they wanted to keep the fence 5 ft from the property line. The neighbor's fence was on the property line.

Ms. Kelly went over the request and the zoning ordinance. She said the style is in keeping with the requirements and the height is just a bit higher than what is normally approved. She said staff does not have an issue with the location of the fence due to the vegetation.

Mr. Carney asked if the fence at #13 was approved.

Ms. Kelly said she did not know but it looked to be about 4 feet tall.

Ms. Kistner asked if they could put a fence in an easement.

Ms. Kelly said they could but would have to get approval from Ameren.

The applicant said the fence height was requested to match the neighboring fence

There was some discussion regarding the neighboring fence.

Mr. Streiler suggested they put the fence 15 feet from the right of way.

Ms. Kistner suggested they allow the fence where it is proposed given the vegetation.

Gene Rovak joined the meeting at 7:06 pm.

There was some discussion regarding the height of the neighbor's fence.

Ms. Kistner suggested they get answers to some of the questions they have regarding the fence height and distance the fence would be from the right of way.

RESULT:	CONTINUED [UNANIMOUS]
MOVER:	Todd Streiler, Commission Member
SECONDER:	Muriel Hall, Commission Member
AYES:	Kistner, Rovak, Carney, Hall, Potashnick, Myers, Streiler

2. PUBLIC HEARING. Application #21-009: Master Sign Plan for West Park Office Development Pursuant to Section 405.955 Master Sign Plans

Those requesting to speak were sworn in.

Mr. Larry Chapman, developer of Edge@West, said they would like to develop a master sign plan.

Ms. Kistner asked if they had seen the proposed conditions and if they approved.

Mr. Chapman said they were in agreement.

Mr. Jaggi gave a brief history of the site. He explained the request with some maps. He went over the request and summarized the proposal. He said the plan would be custom for the site in the spirit of the master sign plan. He presented the conditions to the Commission.

Mr. Lumley offered the exhibits into the public record and the public hearing was closed.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Tim Carney, Commission Member
SECONDER:	Todd Streiler, Commission Member
AYES:	Kistner, Rovak, Carney, Hall, Potashnick, Myers, Streiler

3. PUBLIC HEARING. Application #21-010: Amendment To The Conditional Use Permit For Enterprise Leasing Located At 11931 Olive Boulevard Within The Creve Coeur Shopping Center

Those speaking to the request were sworn in.

Mr. Julian Sanchez, of Enterprise, said they were looking to improve their facility by adding a carwash. He said due to Covid they are increasing their practices to keep cars clean. He said they currently use the Briteworx down the street. He said having the car wash on site would greatly improve their efficiency.

Ms. Hall asked where the car wash would go.

Mr. Sanchez said it would be in the rear.

Ms. Kistner asked about the number of cars.

Mr. Sanchez said 15 cars.

Mr. Rovak asked about sound.

Mr. Sanchez said the vacuum would be moved indoors and the garage door would close during cleaning.

Ms. Kelly said the application was to amend their current CUP. She went over the details of the request. She pointed out the car washing would be done by hand not by a machine. She went over the recommendations.

Mr. John McKeon said the vacuum was a little noisy. He asked about water run off. He asked about impact to the other businesses.

Mr. Sanchez said the other tenants in the building were aware of the request. He said the number of parking spaces would remain the same.

Mr. David Clark, 984 Orchard Lakes Dr, said the rear of his home faces the proposed car wash. He said the proposed time seemed a little early. He asked if the business hours would be changing.

Mr. Sanchez said the business hours would remain the same.

Mr. Clark asked if the garage door would be open or closed.

Mr. Sanchez said the garage door would be automatic and should only be open for a few minutes at a time.

Mr. Clark asked about the approval process and is there a plan to put up a barrier.

Ms. Kelly explained the process for approval. She said in staff review they did not see the garage door placement to create a noise issue.

Ms. Hall asked if the other tenants had been made aware of the plans.

Mr. Sanchez said the plans had been communicated.

Mr. Lumley offered the exhibits to the record and the public hearing was closed.

Mr. Carney said he was glad to hear the garage doors would be closed during the wash.

Mr. Clark said he received notification, but other neighbors did not.

Mr. Jaggi said only those within 300 feet would receive a notice.

Mr. Carney made a motion to approve the with the amended conditions. Ms. Hall seconded. All in favor.

RESULT:	APPROVED [UNANIMOUS]
SECONDER:	Larry Potashnick, Commission Member
AYES:	Kistner, Rovak, Carney, Hall, Potashnick, Myers, Streiler

4. PUBLIC HEARING. Application #21-011: Conditional Use Permit For Ready Remediation LLC at 1127-1129 N. Warson Road

Those speaking to the request were sworn in.

Mr. David Hutkin, said he would let Ms. Kelly present and answer any questions they may have after her presentation.

Ms. Kelly went over the request. She said there is sufficient parking. She went over the staff recommended conditions and pointed out that condition 6 & 7 had been revised to provide clarification.

Mr. Lumley entered the exhibits into the record and the public hearing was closed.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Tim Carney, Commission Member
SECONDER:	Muriel Hall, Commission Member
AYES:	Kistner, Rovak, Carney, Hall, Potashnick, Myers, Streiler

WORK AGENDA

DEPARTMENT REPORTS

Mr. Jaggi said there would be a few items up for review at the May 3rd meeting.

Staff and Ms. Kistner thanked Mr. Carney for his service to the Planning and Zoning Commission.

ADJOURNMENT

Mr. Carney made a motion to adjourn. All in favor. Meeting adjourned at 8:18 pm.



city of CREVE COEUR

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APPLICATION TO PLANNING AND ZONING COMMISSION #21-012: MINOR SITE PLAN FOR A FENCE WITHIN THE FRONT-YARD SETBACK ALONG MOSLEY FOREST DRIVE FOR THE PROPERTY ADDRESSED AS 11 LADUE MEADOWS

FOR THE MEETING OF: Monday, May 3, 2021

SUBJECT PROPERTY LOCATION: 11 Ladue Meadows, zoned A-Single Family Residential

REQUEST: Jordan Kinne, of Custom Design Fence & Deck, on behalf of the homeowner of 11 Ladue Meadows, has submitted a revised application for a 4.58 foot (55") tall, wrought-iron style fence, approximately 15 feet from the rear property line, within the area equivalent to the front-yard setback along Mosley Forest Dr. The subject property is zoned A Single Family Residential which has a front yard setback of 50 feet.

ADDITIONAL INFORMATION: The City of Creve Coeur's Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district, unless approved by site development plan by the Planning and Zoning Commission. Staff may approve a fence within this area if the fence to the side and rear of the home, is setback at least fifteen (15) feet from the property line, no more than four (4) feet in height, and is an open slatted decorative metal fencing. City Council action is not required.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?

Creve Coeur 2030 References

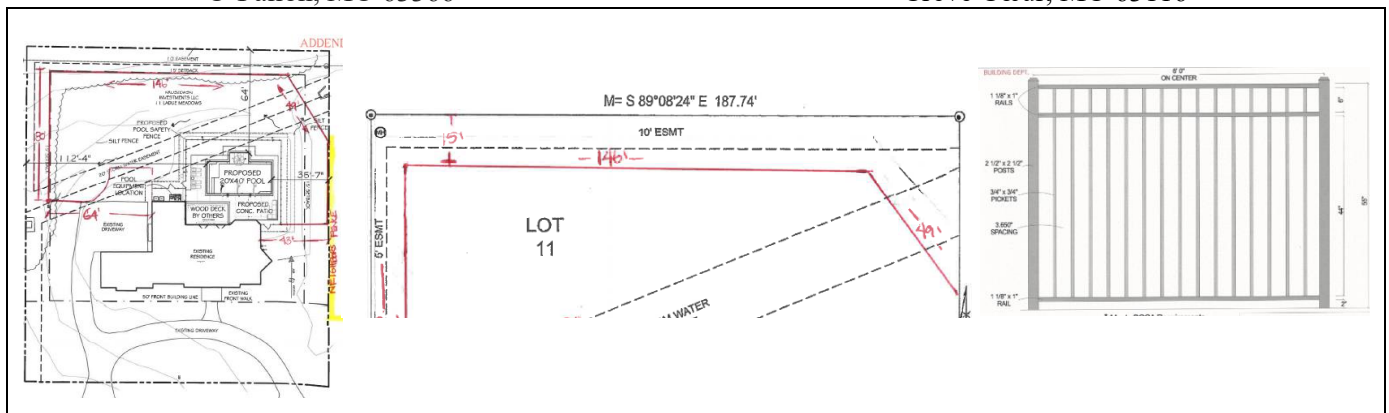
- Estate Neighborhood 2 (ER2)
- Design Guidelines

Zoning Code References

- Section 405.250: A-Single Family Residential
- Section 405.640: Fences and Walls
- Section 405.1080: Site Concept, Site Development, and Minor Site Plan Approval

APPLICANT: Jordan Kinne
Custom Design Fence & Deck
3926 Hwy 79
O'Fallon, MO 63366

PROPERTY OWNER: Ron Kruszewski
Kruszewski Investments LLC
11 Ladue Meadows
Creve Coeur, MO 63116



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner

DATE: 4/26/2021

ATTACHMENTS: Applicant's Revised Materials received April 26, 2021

FENCE PLACEMENT AND DESIGN

The Applicants have revised the site plan to show that it will be 15 feet from the rear property line/right-of-way of Mosley Forest Drive. The fence would be just inside of the existing dense shrubs and not generally visible to those on Mosley Forest Drive.

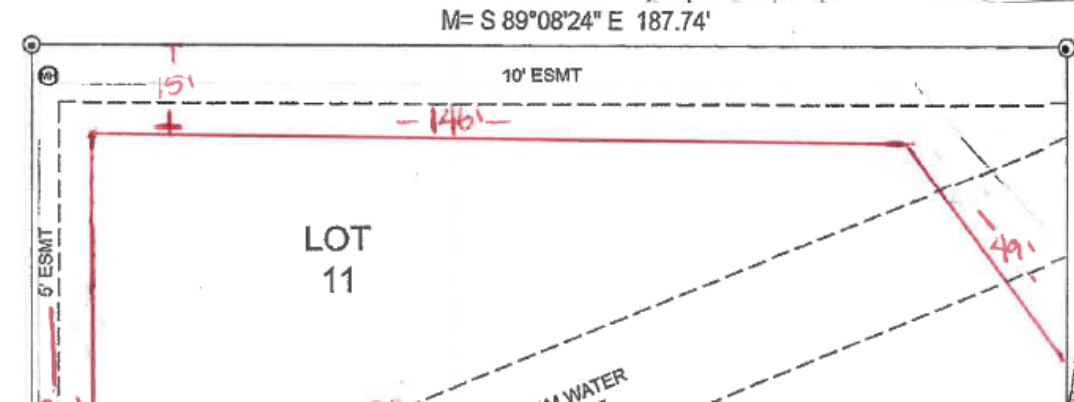
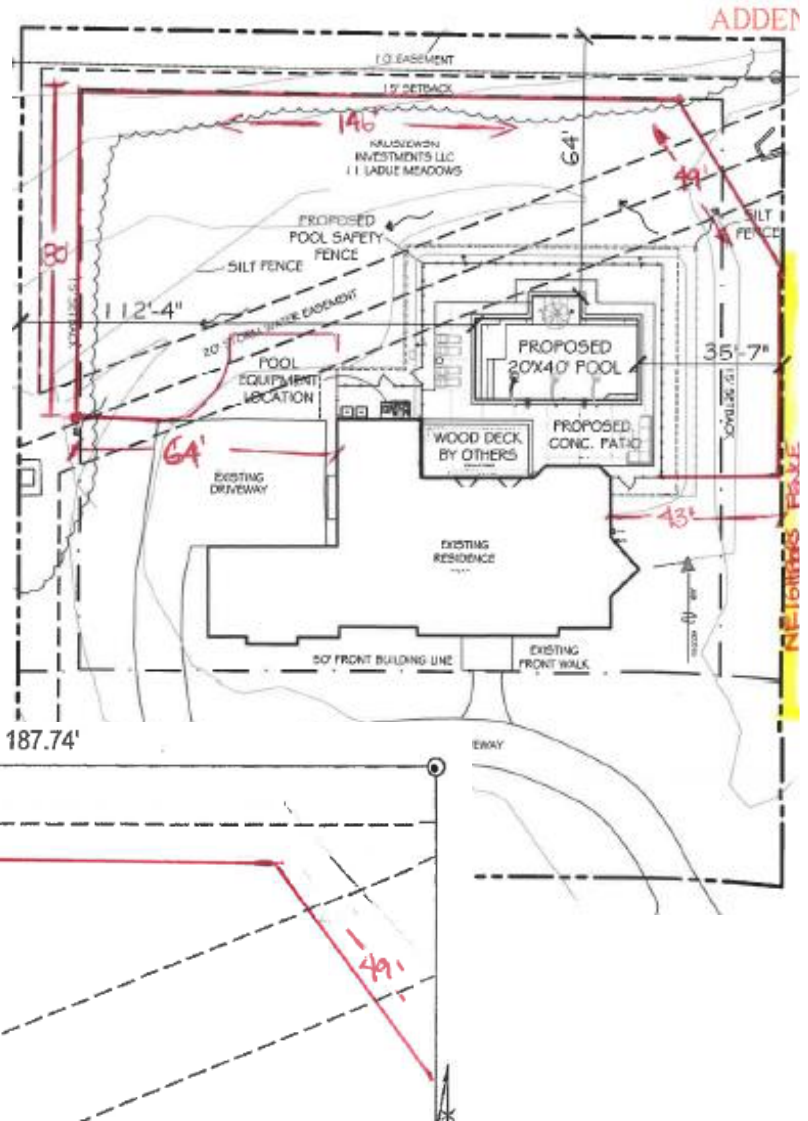
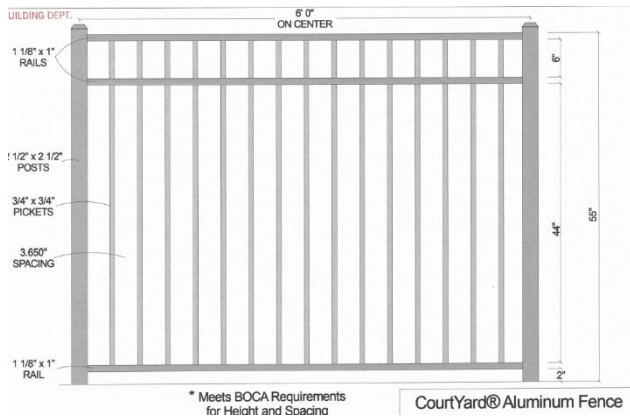


Figure 1: Applicant's revised Site Plan, close-up site plan showing distance from rear property line, and fence detail on the left.



Figure 2: Image from City's GIS showing 15 feet from (red area) rear property line (yellow line) just outside of the easement and existing landscaping, on right and image of measurement with fence placement just beyond the landscaped area.

The Applicants are asking for the 55-inch height to match with the neighbor's fence on the east side of the property, that is also at 54 inches in height. The installation and placing the footing would then account for the 1 inch difference. Along the rear property line there is also a slight slope downward from the road



Figure 3: Image of the area that will angle between the evergreens southeast ward to the neighboring fence and showing height.



Figure 4: Images of the Neighbors fence, at the back of the existing storage shed, it transitions to a wood fence. This application would then angle to avoid the culvert.

COMPREHENSIVE PLAN, ZONING AND DESIGN GUIDELINES ANALYSIS

As discussed in the prior Staff Report, the Comprehensive Plan and Design Guidelines recommending maintaining landscaped vistas and use of decorative fencing in visible public areas. As such the Zoning regulations for fencing along any street frontage allows for staff approval of fencing that is the open, metal design, at 4 feet in height and, in this case, 15 feet from the rear property line. All other fence heights, design, and/or location within the 50 foot setback requires Planning and Zoning Commission approval. The Planning and Zoning Commission has the discretion to approve other fences designs etc. based upon the unique conditions of the location, landscaping, public comments, etc. Please refer to the April 19, 2021 staff report for further information.

The revised location and style of fencing is in keeping with the Zoning Regulations, and Design Guidelines, with the open metal style and setback at 15 feet from the rear property line, along Mosley

Forest Drive. The Planning and Zoning Commission is reviewing this request as it is over 4 feet in height. They are seeking approval for a 55” fence to match up with the neighbor’s fence to the east.

CONCLUSION AND ACTION

The revisions and addition information appear to address the Commission’s concerns from the prior meeting. If the members of the Planning Commission find the Applicant’s reasons for the fence location, height and design sufficient, they can approve it as proposed.

MOTION

The motion for the fence within the setback of Mosley Forest Drive as shown in the enclosed site plan will be in the form of approval, approval with conditions, or deferral. City Council action is not required. The following is an example motion for this application:

“I move to approve the site plan for a 55 inch-tall, open slatted wrought-iron style, aluminum fence to be located 15 feet from the rear property line, within the area equivalent to the front yard setback along Mosley Forest Drive, for the property addressed as 11 Ladue Meadows as discussed within the Staff Report on Application #21-012 for the May 3, 2021, Planning and Zoning Commission meeting” (Modification or revisions may be included by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

- ✕ FENCE
- ⊕ MANHOLE
- L PLATTED LENGTH
- P PLATTED DISTANCE
- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE
- FOUND REBAR
- FOUND IRON PIPE

 $1'' = 30'$ 

MOSLEY FOREST DRIVE

P=N 89°01'00" W 188.00'
M=S 89°08'24" E 187.74'



SHEET 1 OF 2



PO BOX 278
COTTLEVILLE, MO 63338
PHONE: 636.922.1001
Corp # 2005000229
www.CardinalSurveyJing.com

JOB #1909055
FB 533.2
FIELD WORK BY: AJZJSB
DRAWN BY: BSR/MAG
REVIEWED BY:
WILLIAM JACOB CLARK
LS# 2002014101

THIS IS TO CERTIFY THAT ON
SEPTEMBER 6, 2019 A REQUEST
BY ARCH CITY TITLE, OLD
REPUBLIC NATIONAL TITLE
INSURANCE COMPANY & RONALD
KRUSZCZEMSKI WAS MADE FOR A
BOUNDARY SURVEY AND TO
LOCATE THE IMPROVEMENTS ON
THE ABOVE NAMED TRACT AND
THAT THE RESULTS ARE, TO THE
BEST OF MY KNOWLEDGE,
CORRECTLY REPRESENTED
HEREON.





city of CREVE COEUR

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APPLICATION TO PLANNING AND ZONING COMMISSION #21-012: MINOR SITE PLAN FOR A FENCE WITHIN THE FRONT-YARD SETBACK ALONG MOSLEY FOREST DRIVE FOR THE PROPERTY ADDRESSED AS 11 LADUE MEADOWS

FOR THE MEETING OF: Monday, April 19, 2021

SUBJECT PROPERTY LOCATION: 11 Ladue Meadows, zoned A-Single Family Residential

REQUEST: Jordan Kinne, of Custom Design Fence & Deck, on behalf of the homeowner of 11 Ladue Meadows, has submitted an application for a 4.58 foot (55") tall, wrought-iron style fence, approximately 5 feet from the rear property line, within the area equivalent to the front-yard setback along Mosley Forest Dr. The subject property is zoned A Single Family Residential which has a front yard setback of 50 feet.

ADDITIONAL INFORMATION: The City of Creve Coeur's Zoning Ordinance Section 405.640 (C) *Fences Within The Front Yard Section And Along Street Right-Of-Way* states that no fence shall be located within the front yard setback or along street right-of-way, within the area equivalent to the front yard setback of the applicable zoning district, unless approved by site development plan by the Planning and Zoning Commission. Staff may approve a fence within this area if the fence to the side and rear of the home, is setback at least fifteen (15) feet from the property line, no more than four (4) feet in height, and is an open slatted decorative metal fencing. City Council action is not required.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?

Creve Coeur 2030 References

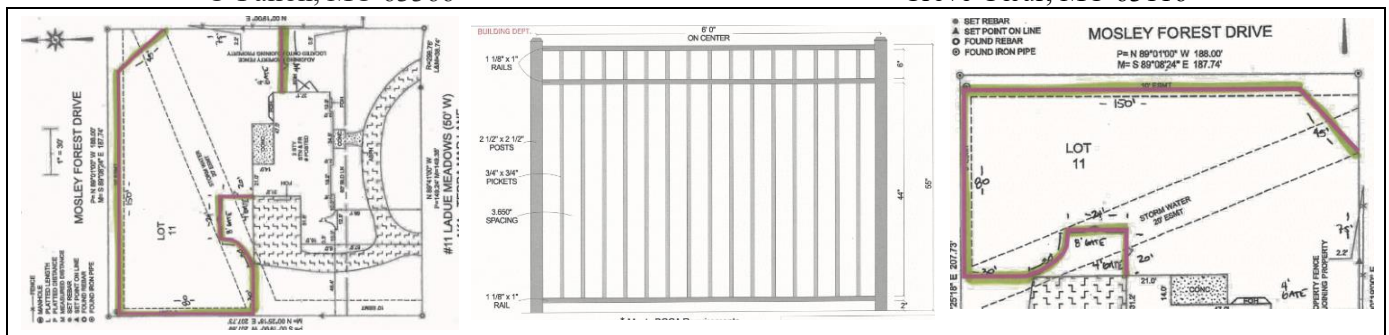
- Estate Neighborhood 2 (ER2)
- Design Guidelines

Zoning Code References

- Section 405.250: A-Single Family Residential
- Section 405.640: Fences and Walls
- Section 405.1080: Site Concept, Site Development, and Minor Site Plan Approval

APPLICANT: Jordan Kinne
Custom Design Fence & Deck
3926 Hwy 79
O'Fallon, MO 63366

PROPERTY OWNER: Ron Kruszewski
Kruszewski Investments LLC
11 Ladue Meadows
Creve Coeur, MO 63116



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: 4/8/2021
ATTACHMENTS: Applicant's Materials received April

Attachment: 21-012.11 Ladue Meadows.Staff Report.4-19-2021 (#21-012: 11 Ladue Meadows Fence)

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Single family residence	A Single Family Residential	Mosley Forest Drive
South	Single family residence	A Single Family Residential	Ladue Meadows
East	Single family residence	A Single Family Residential	NA
West	Single family residence	A Single Family Residential	NA

FENCE PLACEMENT AND DESIGN

The Applicant is seeking to install a 4.58 foot (55") tall, wrought-iron style fence, approximately 5 feet from the rear property line, within the area equivalent to the front-yard setback along Mosley Forest Dr. The fence would be just inside of the existing dense shrubs and not generally visible to those on Mosley Forest Drive.

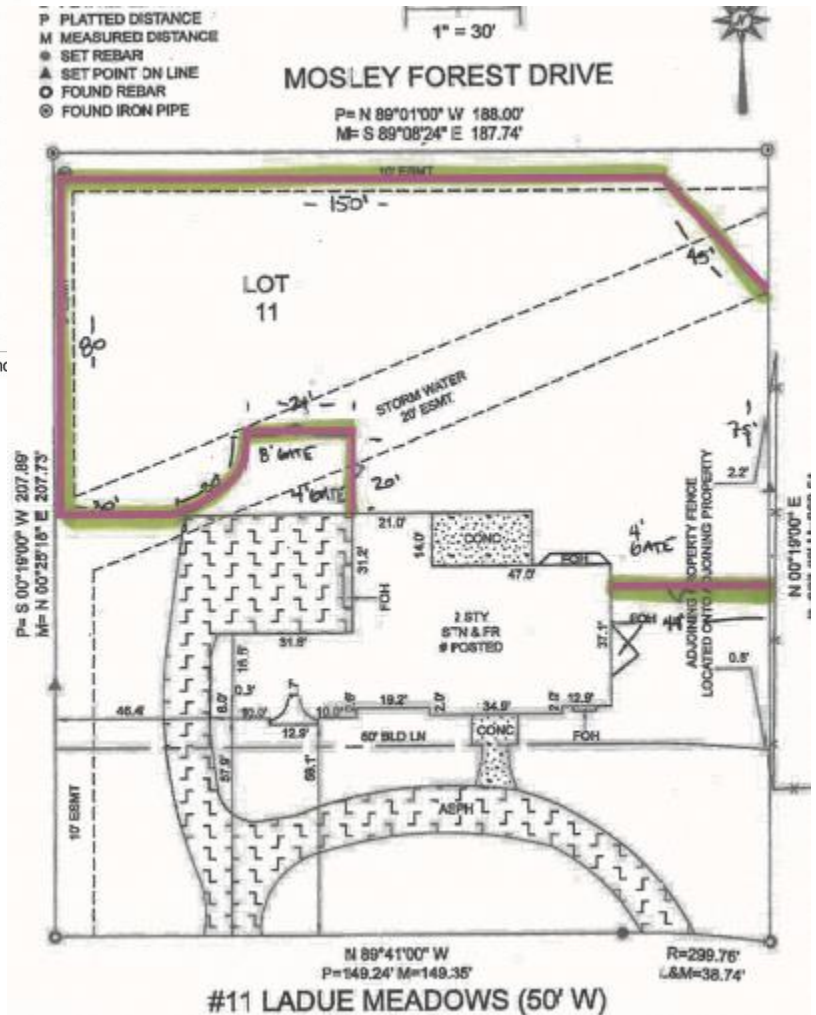
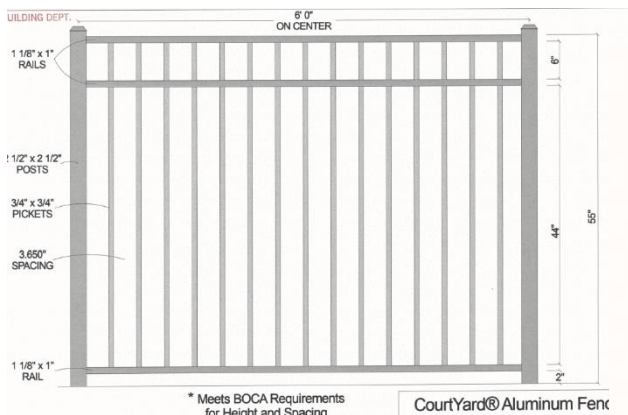


Figure 1: Applicant's Site Plan, and fence detail on the left.

ANALYSIS

The Zoning Code provides standards for evaluating requests for fences within the front setback under Section 405.640 Fences and Walls:

- A. Height Of Fences And Walls. No fence or wall shall exceed six (6) feet in height unless specifically approved by the Planning and Zoning Commission in consideration of a unique screening problem.*
- C. Fences Or Walls Within The Front Yard Section And Along Street Right-Of-Way. A fence may project within the area equivalent to the front yard setback of the applicable zoning district, when clearly to the side or rear of the home, provided that such fence is setback at least fifteen (15) feet from the property line, no more than four (4) feet in height, and is an open slatted decorative metal fencing, similar in style for swimming pool enclosures as provided in Subsection (D).
Walls, entry columns, gates and [other] fence designs within the front yard setback or the area equivalent to the front yard setback shall be subject to site development plan approval in accordance with Section 405.1080.*
- F. The horizontal and vertical support posts must be inside of the fence area or otherwise hidden from both the neighbor's and general public's view. Fences with a shadowbox design shall be considered to hide support posts.*
- G. Fence materials shall be wood or metal style fencing. The design, color and material of the fence shall be complementary or shall match the principal structure on the property. Solid sight-proof, white vinyl fences are prohibited; Vinyl fencing may be permitted provided it maintains a natural wood color and/or dark color or style. Except as otherwise provided herein, raw metal chain link fencing is prohibited for all residential development, but dark coated fencing is allowed.*

The *Creve Coeur 2030 Comprehensive Plan* includes general recommendations for residential neighborhoods to preserve the character and property values of existing neighborhoods (p. 64). The subject property is within the Estate Neighborhood 2 (ER2) where the vision is of large lots with stately homes in a park-like setting. Homes should be architecturally harmonious, located to provide large front lawns and preserve existing trees, and built to a consistent setback from the streets. Streets should terminate in cul-de-sacs or circles to create small, secluded neighborhoods and sidewalks are not necessary. Curvilinear streets can be used to preserve landscape vista.

The Design Guidelines provide further direction for review of fences with the following:

Design Review Guidelines: F. Screening (Fences and Walls)

1. All new sound walls, masonry walls or fences are to be designed to minimize visual monotony through changes in plane, height, material, texture or significant landscape massing.
2. The design of fencing, sound walls, trash enclosures, and similar site elements is to be compatible with the architecture of the main buildings and should use similar materials.
3. All fencing should be designed as an integrated part of the site, rather than as a separate fence, such as a planter wall or continuation of an architectural wall feature.
5. In highly visible public areas where fencing is needed, decorative fencing is encouraged. (p.18-19)

Further, the Design Guidelines recommend the use of natural “green” materials, and discourage the use of synthetic, and highly reflective materials. The style of the fence is consistent with the City’s Design Guidelines in that it is decorative and provides open design. The existing landscaping provides significant screening of the fence, and therefore Staff does not anticipate an issue with this request.

CONCLUSION AND ACTION

If the members of the Planning Commission find the applicant's reasons for the fence location, height and design sufficient, they can approve it as proposed. If the Commission wishes to have the fence further back from the property line between the 50-foot setback and the property line, and a lower height, discussion with the Applicant and a revised motion would be necessary. If the request is denied, the Applicant may construction the fence at the 50-foot setback line.

MOTION

The motion for the fence within the setback of Mosley Forest Drive as shown in the enclosed site plan will be in the form of approval, approval with conditions, or deferral. City Council action is not required. The following is an example motion for this application:

"I move to approve the site plan for a 55 inch-tall, open slatted wrought-iron style, aluminum fence to be located within the rear yard, within the area equivalent to the front yard setback along Mosley Forest Drive, for the property addressed as 11 Ladue Meadows as discussed within the Staff Report on Application #21-012 for the April 19, 2021, Planning and Zoning Commission meeting" (Modification or revisions may be included by preceding motion).

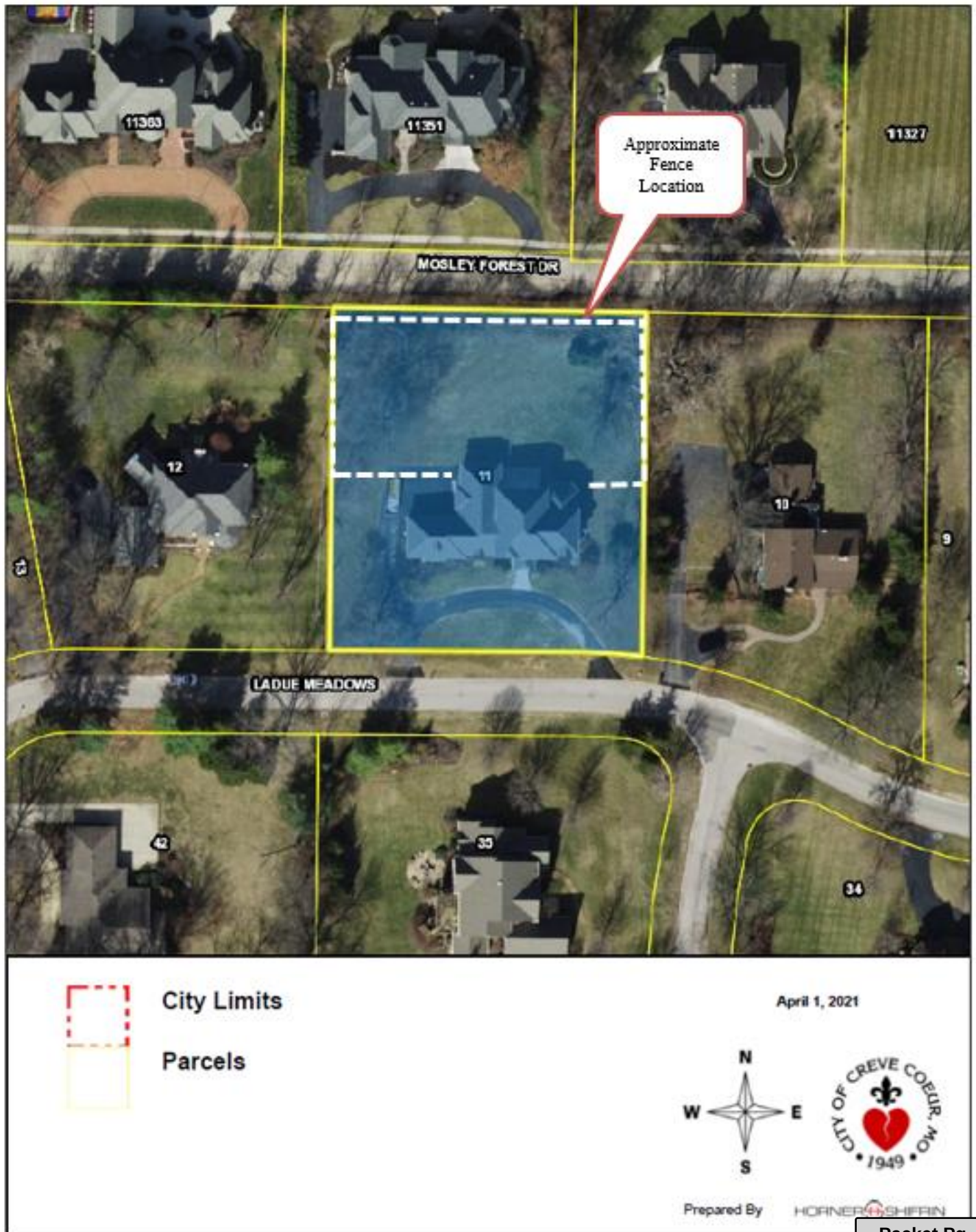
APPENDIX 1: COMPREHENSIVE PLAN

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL MAP



Attachment: 21-012.11 Ladue Meadows.Staff Report.4-19-2021 (#21-012: 11 Ladue Meadows Fence)

APPENDIX 4: SITE PHOTOGRAPHS	Photo Dates: 04/09/2021
	Description: View looking southeast from Mosely Forest at the existing landscaping.
	Description: View looking southwest from Mosely Forest at the existing landscaping at 13 Ladue Meadows that has a similar fence just beyond the landscaping.
	Description: View looking north at the east corner of the home at 11 Ladue Meadows at the neighbors fence that they area adjoining with at 10 Ladue Meadows.

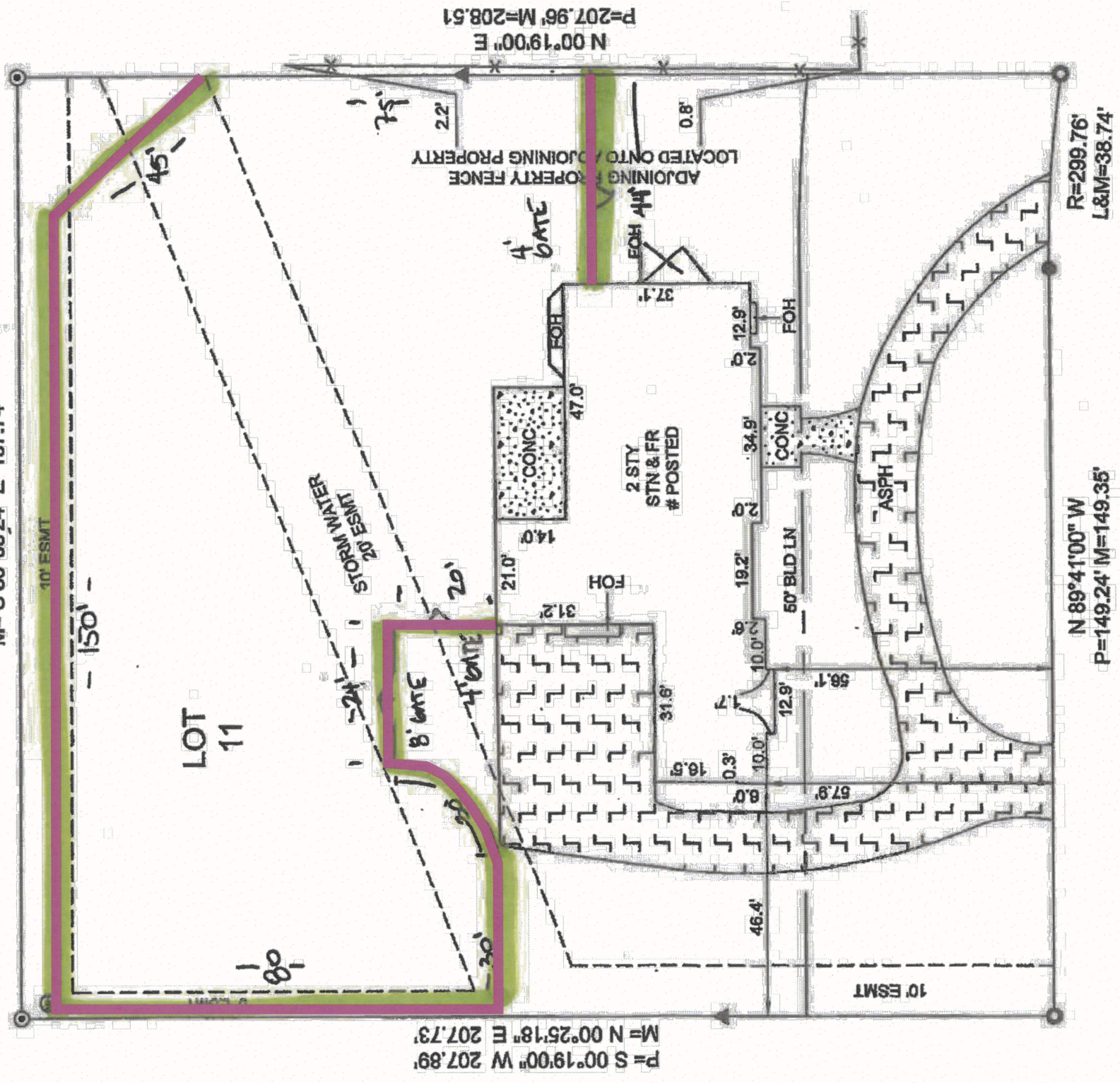
BOUNDARY SURVEY LOT 11 OF LADUE MEADOWS PLAT 2 PB 61 PG 1, ST LOUIS COUNTY, MO

- FENCE
- MANHOLE
- L PLATTED LENGTH
- P PLATTED DISTANCE
- M MEASURED DISTANCE
- SET REBAR
- ▲ SET POINT ON LINE
- FOUND REBAR
- ◎ FOUND IRON PIPE

1" = 30'

MOSLEY FOREST DRIVE

P= N 89°01'00" W 188.00'
M= S 89°08'24" E 187.74'



#11 LADUE MEADOWS (50' W)
AKA - TERRA MAR LANE

SHEET 1 OF 2

Cardinal
Surveying & Mapping
PO BOX 278
COTTLEVILLE, MO 63338
PHONE: 636.922.1001
Corp # 2005000229
www.CardinalSurveying.com

JOB #1909055
FB 533-2
FIELD WORK BY: AJZJSB
DRAWN BY: BSRMAG
REVIEWED BY:
WILLIAM JACOB CLARK
LS# 2002014101

THIS IS TO CERTIFY THAT ON
SEPTEMBER 8, 2019 A REQUEST
BY ARCH CITY TITLE, OLD
REPUBLIC NATIONAL TITLE
INSURANCE COMPANY & RONALD
KRUSZEWSKI WAS MADE FOR A
BOUNDARY SURVEY AND TO
LOCATE THE IMPROVEMENTS ON
THE ABOVE NAMED TRACT AND
THAT THE RESULTS ARE, TO THE
BEST OF MY KNOWLEDGE,
CORRECTLY REPRESENTED
HEREON.

STATE OF MISSOURI
WILLIAM JACOB CLARK
PROFESSIONAL LAND SURVEYOR
NUMBER
PLS 2002014101
9/12/19

DATE: 2-22-2021

PLOT PLAN

KRUSZEWSKI

11 LADUE MEADOWS
CREVE COEUR, MO, 63141

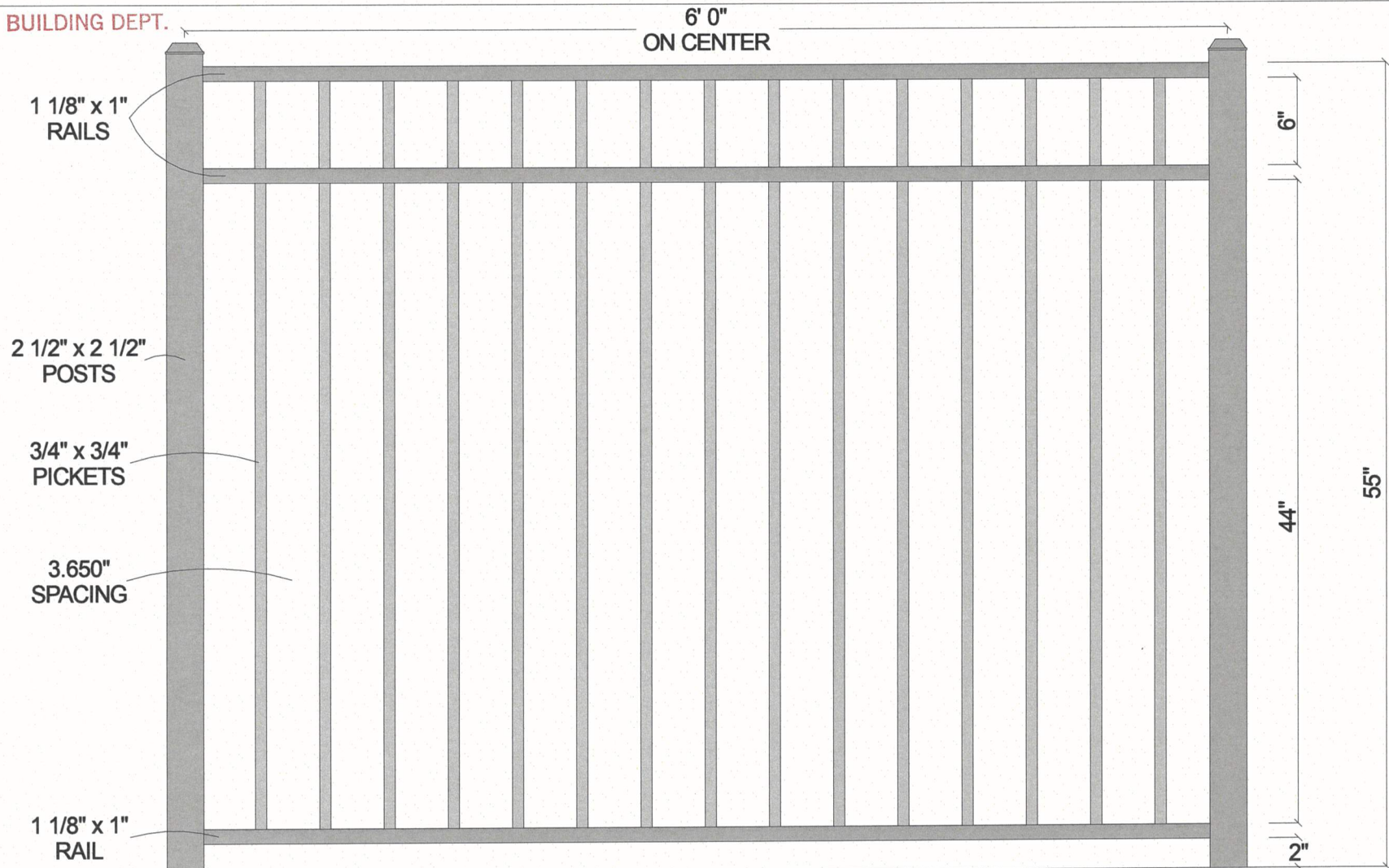
Custom Design FENCE & DECK
3926 HIGHWAY 79 - O'FALLON, MO 63366
P: 636-240-3691 F: 636-379-9532
CDFENCEDECK.COM

RECEIVED
MAR 18 2021
BUILDING DEPT.

1

MAR 18 2021

BUILDING DEPT.



* Meets BOCA Requirements
for Height and Spacing

Post Size	
55" Tall	2 1/2" x 2 1/2" x 7'



Courtyard® Aluminum Fence

Scale: 3/32" : 1"

Date: 4/15/04

Approved By:

Drawn By: J.D.S.

Revised: 4/15/04

1230* (3-Rail Flat Top)

As Shown:

6' x 55" 1230

Drawing Number:

1230Pool

Attachment: Fence Detail (#21-012: 11 Ladue Meadows Fence)

11 LADUE MEADOWS

FENCE PROJECT

KEY ISSUES RESOLUTION

- Q: Does the request integrate with the existing surrounding uses?
- A: Yes, similar to what their neighbor has in terms of placement from the back of the property line and the size of fence and style of fence. Following this slide are examples of what we are trying to do and the issues if we vary from the homeowner's plans.



As you can see to the left, we are looking to put our fence approx. 5 feet from the back of the property line and 20 feet from the edge of the road. Whereas the neighbor has their fence on the back of their property line 15 feet from the edge of the road.

NEIGHBOR'S FENCE



Fence will match height and style of neighbor's fence and will connect to their fence as well to better integrate our project with the surrounding area.

BACK OF 11 LADUE MEADOWS



VISUAL FROM MOSLEY FOREST DRIVE

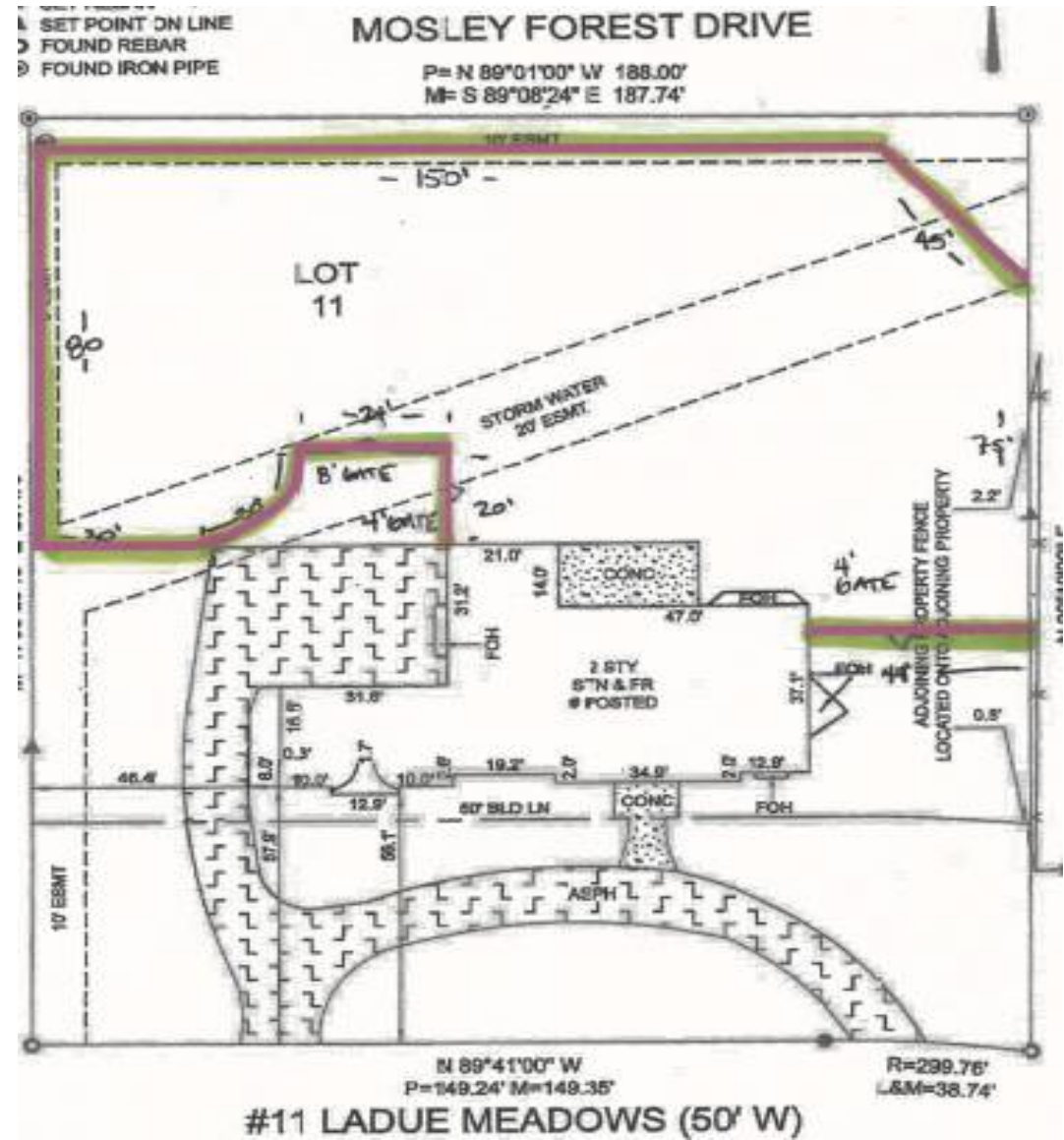
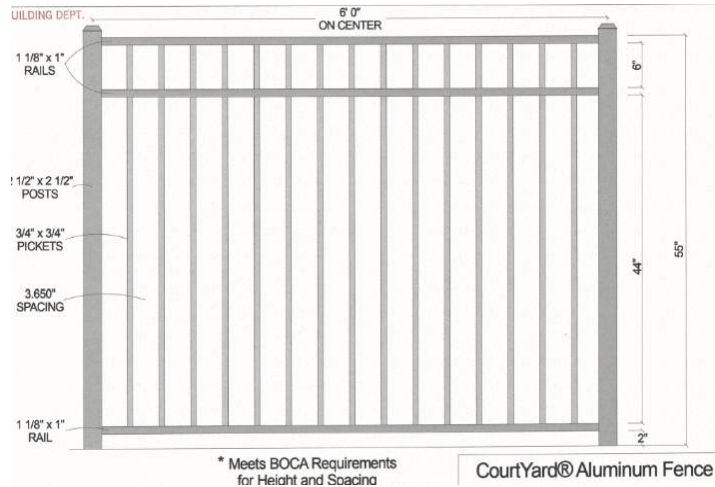


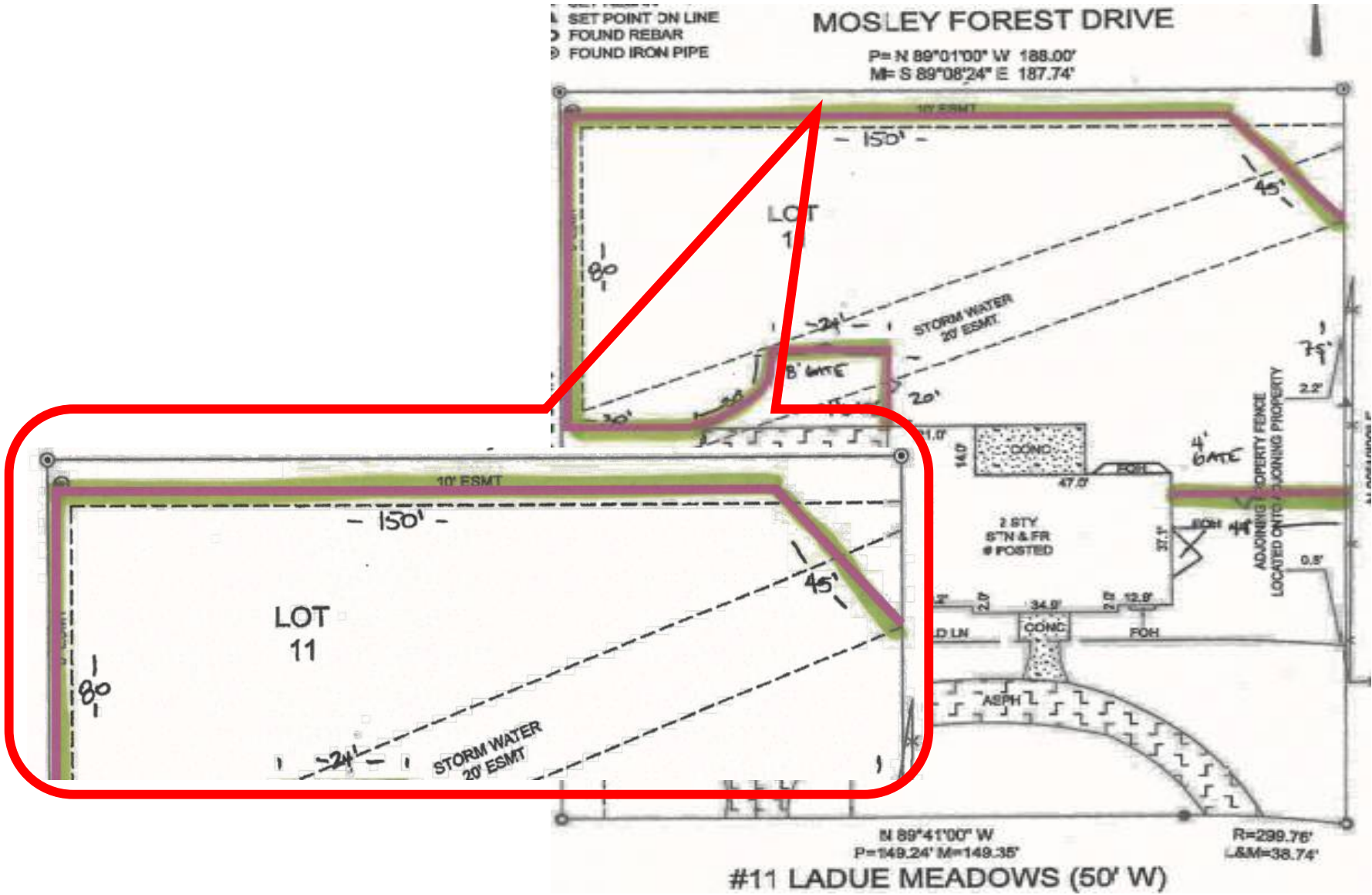
In this picture we have Zach standing 20 feet from the edge of Mosley Forest Drive on the other side of the trees and brush. This conveys a visual as to where the fence will be located from a street view.



**APPLICATION #21-012: MINOR SITE PLAN FOR
A FOR A FENCE WITHIN THE FRONT-YARD
SETBACK ALONG MOSLEY FOREST DRIVE
FOR THE PROPERTY ADDRESSED AS
11 LADUE MEADOWS**

- THE CITY OF CREVE COEUR'S ZONING ORDINANCE SECTION 405.640 (C) FENCES WITHIN THE FRONT YARD SECTION AND ALONG STREET RIGHT-OF-WAY STATES THAT NO FENCE SHALL BE LOCATED WITHIN THE FRONT YARD SETBACK OR ALONG STREET RIGHT-OF-WAY, WITHIN THE AREA EQUIVALENT TO THE FRONT YARD SETBACK OF THE APPLICABLE ZONING DISTRICT, UNLESS APPROVED BY SITE DEVELOPMENT PLAN BY THE PLANNING AND ZONING COMMISSION.
 - STAFF MAY APPROVE A FENCE WITHIN THIS AREA IF THE FENCE TO THE SIDE AND REAR OF THE HOME, IS SETBACK AT LEAST FIFTEEN (15) FEET FROM THE PROPERTY LINE, NO MORE THAN FOUR (4) FEET IN HEIGHT, AND IS AN OPEN SLATTED DECORATIVE METAL FENCING.
- APPLICANTS SEEKING TO INSTALL A 4.58 FOOT (55") TALL, WROUGHT-IRON STYLE FENCE, APPROXIMATELY 5 FEET FROM THE REAR PROPERTY LINE, WITHIN THE AREA EQUIVALENT TO THE FRONT-YARD SETBACK ALONG MOSLEY FOREST DR.





- The property is zoned A Single Family Residential that has a minimum of a 50 foot setback along any road.
- The overall style of the fence is in keeping with the
- The existing vegetation along Mosley Forest Drive would obscure the fence and should not be distracting to those on Mosley Forest Drive.
- All of the homes along Mosley Forest are on the north side of the street, therefore the proposed fence should not create a visual impact along the road.









QUESTIONS?



300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

APPLICATION TO PLANNING AND ZONING COMMISSION
#21-014: APPLICATION FOR A CONDITIONAL USE PERMIT FOR
BEERSAUCE, A CRAFT BEER AND WHISKEY BAR
AT 10453 OLIVE BOULEVARD WITHIN
THE CREVE COEUR PAVILION SHOPPING CENTER

FOR THE MEETING OF: Monday, May 3, 2021

LOCATION: 10453 Olive Boulevard, within Creve Coeur Pavilion Shopping Center development.

REQUEST: Daniel Gustafson, of BeerSauce CCR, LLC has submitted an application for a conditional use permit for a 3,000 square foot craft beer and whiskey bar, with 55 indoor seats and 34 outdoor seats, at 10453 Olive Boulevard, within the Creve Coeur Pavilion Shopping Center, zoned CB-Core Business District.

BeerSauce Shop provides a variety of products pertaining to craft beer, BBQ tools/grills, BBQ sauces and rubs, and small batch and craft beer and whiskey by the pour and BBQ foods.

ADDITIONAL INFORMATION: The subject property is zoned CB, Core Business District. NAICS 722410 Drinking Places (Alcoholic Beverages) are permitted as conditional uses with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission. The multi-tenant retail building was approved by the Planning and Zoning Commission on June 19, 2017. The proposed use will occupy the east side of the building, with Freddy's Frozen Custard and Steakburgers on the west side. There are no proposed changes to the exterior of the building or the site. The Creve Coeur Pavilion Center is 13.34 acres that is a mix of GC and CB Zoning. The location of the proposed restaurant is on the same property as the Panda Express and is zoned CB. This portion of the building has been vacant since construction.

Key Issues:

- Does the request integrate with the existing surrounding uses?
- Does the request further or implement the goals of the Comprehensive Plan?
- Is the request consistent with the required findings for a conditional use permit?

Comprehensive Plan References

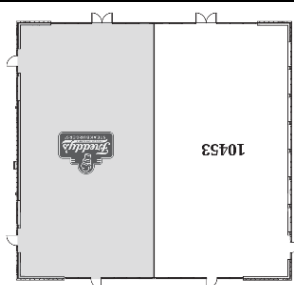
- Mixed-Use Innovation Campus District.
 - 39N Master Plan
 - 39N Old Olive Street Road Great Streets Plan

Zoning Code References

- Section 405.210: Regulation of Uses
- Table A: Permitted and Conditional Uses
- Section 405.370: CB-Core Business District
- Section 405.470: Conditional Uses
- Section 405.820: Required Off-Street Parking Spaces
- Section 405.1070: Conditional Use Permits.
- Section 405.1080: Site Concept, Site Development, and Minor Site Plan Approval

APPLICANT: Daniel Gustafson
BeerSauce CCR
628 Kehrs Mill Ridge Dr.
Ballwin, MO 63011

APPLICANT'S REPRESENTATIVE: Tom Powers
Altus Properties
231 Bemiston Ave., Suite 650
St. Louis, MO 63105



REPORT PREPARED BY: Whitney Kelly, AICP, City Planner
DATE: 4/27/2021
ATTACHMENTS: Applicant's Materials received April 2, 2021

PROJECT DESCRIPTION

BeerSauce CCR is to operate under DBA BeerSauce Shop, provides a variety of products pertaining to craft beer, BBQ tools/grills, BBQ sauces and rubs, and small batch and craft beer and whiskey by the pour and BBQ foods. According to the Applicant, the business will also run three events a week on average including tastings, schools, special releases, trivia nights, etc. They are seeking to fill the 3,000 square foot, vacant space adjacent to Freddy's within the Creve Coeur Pavilion. The proposed hours of operation are 11:00am to 10:00pm Monday through Saturday, and 11:00am to 6:00pm Sunday. The anticipated number of employees at the busiest shift will be 4 employees.

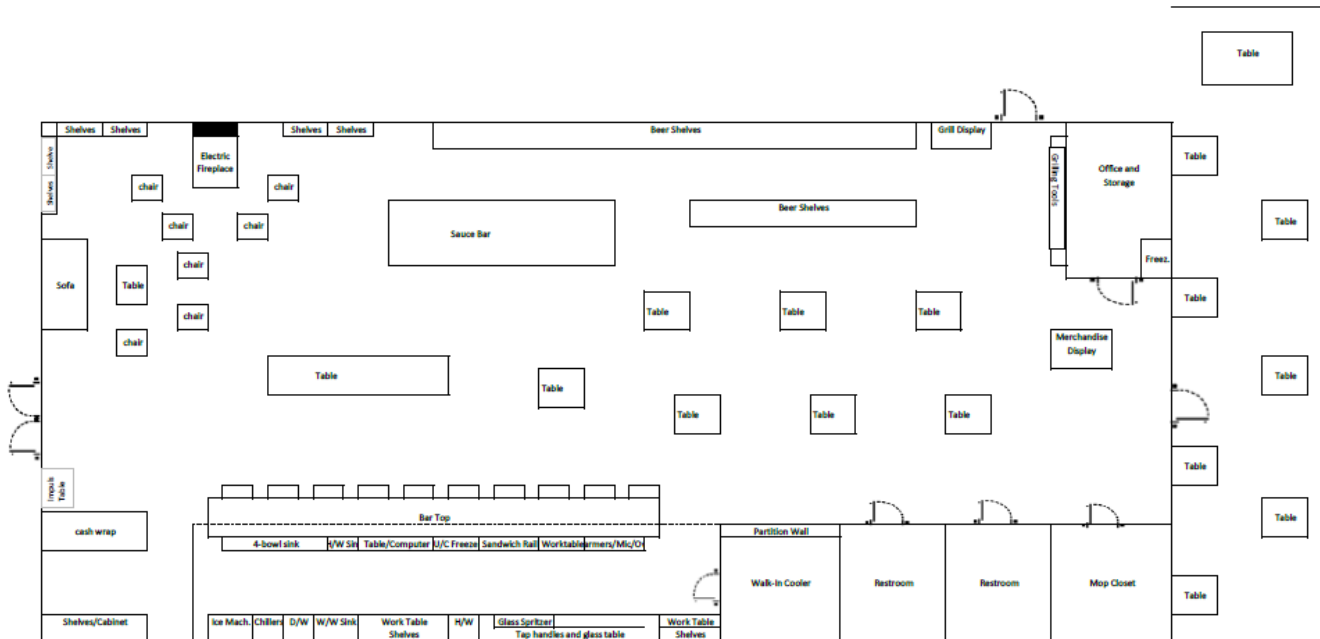


Figure 1: Applicant's Proposed Floor Plan.

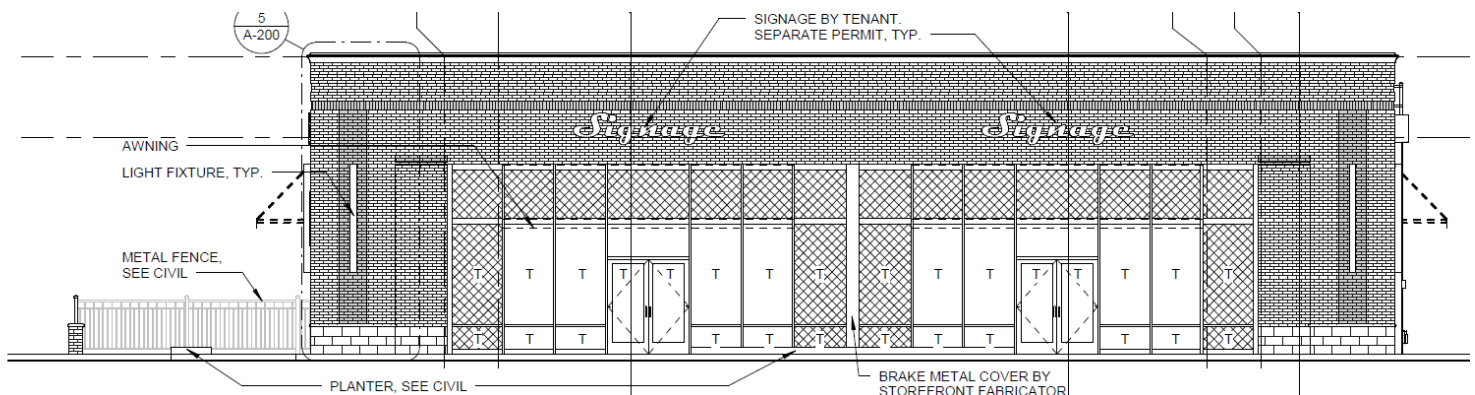


Figure 2: Elevations drawing from 2017 when the building was built. Freddy's Steakhouses took the tenant space on the right. The Applicants are seeking approval to fill the space on the Left side.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Retail/Office:	GC-General Commercial	Old Olive Street Road
South	Monsanto	RO-Research and Office Park District	Olive Boulevard
East	Office	CB-Core Business District	Pavilion Drive
West	Retail	GC-General Commercial	Old Olive Street Road

COMPREHENSIVE PLAN REVIEW

Creve Coeur 2030 Plan

The *Creve Coeur 2030 Plan* includes the overall goal for Placemaking & Community Identity by creating mixed-use, walkable districts (p. 45), and for the long-term Economic Growth & Community Services goal of provide the community services, amenities, and experiences necessary to leverage and capture the changing consumer preferences for more lifestyle centers (p. 47). The subject property is located within the Mixed-Use Innovation Campus District with a vision for a sustainable hub for cutting-edge research, job opportunities, and community amenities that encourages innovation, collaboration, and entrepreneurship in vibrant, mixed-use environment. This district is supported by diverse housing options, active uses, and other community amenities in support of the *39 North Master Plan*. Olive and Lindbergh Boulevard are identified as the primary streets, where a variety of active, office, and residential ground floor uses should be encouraged, establish a front build-to line to encourage a consistent location and orientation of building frontages to Primary Street, and parking should primarily be located in shared facilities, behind buildings. Pedestrian amenities should be provided along the front façade of each building and connect to adjacent buildings and encourage public site amenities, including outdoor dining, plazas, fountains, bicycle parking, “parklets” and other elements to promote district vibrancy (p. 99)

The applicant is filling a space within the retail building and adding outdoor dining along the south facade facing Olive Boulevard, providing interest to the area as was discussed under the review of the retail building. Therefore, the proposal meets with the purpose of the District in as much as this request can.

ZONING REVIEW

NAICS 722410 Drinking Places (Alcoholic Beverages) are permitted as conditional uses with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission in all of the commercial district of the City. The proposed use will occupy the vacant space within the existing building with no changes to the exterior of the building or site.

Parking:

Parking regulations for restaurants are discussed under Section 405.820(F)(5) Required Off-Street Parking Spaces: One (1) parking space per every three (3) seats of maximum occupancy recorded under the conditional use permit plus one (1) parking space per every two hundred fifty (250) square feet of total building floor area plus one (1) parking space per each eight (8) seats in an outdoor seating area. Thus, for this request a total of 46 spaces is required. Shopping centers designed for restaurant, retail uses, and personal service establishments may combine the total parking spaces for each use, less a fifteen percent (15%) reduction in the total number of parking spaces required, per Section 405.820(B)(1). Below is the parking table for the entire center:

Tenant	Use	Size (sq. ft.)	Parking Regulations	# of spaces
St. Louis Bread Co.*	Restaurant	4,563 (+ 156 maximum occupancy)	1/3 seats in C.U.P., + 1/250 sq. ft.	64
Big Frog T-shirts (now vacant)	Retail	1,059	4/1000 sq. ft.	5
Great Clips	Hair Salon	968	4/1000 sq. ft.	4
Sensory Solutions	Office	4,554	4/1000 sq. ft.	19
IFG Advisors	Office	2,375	4/1000 sq. ft.	10
Lindamood-Bell	Office	2,018	4/1000 sq. ft.	8
AMC Theater**	Theater	39,799 (2,150 seats)	1 space per 5 seats	430
My Salon Suites (Former Sweet Tomato's)	Salon	5,224	4/1000 sq. ft.	21

Ideal Image	Office	3,744	4/1000 sq. ft.	15
Victor Ho Nails & Spa	Nail Salon	1,900	4/1000 sq. ft.	8
Moe's Southwest Grill (now vacant)	Restaurant	4,133 (+90 indoor seats)	1/3 seats in C.U.P., + 1/250 sq. ft.	47
Seoul Garden	Restaurant	2,925 (+65 indoor seats)	1/3 seats in C.U.P. + 1/250 sq. ft.	34
Panda Express	Restaurant	2,525 (+58 indoor seats, 16 outdoor seats)	1/3 seats in C.U.P., + 1/250 sq. ft.	33
Proposed BeerSauce Shop	Bar	3,000 square feet (55 indoor seats, 34 outdoor seats)	1/3 seats in C.U.P., 1/8 outdoor seats, + 1/250 sq. ft.	35
Freddy's Frozen Custard & Steakburgers	Restaurant	3,000 square feet (+84 indoor seats, 42 outdoor seats)	1/3 seats in C.U.P., 1/8 outdoor seats, + 1/250 sq. ft.	46
California Pizza Kitchen*	Restaurant	5,169	1/3 seats in C.U.P., 1/8 outdoor seats, + 1/250 sq. ft.	108
Stir Crazy (now vacant)	Restaurant	5,930 (+235 for the restaurant, 32 outdoor seats)	1/3 seats in C.U.P., 1/8 outdoor seats, + 1/250 sq. ft.	80
			Sub-total:	967
			Minus 15% Reduction for Retail Center per Section 405.820(B)(1):	80
			Total Required	886
			Total Available On-site	970
			Available Parking:	84

Note: * Original CUP issued prior to 2000 did not include seating count. The number provided here is based upon a prior analysis.

Prior to mid-2000, restaurant parking was based on square footage of the space at 1 per 50 square feet, plus 1 space per 8 outdoor seats. For those restaurants indicated by an * above, seating information is based on the maximum occupancy load of the original CUP when provided. For example, St. Louis Bread Company, Ordinance # 2106 indicated a maximum occupancy of 156, where seating could be indoors or outdoors, provided that the total number of seats did not exceed the maximum occupancy. For those where the City does not have a record of the existing number of seating, a prior analysis from a request in 2005 included a total number of parking spaces for each use. However, Staff cannot verify how this number was created.

** AMC Theater Seat Count is based on original Conditional Use Permit ("CUP") Issued to AMC Theater during building construction in 1997. At that time, the City of Creve Coeur approved 2,150 seats within the 12-screen theater. As discussed in prior staff report, the AMC renovated the theater in 2018 without revising the CUP reducing the total seat count to 777 seats, which would have a parking count of 156 spaces, thereby reducing the total required parking for the entire development to 700 spaces, and a surplus of parking of 314 spaces.

Therefore, Staff does not anticipate a parking issue with this use.

RECOMMENDED CONDITIONS FOR APPROVAL

Based on the above analysis, the request for a conditional use permit meets all of the requirements, of the Comprehensive Plan and Zoning Ordinances. Staff recommends approval subject to the conditions below which are included in the draft ordinance:

1. The Conditional Use Permit shall be for the operation of a 3,000 square foot drinking places (alcoholic beverages) establishment at 10453 Olive Boulevard within the Creve Coeur Pavilion Shopping Center.
2. Maximum seating permitted is limited to 55 indoor seats and 34 outdoor seats. The Zoning Administrator may authorize additional outdoor seating, based up review of an outdoor seating plan to ensure all relevant Zoning and Building Codes are adequately addressed.
3. Hours of operation shall be 11:00 a.m. to 10:00 p.m., Monday through Saturday, and 11:00 a.m. to 6:00 p.m. Sunday. Additional business hours may be permitted with the Zoning Administrator's approval including, but not limited to, the catering of special events.
4. Employee parking, delivery and company vehicles shall be parked interior to the site and as far from the public right-of-way as possible.
5. Outdoor speakers may be used in the patio area only and shall not produce any sound exceeding 60dB at a straight-line distance of 100 feet or greater.
6. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code.
7. Any mechanical equipment installed for the site shall be properly screened with approved materials.
8. Any future enlargement, extension, expansion, or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
9. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
10. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained, and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
11. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

ACTION

If the Planning and Zoning Commission finds the attached draft conditional use permit ordinance to be in conformance with the purposes and regulations of the Comprehensive Plan and Zoning Code, it may vote on a recommendation to the City Council. Any changes to the draft ordinance should be discussed and made by separate actions.

MOTION

The following is an example of an appropriate motion for this application:

“I move to recommend approval of a Conditional Use Permit for the BeerSauce, drinking establishment located at 10453 Olive Boulevard, within the Creve Coeur Pavilion Shopping Center, subject to the conditions discussed in the Staff Report and Draft Ordinance for the meeting of May 3, 2021” (conditions may be added, eliminated, or modified by preceding motion).

APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO

Creve Coeur Pavilion



APPENDIX 4: SITE PHOTOGRAPHS

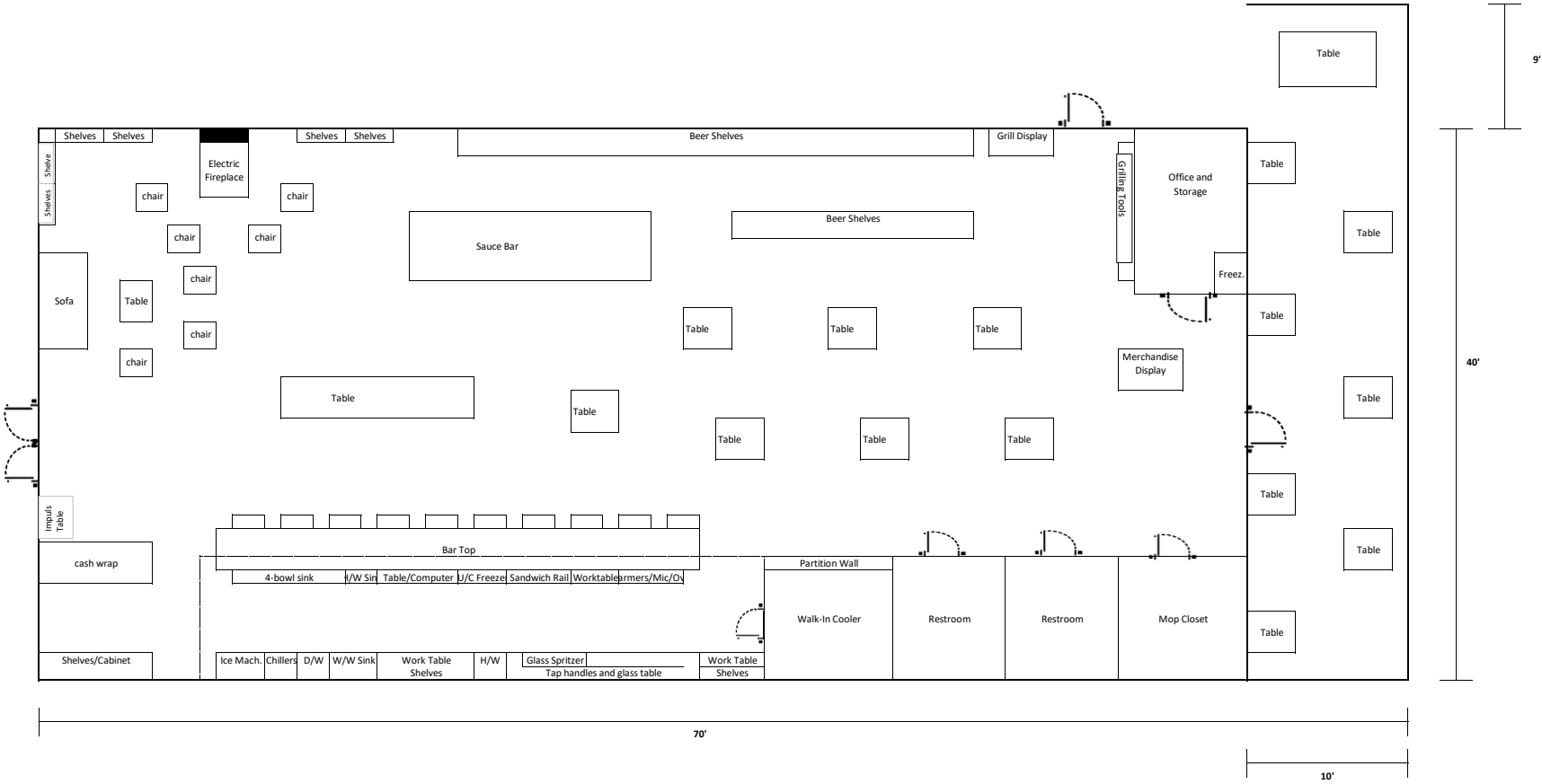
Photo Date: 4/29/2021



Description: View looking southeast from the internal parking lot at the existing tenant space



Description: View looking west of the patio area on the south side of the building.



CREVE COUER PAVILION MULTI-TENANT RETAIL BUILDING

CREVE COUER, MO



GENERAL NOTES

THESE DOCUMENTS SHALL INCLUDE ALL PROVISIONS CALLED OUT IN THE 2007 AIA DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION"

CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE TO PLANS, SPECIFICATIONS, APPLICABLE BUILDING CODES, CITY ORDINANCES, UTILITY PROVIDER REQUIREMENTS AND SIMILAR STANDARDS AS A MINIMUM STANDARD REQUIREMENT

SEPARATE PERMITS:
PLUMBING, MECHANICAL (HVAC, SMOKE REMOVAL, ETC.), ELECTRICAL, SPRINKLERS (ALTERATIONS TO EXISTING SYSTEM, IF ANY), ALARMS (MANUAL OR AUTOMATIC)

CONTRACTOR WILL VERIFY AND FAMILIARIZE ITSELF WITH ALL EXISTING CONDITIONS PRIOR TO PLACING BID.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY THE DESIGN PROFESSIONAL OF ALL DISCREPANCIES IF ANY, FOUND PRIOR TO PLACEMENT OF ANY COMPONENTS.

THE CONTRACTOR WILL TAKE ALL NECESSARY PRECAUTIONS INCLUDING THE BUILDING AND MAINTENANCE OF DUST TIGHT PARTITIONS, DAILY VACUUMING, SWEEPING, AND PROVISION OF CLEAN FLOOR MATS AT THE PROJECT ENTRANCES, TO PREVENT THE INFILTRATION OF DIRT AND DUST FROM THE CONSTRUCTION AREAS INTO THE OWNER OCCUPIED AREAS.

KEEP CONSTRUCTION AREAS FREE FROM DEBRIS AT ALL TIMES.

FURNISH AND INSTALL ALL MATERIALS SHOWN ON DRAWING AND SPECIFICATIONS UNLESS OTHERWISE INDICATED.

WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC., ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS, ETC., UNLESS NOTED OTHERWISE. AFTER REMOVAL, FLOORS, WALLS, AND CEILINGS SHALL BE FINISHED TO MATCH ADJOINING SURFACES.

COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS TO ELIMINATE CONFLICTS AND/OR INTERFERENCES. THE CONTRACTOR SHALL PROVIDE ALL OFFSETS, FITTINGS, TRANSITIONS, EXTENSIONS, ETC., REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM.

MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS INDICATED IN DRAWINGS ARE DIAGRAMMATIC AND SHOW ONLY THE GENERAL ARRANGEMENT OF EACH SYSTEM. CONTRACTOR MUST CAREFULLY INVESTIGATE STRUCTURAL AND FINISH CONDITIONS AFFECTING ALL WORK, FURNISHING SUCH FITTINGS, TRAPS, VALVES, BOXES, ACCESSORIES, ETC., AS MAY BE REQUIRED, INCLUDING CONNECTIONS TO EXISTING WORK. ALL OFFSETS, FITTINGS, TRANSITIONS, EXTENSIONS, ETC., REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM SHALL BE PROVIDED AT NO ADDITIONAL COST.

ALL EXISTING DUCTWORK, ELECTRICAL OR MECHANICAL PIPING, CABLE TRAYS, ETC., ARE NOT NECESSARILY SHOWN ON DRAWINGS. BEFORE CONTRACTOR PLACES A BID IT IS IMPERATIVE THEY FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING EQUIPMENT, DUCTWORK, PIPING, ETC. IT WILL BE PART OF THE CONTRACTOR'S RESPONSIBILITY AND THE CONTRACTOR WILL BEAR THE COST TO DESIGN AND RELOCATE ANY EXISTING UTILITIES WHICH WILL INTERFERE WITH THE CONTRACTOR'S ABILITY TO INSTALL ALL NEW OR RELOCATED WORK IN THIS PROJECT.

CONTRACTOR SHALL NOT INSTALL CONDUIT, PIPING, LIGHTING, OR OTHER OBSTRUCTIONS UNDER OR ADJACENT TO HVAC EQUIPMENT THAT WILL ELIMINATE OR OBSTRUCT ACCESS TO COILS, MOTORS, VALVES, SWITCHES, PANELS, ETC.

BEFORE THE CONTRACTOR BEGINS WORK, CONTRACTOR WILL RECORD ANY EXISTING SYSTEM INFORMATION SUCH AS TEMPERATURE, FLOW RATE, PRESSURE, CURRENT, VOLTAGE, OR ANY OTHER INFORMATION NECESSARY FOR CONTRACTOR TO RETURN THE AFFECTED SYSTEM TO ORIGINAL OPERATING CONDITION. UNLESS NOTED OTHERWISE IT IS ASSUMED THAT ALL SYSTEMS (HVAC, ELECTRICAL, PLUMBING, ETC.) ARE WORKING PROPERLY IN EVERY MANNER AT THE BEGINNING OF THE PROJECT. THE CONTRACTOR'S RECORDED MEASUREMENTS MUST BE SUBMITTED TO A DESIGN PROFESSIONAL FOR REVIEW AND ACCEPTANCE BEFORE ANY DEMOLITION OR OTHER RELATED WORK CAN PROCEED.

THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING ACCESS DOORS TO CONSTRUCTION AREAS, EXISTING MECHANICAL AND ELECTRICAL AREAS, ASSIGNED STORAGE AREAS, EQUIPMENT ACCESS AREAS, ETC. DOORS MUST BE RESTORED TO THE CONDITION ENCOUNTERED AT BEGINNING OF PROJECT. THIS INCLUDES DOOR REPLACEMENT, HARDWARE REPLACEMENT, HARDWARE REPAIR, DOOR REPAIR, ETC.

GENERAL DEMOLITION NOTES

SEE THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR THE DEMOLITION OF MECHANICAL, ELECTRICAL AND PLUMBING ITEMS.

OWNER TO HAVE FIRST SALVAGE RIGHTS ON ALL ITEMS. GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF ALL ITEMS NOT TO BE REUSED IN PROJECT.

WHEREVER ANY DEMOLITION OCCURS, THE REMAINING FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED AS REQUIRED TO MATCH CONTIGUOUS SURFACES.

REMOVE ALL EXISTING FLOORING IN AREAS SCHEDULED TO RECEIVE NEW FLOORING. IF SCHEDULED, COMMENCEMENT OF FLOORING WORK BY CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATA.

COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ELSEWHERE IN DRAWINGS. CARE IS TO BE TAKEN TO AVOID UNDUE DAMAGE TO ADJACENT AREAS AND SURFACES.

NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE DESIGN PROFESSIONAL.

DIMENSIONS

DRAWING DIMENSIONS GOVERN OVER SCALE. VERIFY ALL ROUGH OPENING DIMENSIONS FOR SELECTED DOORS, WINDOWS AND MECHANICAL REQUIREMENTS BEFORE CONSTRUCTION BEGINS AND BEFORE WINDOWS, DOORS AND EQUIPMENT ARE ORDERED.

2-EXISTING CONDITIONS

PROPERLY SHORE, BRACE, AND DE-WATER EXCAVATIONS WHERE REQUIRED.

CONTRACTOR SHALL VERIFY THE ALLOWABLE BEARING PRESSURE CONDITION OF SUBSOIL. IF THE BEARING PRESSURE IS FOUND TO BE LESS THAN ASSUMED NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.

WHEN DEMOLITION IS REQUIRED, REMOVE AND DISPOSE OF MATERIAL PROPERLY.

UTILITY WORK THAT WILL REQUIRE A SHUTDOWN OF EXISTING SERVICE WILL BE SCHEDULED WITH THE OWNER AT NO ADDITIONAL COSTS TO THE OWNER.

FINAL GRADING SHOULD FOLLOW GRADING PLAN IF DEPICTED. WHEN NO GRADING PLAN IS PROVIDED, FINAL GRADERS TO FOLLOW THE CONTOURS OF EXISTING SURROUNDING GRADING WHERE POSSIBLE.

ALL GRADES TO SLOPE AWAY FROM FOUNDATION A MINIMUM OF 1" FALL PER FOOT FOR A DISTANCE OF 8 FEET OR TO A SWALE. USE CONCRETE SPLASH BLOCK OR DRAIN PIPE AT EACH DOWNPOUT TO DIRECT RUN-OFF AWAY FROM FOUNDATION.

PROVIDE TERMITE PROTECTION AS REQUIRED AND REMOVE ALL WOOD CONSTRUCTION MATERIALS FROM THE EXCAVATION NEAR THE STRUCTURE.

UNIT PAVIO PAVERS (IF REQUIRED) SHALL BE BELGIARD "HOLLAND STONE" OR EQUAL, 4"X8" PAVERS IN A 1" SETTING BED.

CARE SHOULD BE TAKEN AROUND EXISTING LANDSCAPING TO NOT DISTURB ROOT ZONES AND DRIP LINES. ANY EXISTING LANDSCAPING THAT INTERFERES WITH CONSTRUCTION SHOULD BE CAREFULLY REMOVED FOR REPLANTING AT THE OWNERS DISCRETION. IF THE PLANTS ARE DAMAGED DURING REMOVAL OR CANNOT OTHERWISE BE REPLANTED, THEY SHOULD BE REPLACED WITH NEW PLANTS OF IDENTICAL SPECIES.

3-CONCRETE

(SEE STRUCTURAL)

4-MASONRY

FINAL BRICK SELECTION TO BE APPROVED BY ARCHITECT ON 4'X4' MIN MCK-UP PANEL.

- ARCHITECTURAL CAST STONE
- A. ARCHITECTURAL CONCRETE PRODUCT MANUFACTURED TO SIMULATE APPEARANCE OF NATURAL LIMESTONE, COMPLYING WITH ASTM C 1394.
- B. UNLESS OTHERWISE INDICATED ON DRAWINGS, PROVIDE THE FOLLOWING SHAPES:
1. WASH OR SLOPE OF 1:12 ON EXTERIOR HORIZONTAL SURFACES.
 2. DRIPS ON PROJECTING COMPONENTS, WHEREVER POSSIBLE.
 3. RAISED FILLETS AT BACK OF SILLS AND AT ENDS TO BE BUILT IN.
- C. PROVIDE REINFORCEMENT AS REQUIRED TO WITHSTAND HANDLING AND STRUCTURAL STRESSES, COMPLY WITH ACI 318.

MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES. TIES SHALL BE SPACED NOT MORE THAN 32" ON CENTER HORIZONTALLY AND NOT MORE THAN 16" ON CENTER VERTICALLY.

UNLESS OTHERWISE NOTED, ALL MASONRY OVER WALL OPENINGS SHALL BE SUPPORTED WITH ONE STEEL ANGLE FOR EACH 4" THICKNESS OF MASONRY SUPPORTED AS FOLLOWS WITH LONGER LEG OF ANGLE POSITIONED VERTICALLY. SEE STRUCTURAL.

ADJUSTABLE MASONRY VENEER ANCHORS: HECKMANN, POS-171E, SIZE AS REQUIRED. INSTALL WITH RODENHOUSE THERMAL-GRP WASHERS 2" DIAMETER, SPACE ANCHORS MAX 16" VERTICALLY AND 22" HORIZONTALLY WITH ADDITIONAL ANCHORS AT OPENINGS AND PERIMETER, MINIMUM 1 ANCHOR PER 2.67SF OF WALL.

FLASHINGS: YORK, 304 SS OR EQUAL FROM STS COATINGS, ILLINOIS PRODUCTS, TK PRODUCTS. INSTALL WITH INSULATION MANUFACTURER'S RECOMMENDED TAPE AT CONTINUOUS INSULATION CONDITIONS AND FLASHING MANUFACTURER'S RECOMMENDED TERMINATION BAR AT OTHER MATERIAL TRANSITIONS.

CAVITY DRAINAGE: MORTAR NET OR EQUAL FROM ADVANCED BUILDING PRODUCTS, CAYCLEAR, HECKMANN.

WEEPS: CELLULAR PLASTIC, MORTARNET; CELL VENT OR EQUAL. SPACE WEEPS AT 24" O.C. MAX AT FIRST COURSE ABOVE FLASHING.

5-STEEL

(SEE STRUCTURAL)

6-ROUGH CARPENTRY

(SEE STRUCTURAL)

7-THERMAL & MOISTURE PROTECTION

INSPECT ALL SURFACES TO RECEIVE ROOFING.

NOTE: IF THERE IS ANY WORK TO BE DONE ON EXISTING ROOFS, SUCH AS ROOF PENETRATIONS OR STANDS, OR ANYTHING THAT DAMAGES THE INTEGRITY OF THE ROOF, THIS WORK MUST BE DONE BY A CONTRACTOR LICENSED AND APPROVED BY THE MEMBRANE MANUFACTURER. DO NOT VOID OR INTERFERE WITH EXISTING ROOF WARRANTY.

INSTALL MOISTURE BARRIER BEHIND EXTERIOR WALL FINISHES, TYPICAL DUPONT TYVEK OR EQUAL, INSTALL IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

TAKE SPECIAL CARE TO PROVIDE MOISTURE BARRIER, APPROPRIATE FLASHINGS AND ACCESSORIES AS REQUIRED BY MOISTURE BARRIER MANUFACTURER AT ALL OPENINGS IN EXTERIOR WALLS.

INSTALL ASTM D1975 22 MIL SHEET UNDER SHINGLES AT EAVES (TO 3'-0" MIN. FROM EAVE EDGES) AND AT VALLEYS (TO 3'-0" EACH SIDE) REGARDLESS OF SLOPE.

FLEXIBLE SHEET MEMBRANE ROOFING SYSTEM (WHERE INDICATED)

FURNISH AND INSTALL FIRESTONE TPO SINGLE-PLY MEMBRANE ROOFING SYSTEM OR EQUAL PER MANUFACTURER RECOMMENDATIONS & INSTALLATION INSTRUCTIONS.

THE OWNER REQUIRES THAT THE ROOF HAVE THE SYSTEM SUPPLIER'S STANDARD WRITTEN 15-YEAR LIMITED WARRANTY. AFTER INSTALLATION, A MANUFACTURER'S REPRESENTATIVE SHALL INSPECT THE ROOFING SYSTEM FOR WARRANTY ISSUANCE. UPON ACCEPTANCE, THE WARRANTY SHALL BE PROMPTLY ISSUED.

MEMBRANE TO BE FASTENED PER MANUFACTURER'S RECOMMENDATION UNLESS OTHERWISE NOTED. FIRE RESISTANCE OF THE ROOFING SYSTEM SHALL MEET UL CLASS A. ALL PACKAGING OF MEMBRANE AND INSULATION SHALL BEAR UL CLASS A LABEL.

THE ROOF INSULATION SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S MOST RECENT PUBLISHED SPECIFICATIONS. BOARD INSULATION SHALL BE THE MINIMUM REQUIRED BY THE MANUFACTURER, AND SHALL MEET THE MINIMUM ENERGY CODE AND WARRANTY REQUIREMENTS.

PROTECT ALL INSTALLED ROOF SYSTEMS FROM TRAFFIC DURING CONSTRUCTION.

INSULATION

UNLESS OTHERWISE NOTED ON DRAWINGS PROVIDE:

- MINIMUM R-19 INSULATION IN ALL EXTERIOR WALLS.
- MINIMUM R-38 INSULATION IN ALL ATTICS AND CATHEDRAL CEILINGS.
- MINIMUM R-19 INSULATION IN ALL FLOORS ADJACENT TO THE EXTERIOR OR UNHEATED SPACES.
- MINIMUM R-19 RIGID INSULATION ON ALL "FLAT" ROOFS WITH MEMBRANE ROOFING.

NOT ALL INSULATION CONDITIONS ARE SHOWN ON DRAWINGS. THEREFORE INSULATION INSTALLER MUST COORDINATE WITH MECHANICAL CONTRACTOR TO VERIFY BUILDING ENVELOPE BOUNDARY AND ACCOMMODATE REQUIRED COMBUSTION AIR AND EXHAUST. DO NOT INSTALL THERMAL INSULATION ON SURFACES THAT DO NOT ENCLOSE CONDITIONED SPACE. INSTALL ACOUSTIC INSULATION ONLY ON SURFACES INDICATED TO RECEIVE IT AND OTHERWISE ON ALL FRAMED PARTITIONS COMMON BETWEEN DWELLING UNITS.

SEALANT/CAULKING

CAULK AND SEAL AT ALL WINDOWS, EXTERIOR DOORS, VENTS, PIPE PENETRATIONS, BOTTOM PLATES AND AROUND ALL ELECTRICAL BOXES MOUNTED IN EXTERIOR WALLS.

CORNICES FASCIA: METAL: ERA CREATIVE DESIGN CORNICE FASCIA, .803" ALUMINUM, KYNAR 500 COATED.

SINGLE-PLY MEMBRANE: CARULUS SYNTECT/RESTONE/VERISCO, 60 MIL WHITE TPO ASTM D 6878.

ROOF INSULATION: POLYISOCYANURATE ASTM C 1289, TYPE B, CLASS I, GRADE 2 WITH FELT OR GLASS MAT FACES ON BOTH MAJOR SURFACES. MECHANICALLY ATTACH FIRST LAYER AS RECOMMENDED BY MANUFACTURER, ADHERE SUBSEQUENT LAYERS AS RECOMMENDED BY MANUFACTURER. INSTALL FLEXIBLE WALKWAYS AS RECOMMENDED BY MANUFACTURER.

COVER BOARD: ASTM C 1278/C 1278M, 12" THICK FIBER REINFORCED WATER-RESISTANT GYPSUM, FULLY ADHERED.

CONTINUOUS WALL INSULATION: JOHNS MANVILLE; AP FOL OR DOW; THERMAX CL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

PARAPET SHEATHING: GLASS MAT GYPSUM SHEATHING, ASTM C 1177/1177 M, GEORGIA-PACIFIC; DENS DECK OR EQUAL.

FOUNDATION INSULATION: EXTRUDED POLYSTYRENE, ASTM C 578, TYPE IV.

8-DOORS & WINDOWS

STOREFRONT FRAMING: PROVIDE KAWNEER 451 TCG IN 2" AND 4.5" FACE DIMENSIONS AS INDICATED. FINISH TO BE AAMA 2604 ORGANIC PAINT, COLOR AS INDICATED.

GLAZING: LOW-E CLEAR INSULATING GLASS, 1" THICK, OUTBOARD LITE - PPG, CLEAR SOLARBAN 60 OR EQUAL. INTERSPACE - AIR. INBOARD LITE - PPG, CLEAR LOW-E ON SECOND SURFACE. WINTER NIGHT - U-0.30 MAX, SUMMER DAY - U-0.28 MAX, VISIBLE LIGHT TRANSMITTANCE - 70% MIN. SOLAR HEAT GAIN COEFFICIENT - .40 MAX. PROVIDE HEAT STRENGTHENED GLASS OR OTHERWISE FULLY TEMPERED GLASS WHERE REQUIRED BY CODE.

GLAZING FILM: SOLYX 508 FILM WHERE INDICATED, COLOR AS INDICATED.

9-FINISHES

NOT USED

10-LIGHT AND VENTILATION

NOT USED

15-HEATING AND AIR CONDITIONING

NOT USED

15.3-PLUMBING

NOT USED

16-ELECTRICAL

LIGHTING - ST LOUIS LIGHTING GROUP, 314-704-1280

EXTERIOR FEATURE LIGHTING: STUDIO M LIGHTING, SM451346 DARK BRONZE FINISH, HEIGHT 72" AND WIDTH 4.5"

STAIRWAYS AND EXITS

NOT USED

MISCELLANEOUS

IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED BY STATE AND LOCAL CODES, AND ALL WORK SHALL BE IN ACCORDANCE THEREWITH.

VERIFY DESIGN LOADS WITH LOCAL CODES AND SITE CONDITIONS. CHECK WITH LOCAL BUILDING DEPARTMENT OFFICIALS FOR WIND, SEISMIC, SNOW OR OTHER LOADING CONDITIONS. IF UNUSUAL SITE CONDITIONS EXIST, OR LOCAL BUILDING REQUIREMENTS EXCEED THE ABOVE DESIGN CRITERIA, CONSULT WITH A LOCAL DESIGN PROFESSIONAL TO ADJUST THE FOUNDATION DESIGN AND OTHER STRUCTURAL ELEMENTS IF NECESSARY.

SYMBOLS LEGEND

BUILDING SECTION

SECTION DETAIL

PLAN OR DETAIL CALLOUT

EXTERIOR ELEVATION

INTERIOR ELEVATION

LEVEL REFERENCE

SPOT ELEVATION

ROOM TAG

PARTITION TYPE

DOOR TAG

CEILING HEIGHT

COLUMN DESIGNATION

NORTH ARROW

NEW PARTITION

NEW DOOR

REVISED ITEM

FLOOD/EXIT LIGHT

PROJECT INFORMATION

PROJECT CONSIST OF A NEW RETAIL BUILDING FOR UP TO TWO FUTURE TENANTS. BUILDING WILL BE SLAB ON GRADE WITH STEEL FRAME AND METAL STUD INFILL WITH MASONRY VENEER.

ARCHITECTURAL

A-000	COVER SHEET
AF100	FIRST FLOOR PLAN
AF101	ROOF PLAN
AC100	REFLECTED CEILING PLAN
A-200	EXTERIOR ELEVATIONS
A-300	BUILDING SECTIONS
A-400	WALL SECTIONS
A-500	VERTICAL TRANSITION DETAILS
A-501	PLAN TRANSITION DETAILS

STRUCTURAL

S0.00	GENERAL NOTES
S0.01	GENERAL NOTES
S0.02	GENERAL NOTES
S1.01	FOUNDATION PLAN
S1.02	ROOF FRAMING PLAN
S2.01	FOUNDATION SECTIONS
S3.01	ROOF FRAMING SECTIONS
S4.01	VERTICAL BRACE FRAME DETAILS
S7.01	TYPICAL DETAILS

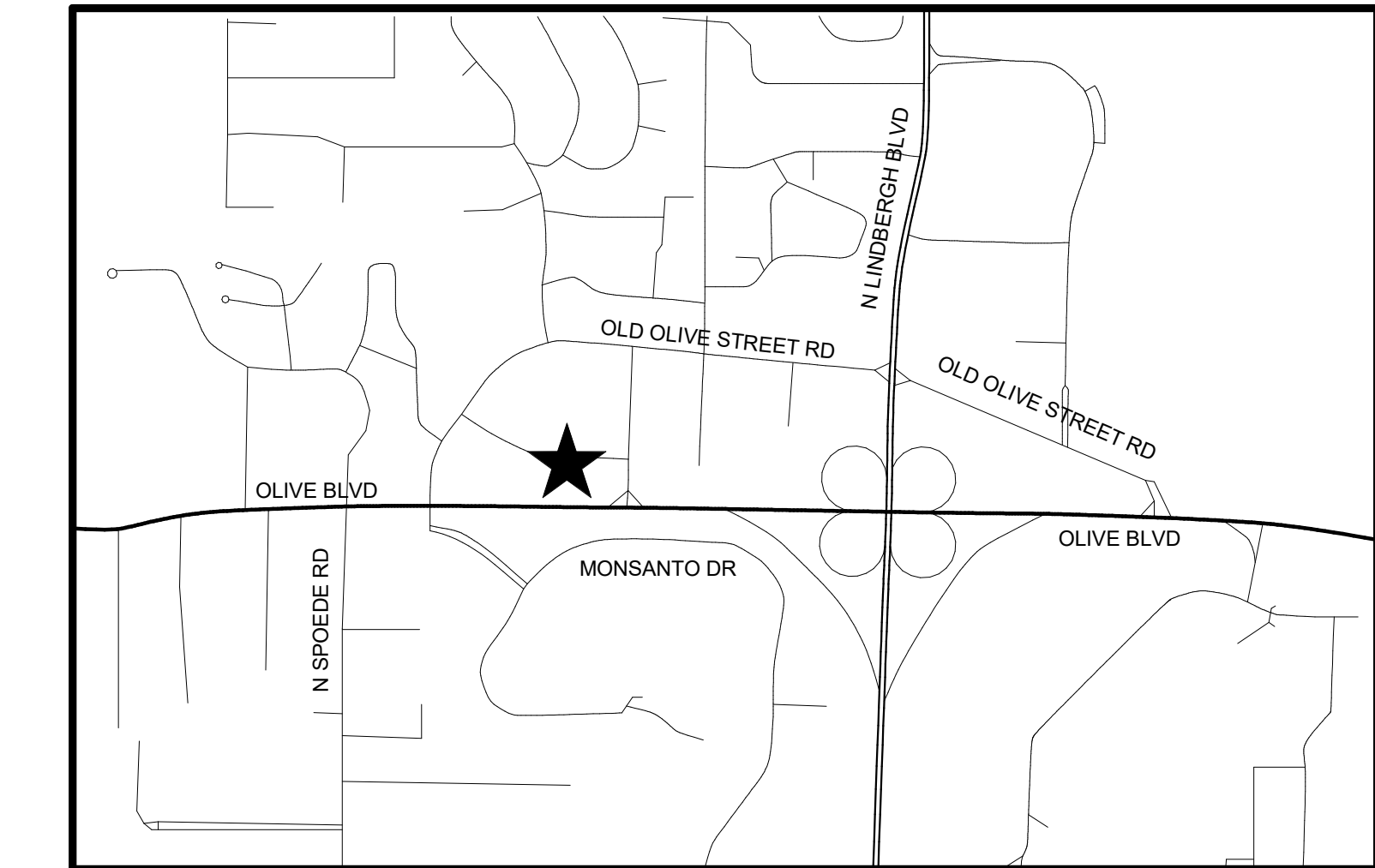
CODE INFORMATION - CREVE COEUR, MO

AUTHORITY HAVING JURISDICTION
2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE

ZONING CLASSIFICATION
CB CORE BUSINESS

CREVE COEUR FIRE PROTECTION DISTRICT 2016
NFPA 13, NFPA 72

USE GROUP:	A-Z PROPOSED (RESTAURANT)
FIRE SUPPRESSION SYSTEM:	FULLY SUPPRESSED
CONSTRUCTION TYPE:	CONSTRUCTION TYPE (IBC 602.5)
ALLOWABLE AREA: (IBC T503)	9500 SF, 2 STORIES (HEIGHT)
AREA OF WORK:	6000 SF, 1 STORIES (HEIGHT)
OCCUPANT LOAD (IBC T1004.1.1):	PROPOSED 4000 SF TABLES AND CHAIRS PLUS 2000 SF COMMERCIAL KITCHEN = 277 OCCUPANTS



LOCATION MAP
NOT TO SCALE

THIS MEDIA SHOULD
NOT BE CONSIDERED
A CERTIFIED
DOCUMENT

DRAWING TITLE
COVER SHEET
PROJECT TITLE
OLIVE RETAIL
10453 OLIVE BLVD, CREVE COEUR, MO 63141

core10
ARCHITECTURE
4501 Lindell Blvd., Suite 1a
St. Louis, Missouri 63108
314.724.4868 CORE10architecture.com

DATE # REVISION

DATE: 07 JULY 2017
PROJECT NO. 17021

SHEET NO.

A-000

ALL LOCAL CODES SHALL PREVAIL.
CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
BEFORE CONSTRUCTION BEGINS

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Attachment: 170707 OLIVE RETAIL - REVIEW SET[2] (#21-014; BeerSauce CUP)

DRAWING TITLE
FIRST FLOOR PLAN
PROJECT TITLE
OLIVE RETAIL

10453 OLIVE BLVD, CREVE COEUR, MO 63141

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DATE # REVISION

0" 1/2" 1"
(sheet formatted for 24x36 paper)
DATE: 07 JULY 201
PROJECT NO. 17021

SHEET NO.

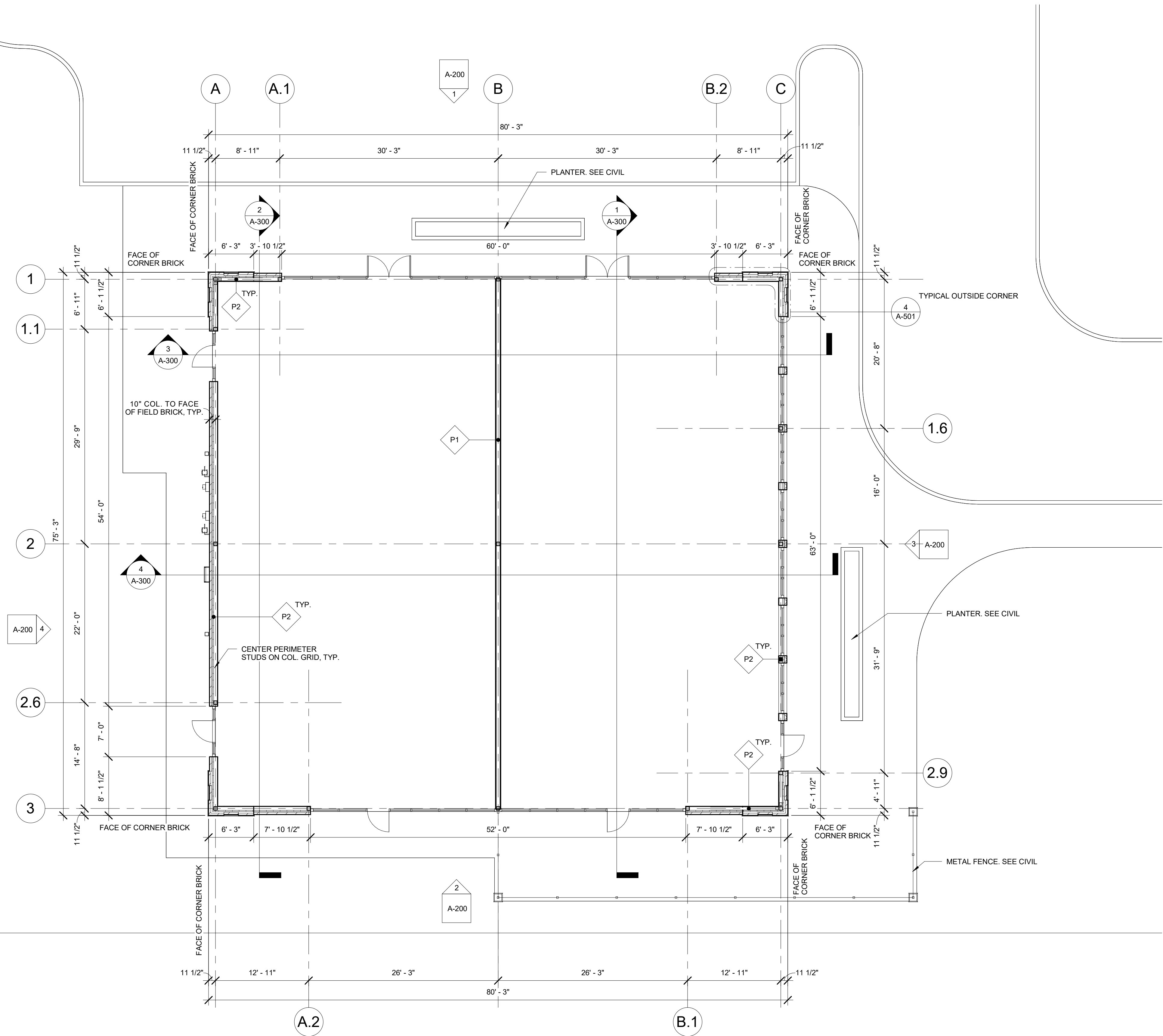
AF100

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Packet Pg. 47

1
AF100
FIRST FLOOR PLAN
1/8" = 1'-0"





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DRAWING TITLE
ROOF PLAN
PROJECT TITLE
OLIVE RETAIL

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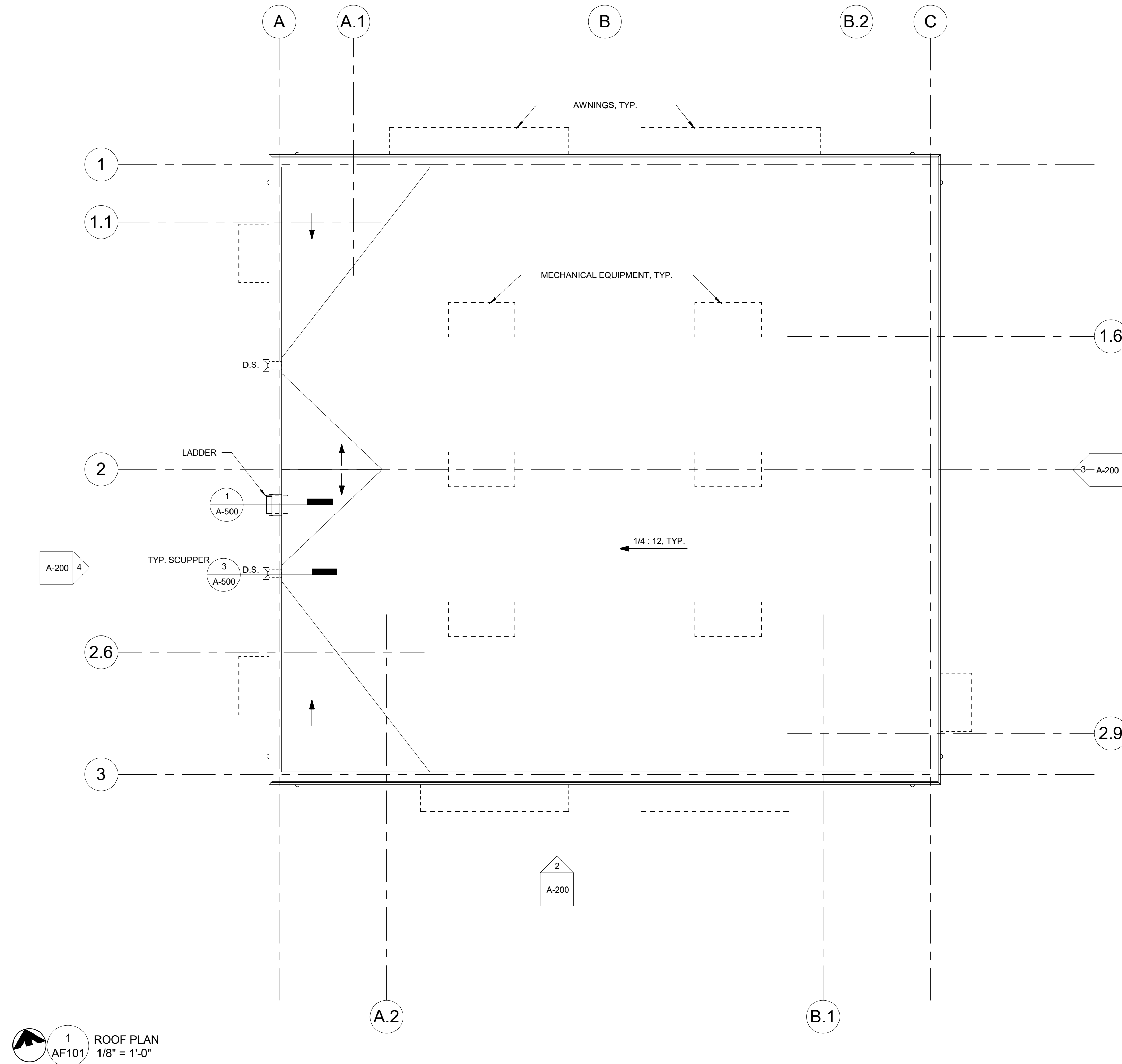
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DATE: 07 JULY 201
PROJECT NO. 17021

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AF101

ALL LOCAL CODES SHALL PREVAIL.
CONTRACTOR TO FIELD VERIFY ALL
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BEFORE CONSTRUCTION BEGINS

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1 ROOF PLAN
AF101 1/8" = 1'-0"



RCP NOTES

- 1. CEILING BY TENANT
- 2. INTERNAL LIGHTING TEMPORARY FOR FINISH BY TENANTS (SEPARATE PERMIT)

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DRAWING TITLE
REFLECTED CEILING PLAN
PROJECT TITLE
OLIVE RETAIL
10453 OLIVE BLVD, CREVE COEUR, MO 63141

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0'1"

1/2"

1"

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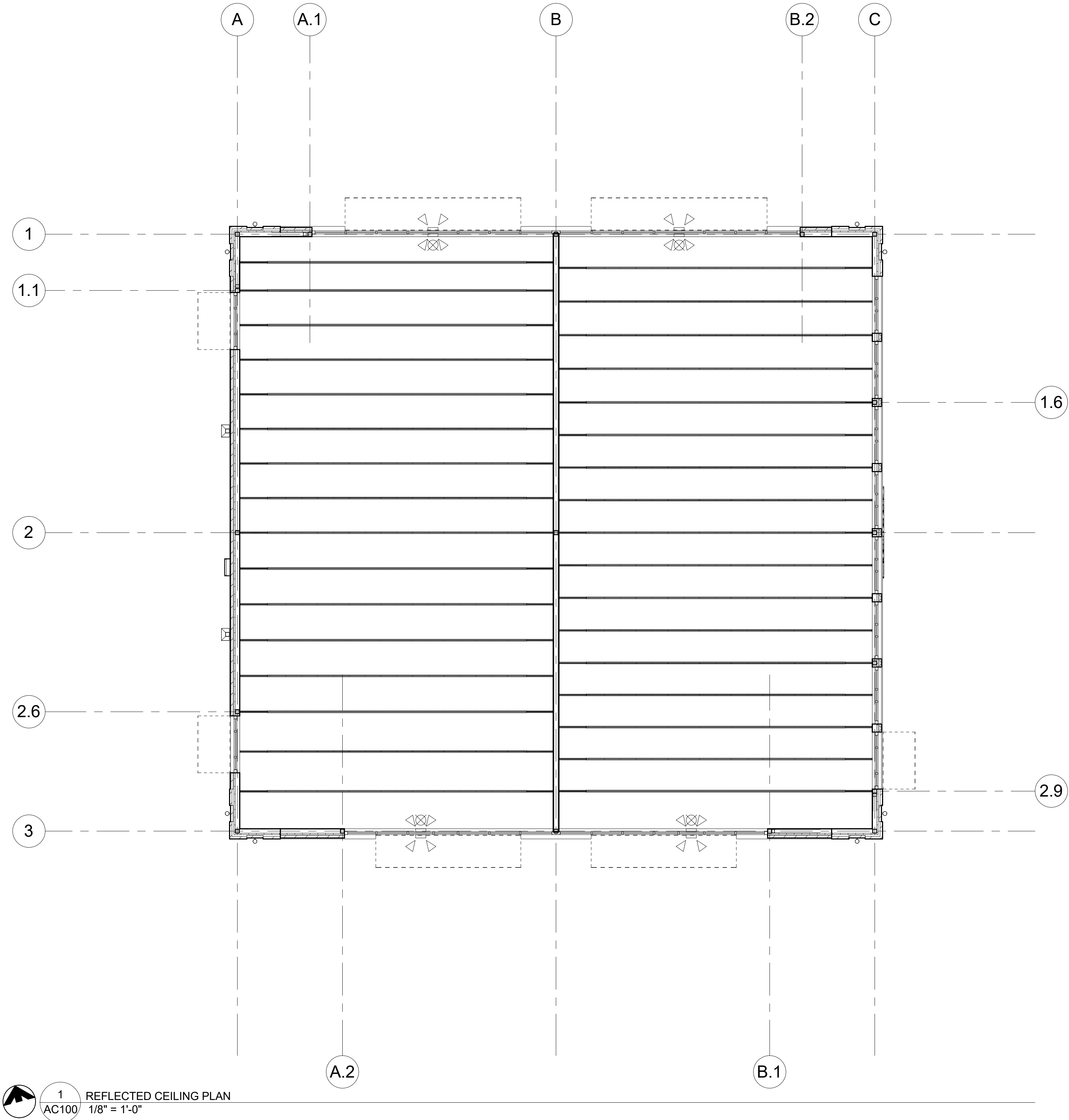
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PROJECT NO. 17021

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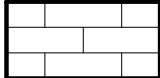
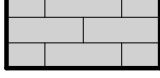
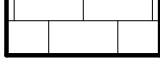
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CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
BEFORE CONSTRUCTION BEGINS

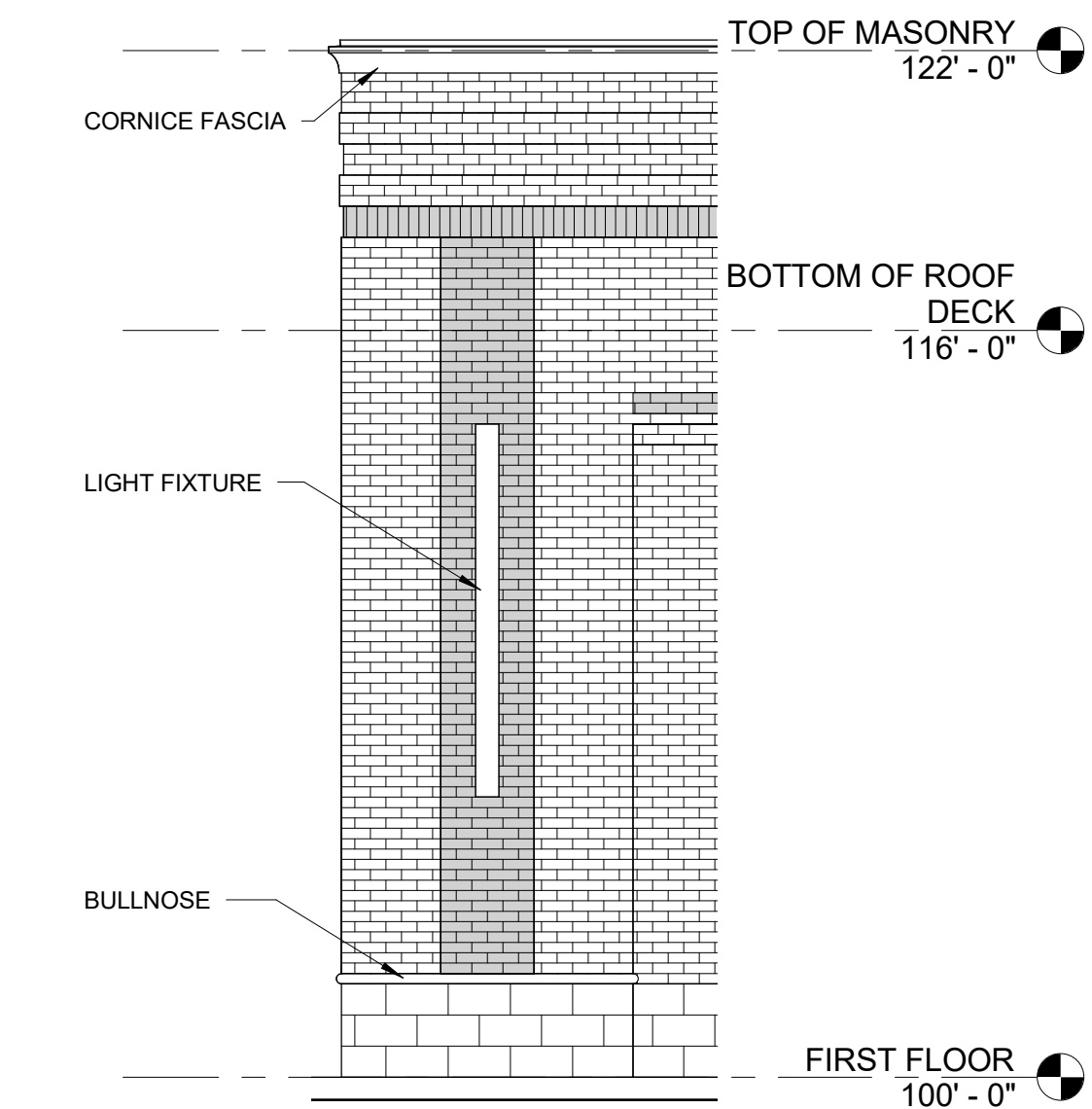
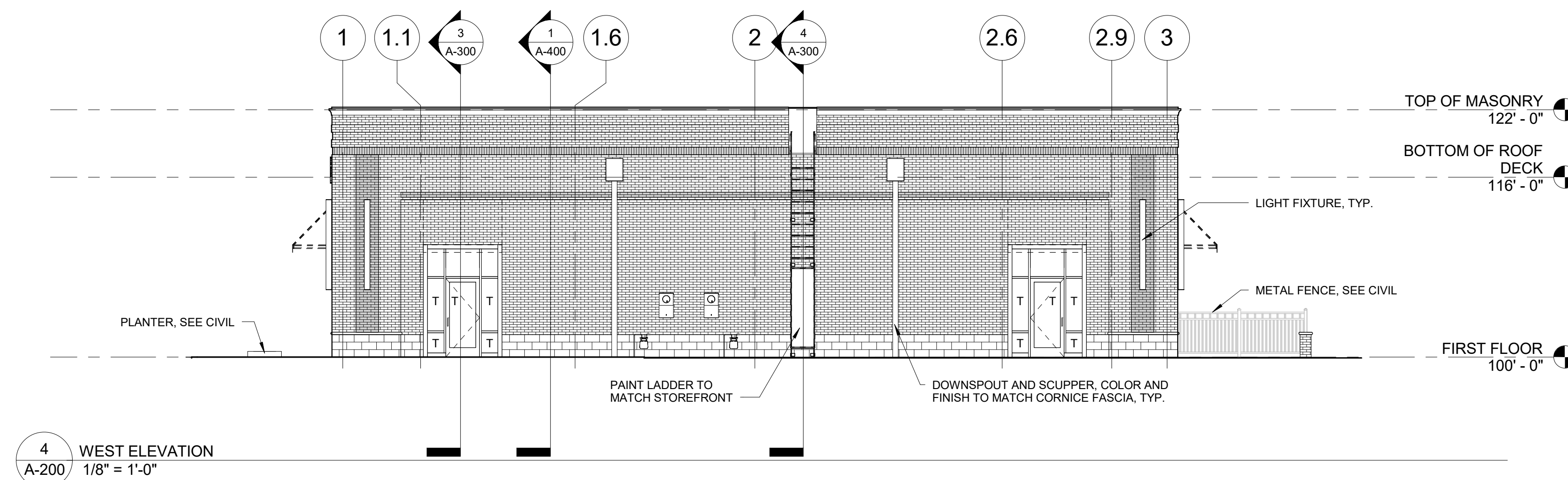
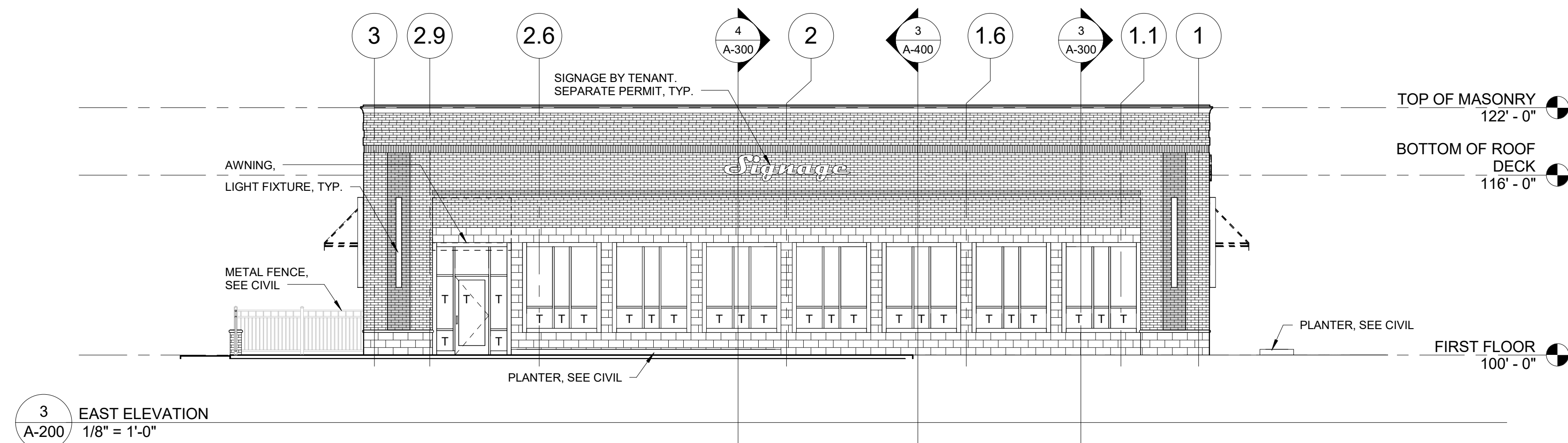
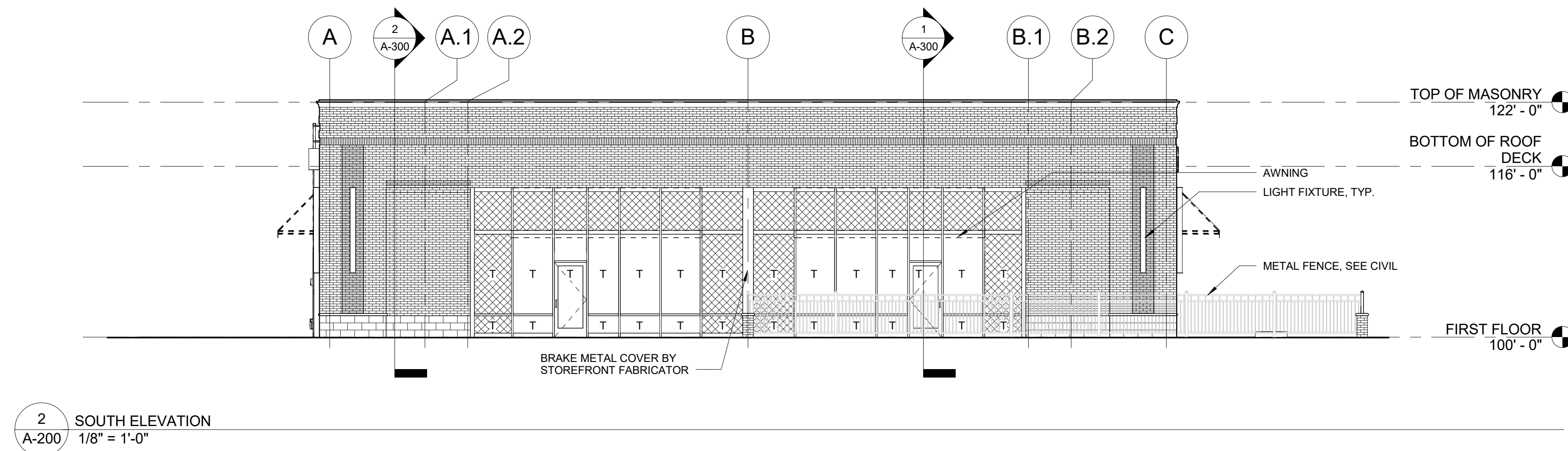
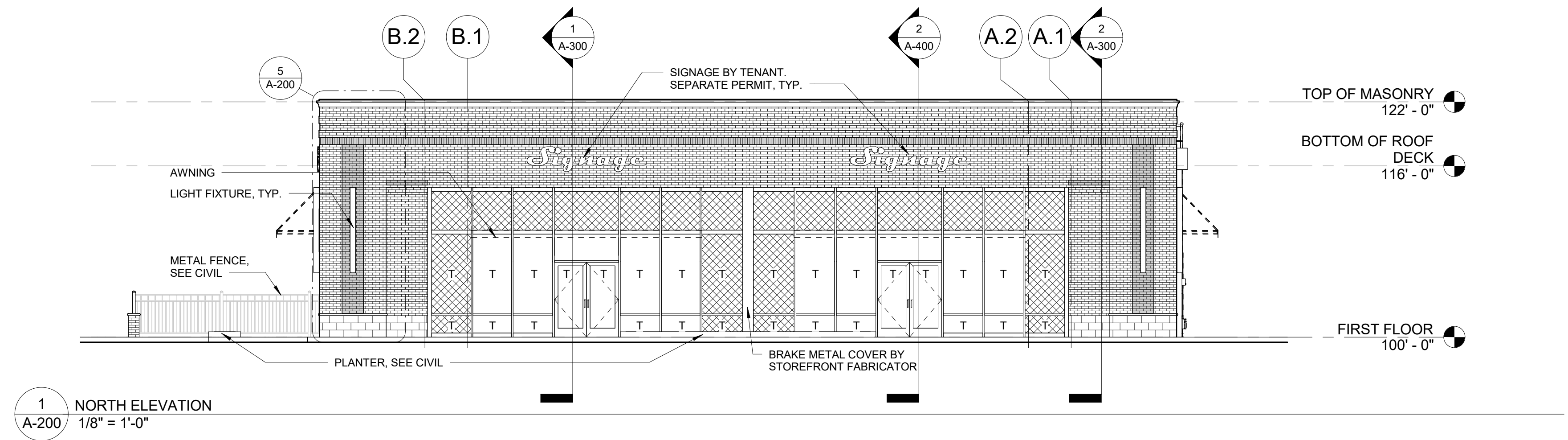
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1 REFLECTED CEILING PLAN
AC100 1/8" = 1'-0"

EXTERIOR FINISHES

-  BRICK 1: FIELD BRICK: INTERSTATE; MOUNTAIN RED
-  BRICK 2: ACCENT BRICK: CLOUD CERAMICS; EBONY IS
-  CMU: STONE MASONRY: ARRISCRAFT; 8X24 LIMESTONE
-  GLASS 1 (TYPICAL):
-  GLASS 2: GLAZING FILM ON SURFACE 4: SOLYX SXB73 DARK GREY SAND BLAST
-  STOREFRONT 1 (TYPICAL): STOREFRONT FRAMING: CLASSIC BRONZE
-  FASCIA 1 (TYPICAL): CORNICE FASCIA: DARK BRONZE
-  AWNINGS: SUNBRELLA; APEX CRIMSON 2646 OR EQUAL



5 A-200 CORNER BRICK DETAIL
1/4" = 1'-0"

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DRAWING TITLE
EXTERIOR ELEVATIONS
PROJECT TITLE
OLIVE RETAIL
10453 OLIVE BLVD, CREVE COEUR, MO 63141

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DATE: 07 JULY 201
PROJECT NO. 17022

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A-200

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BUILDING SECTIONS

PROJECT TITLE
OLIVE RETAIL

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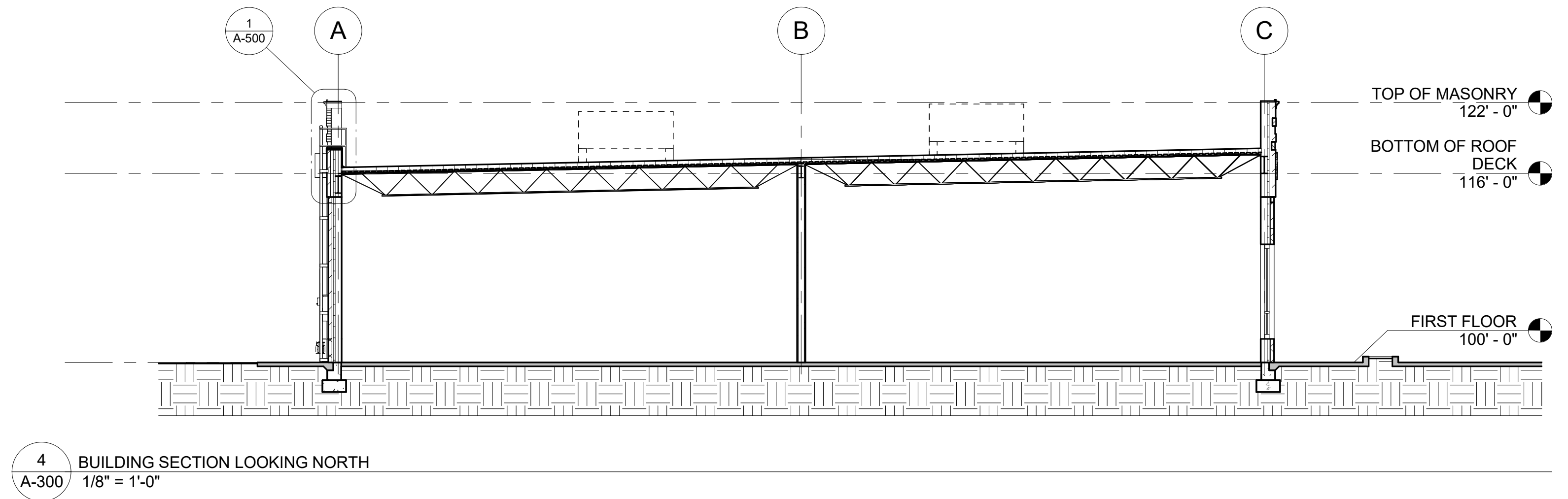
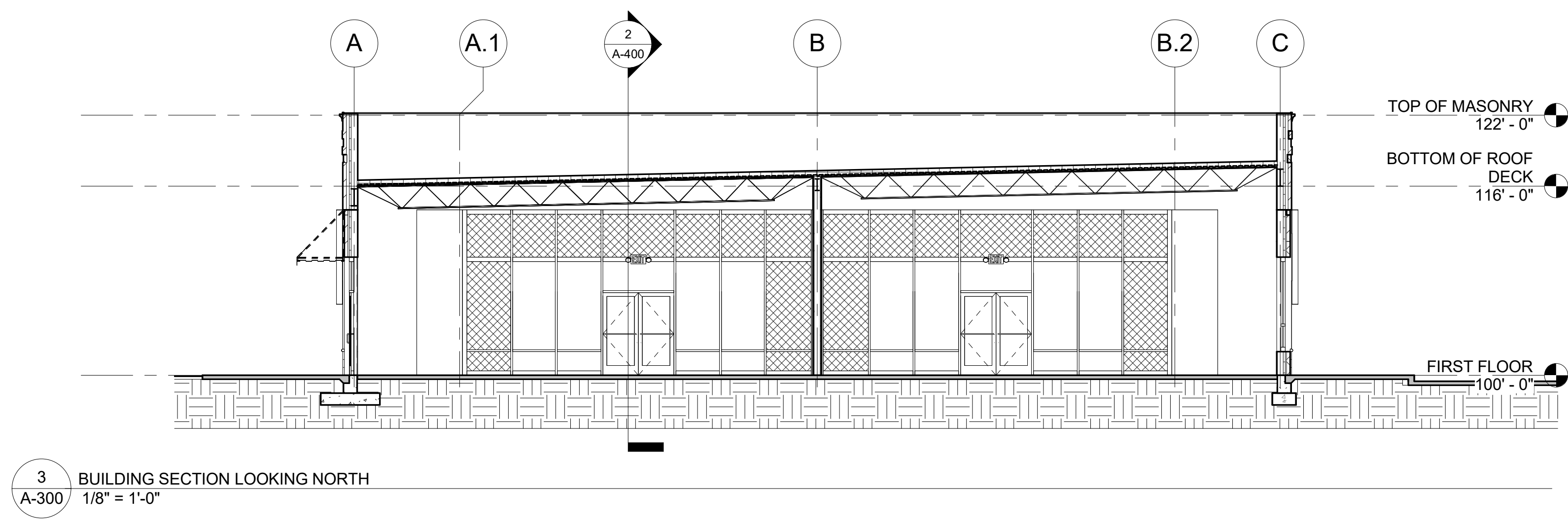
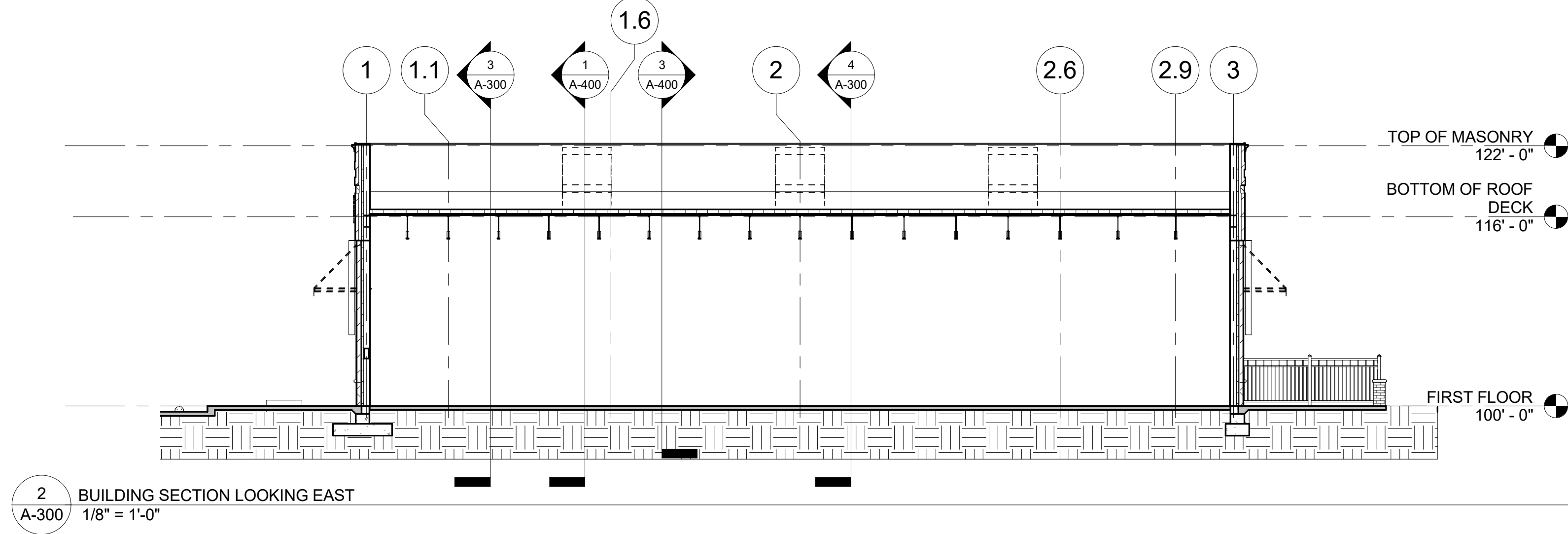
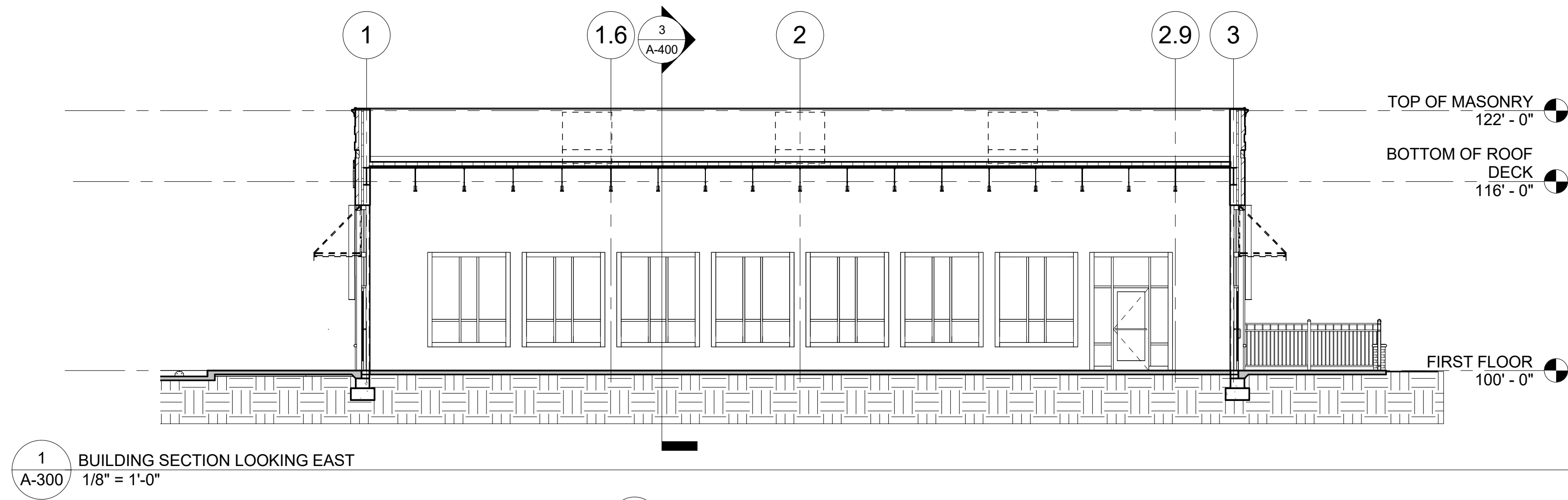
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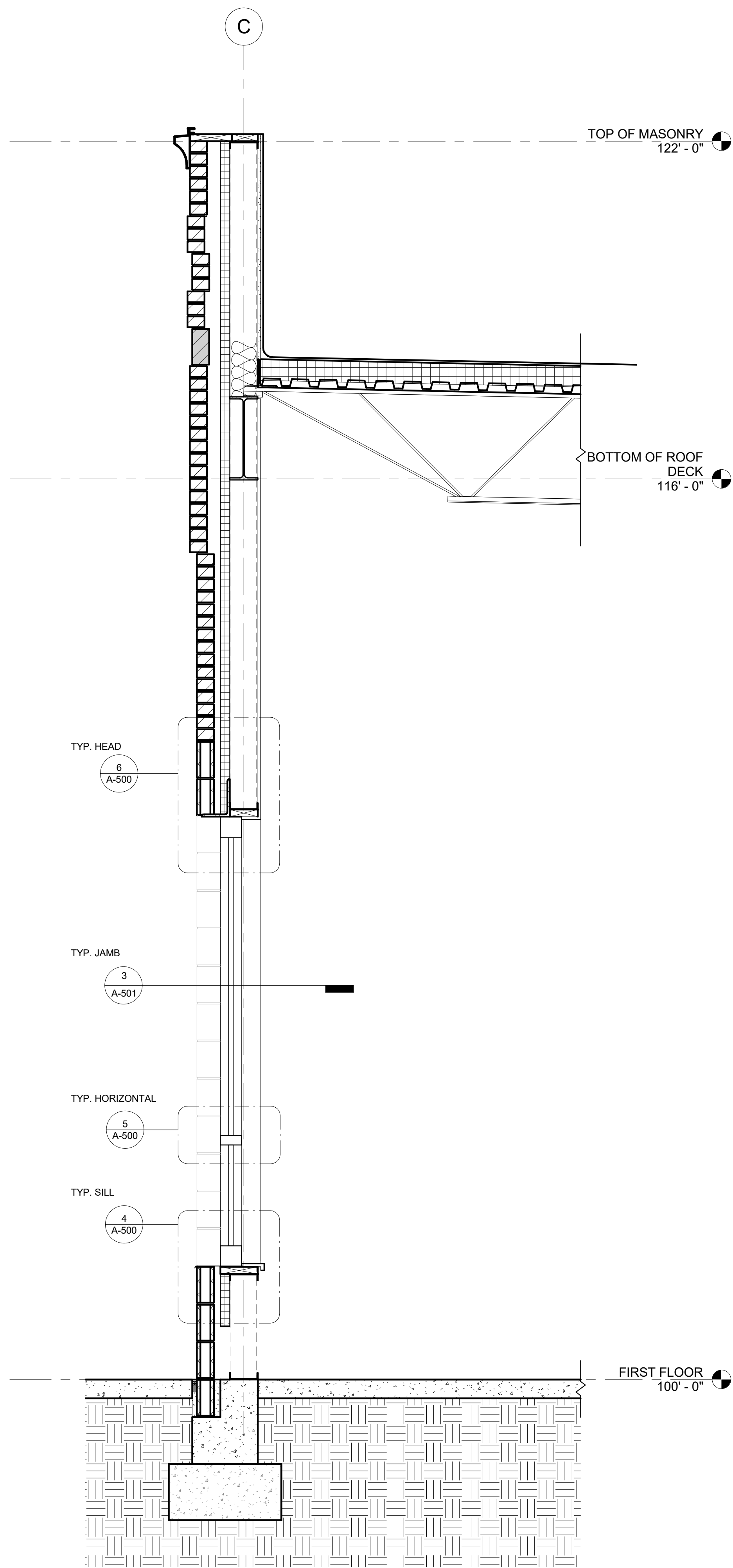
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PROJECT NO. 17021

SHEET NO.
A-300

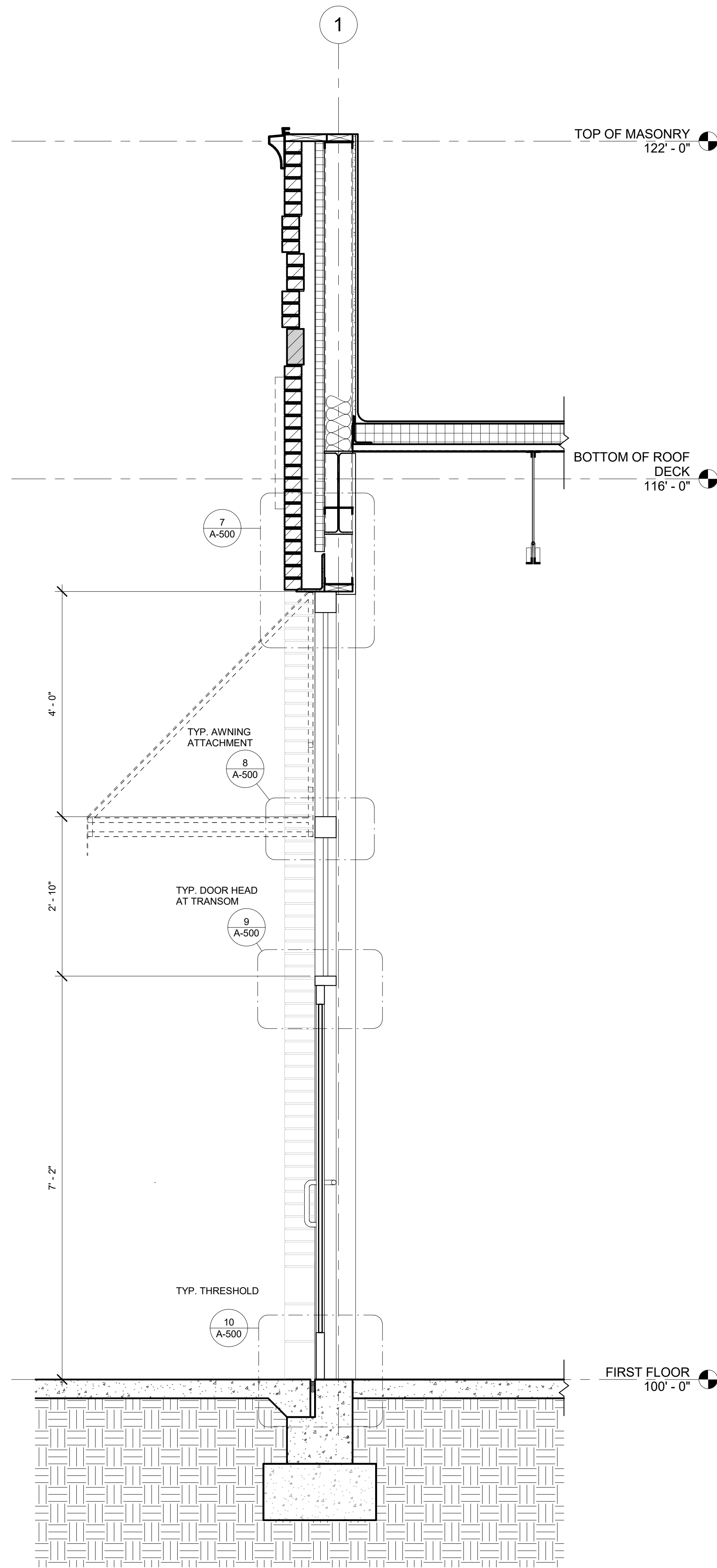
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CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
BEFORE CONSTRUCTION BEGINS

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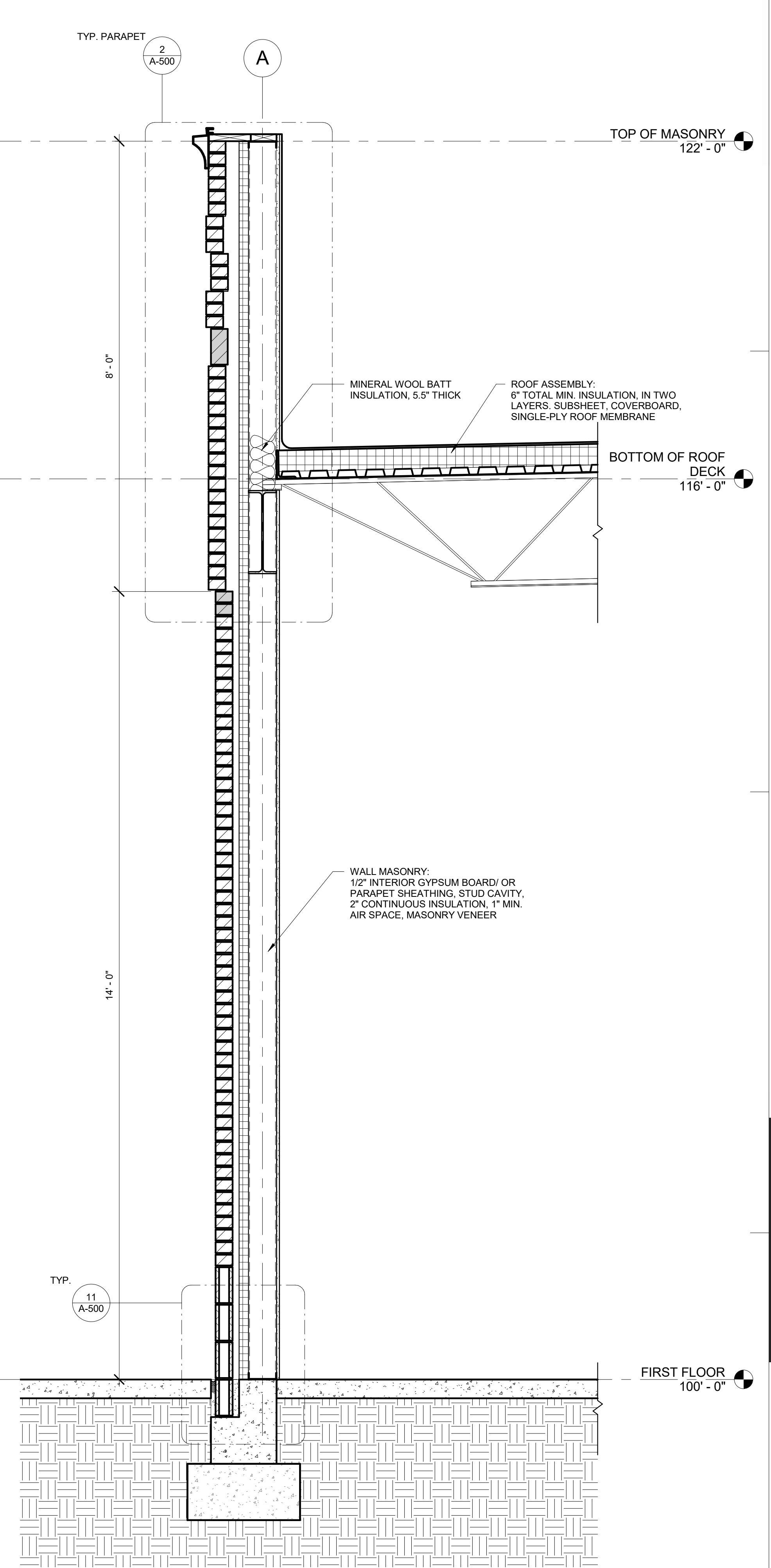




3 WALL SECTION AT WINDOW
3/4" = 1'-0"



2 WALL SECTION AT ENTRY DOOR
3/4" = 1'-0"



1 TYPICAL WALL SECTION
3/4" = 1'-0"

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DRAWING TITLE
VERTICAL TRANSITION DETAILS

PROJECT TITLE
OLIVE RETAIL

10453 OLIVE BLVD, CREVE COEUR, MO 63141

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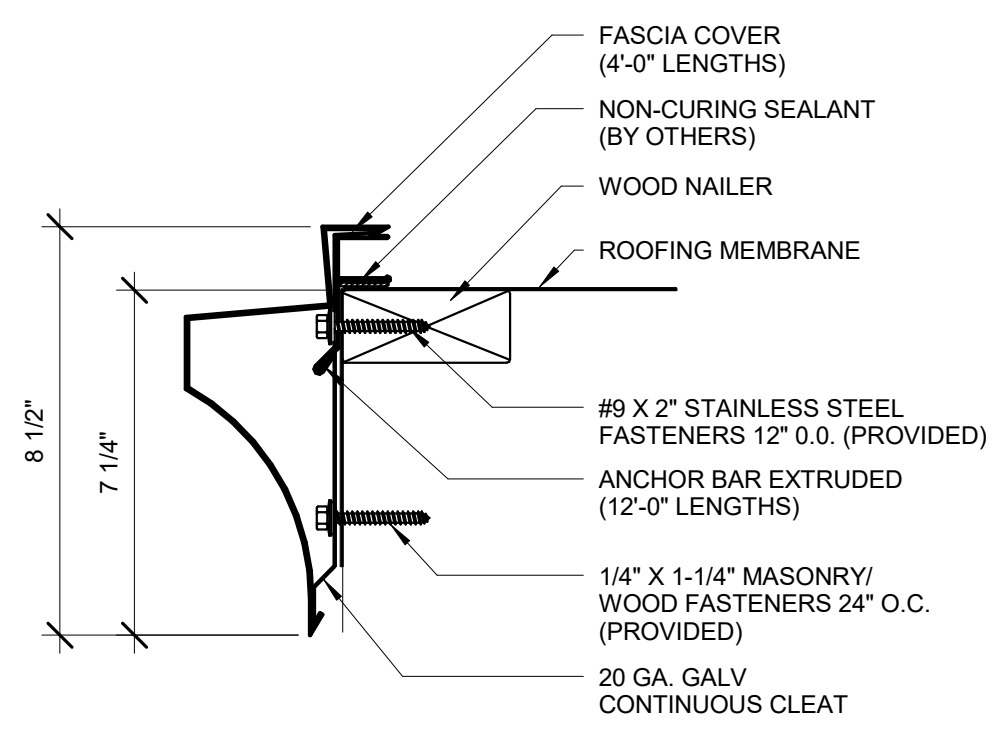
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PROJECT NO.	1702	
SHEET NO.	A-500	

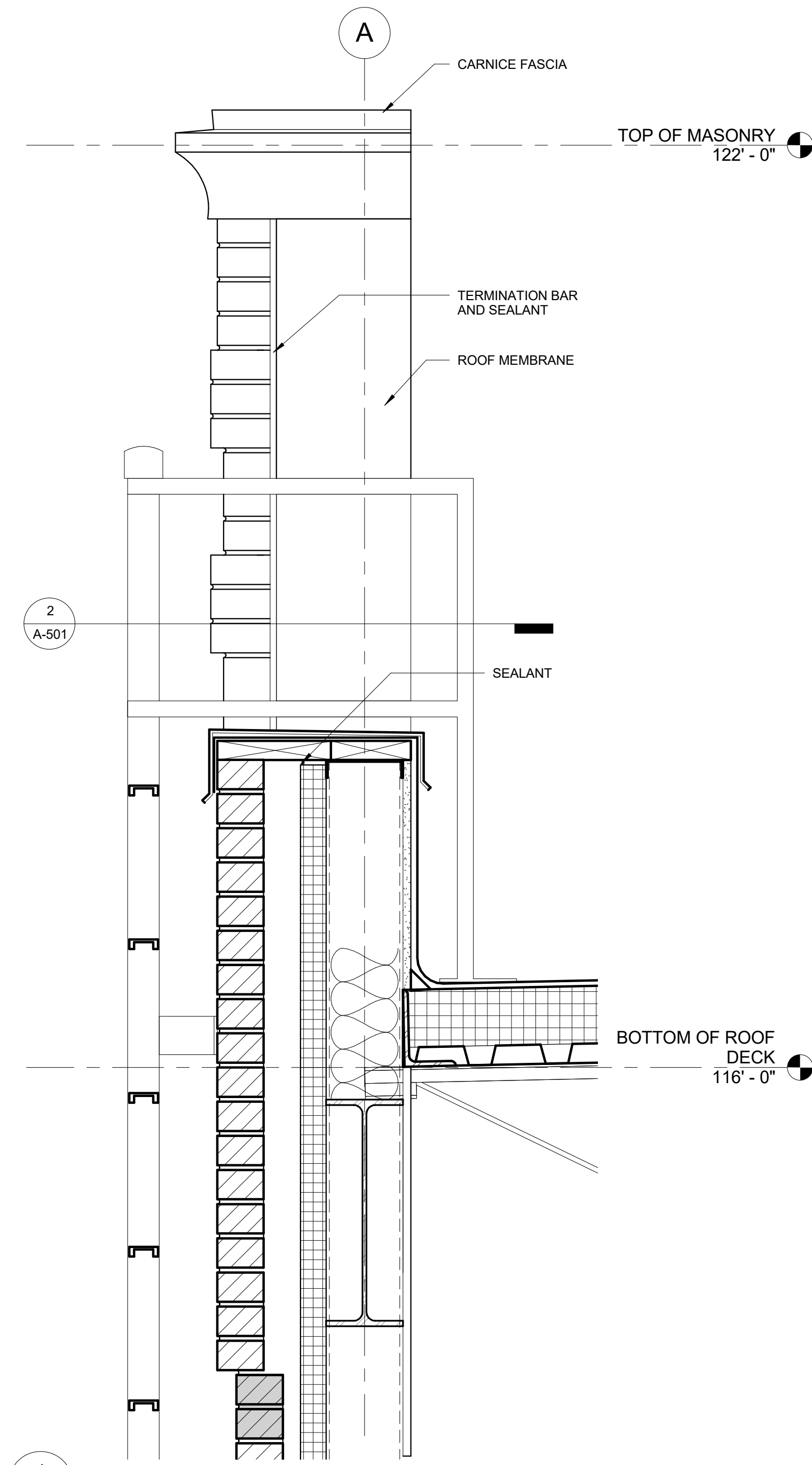
ALL LOCAL CODES SHALL PREVAIL.
CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
BEFORE CONSTRUCTION BEGINS

DRAWN BY: JB

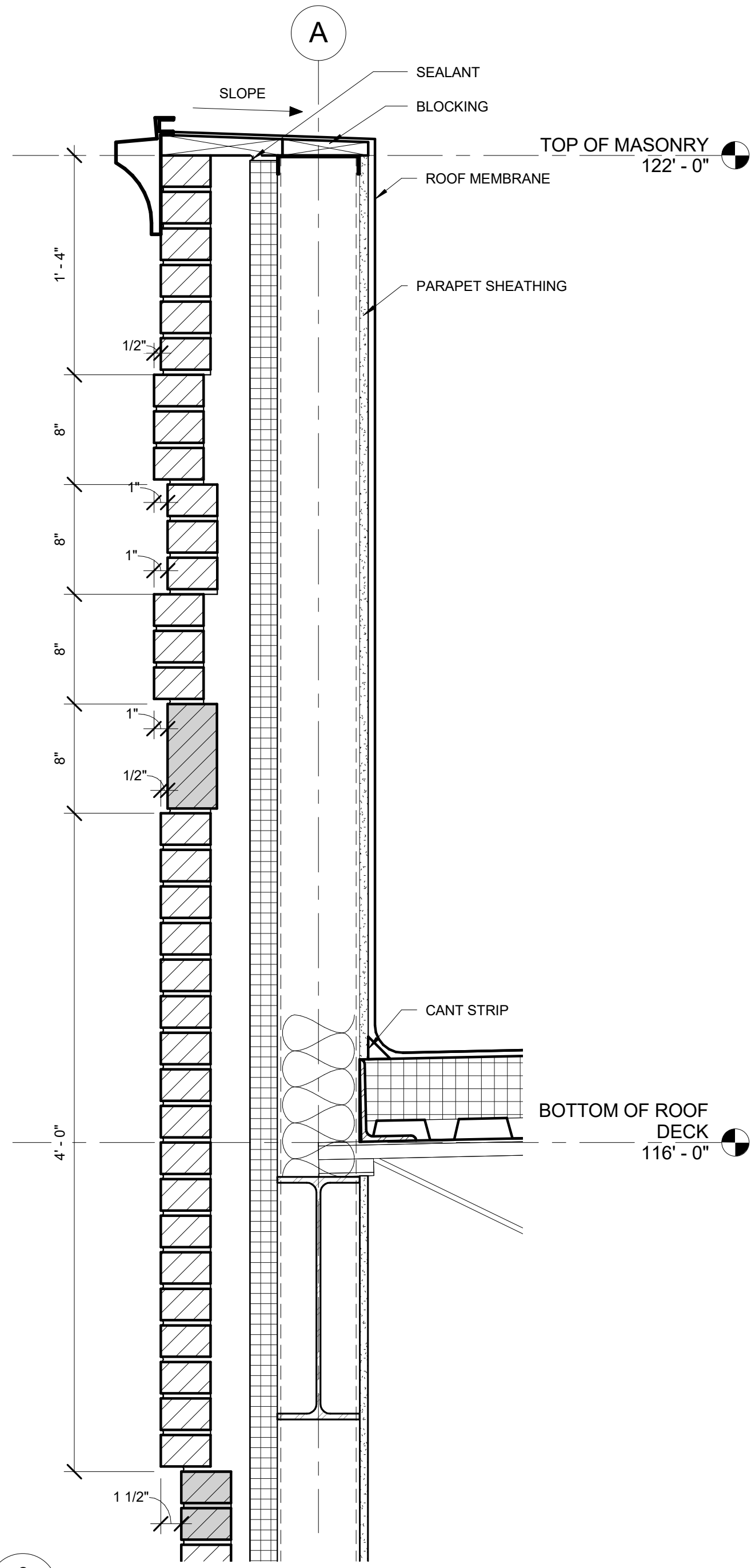
Packet Pg. 53



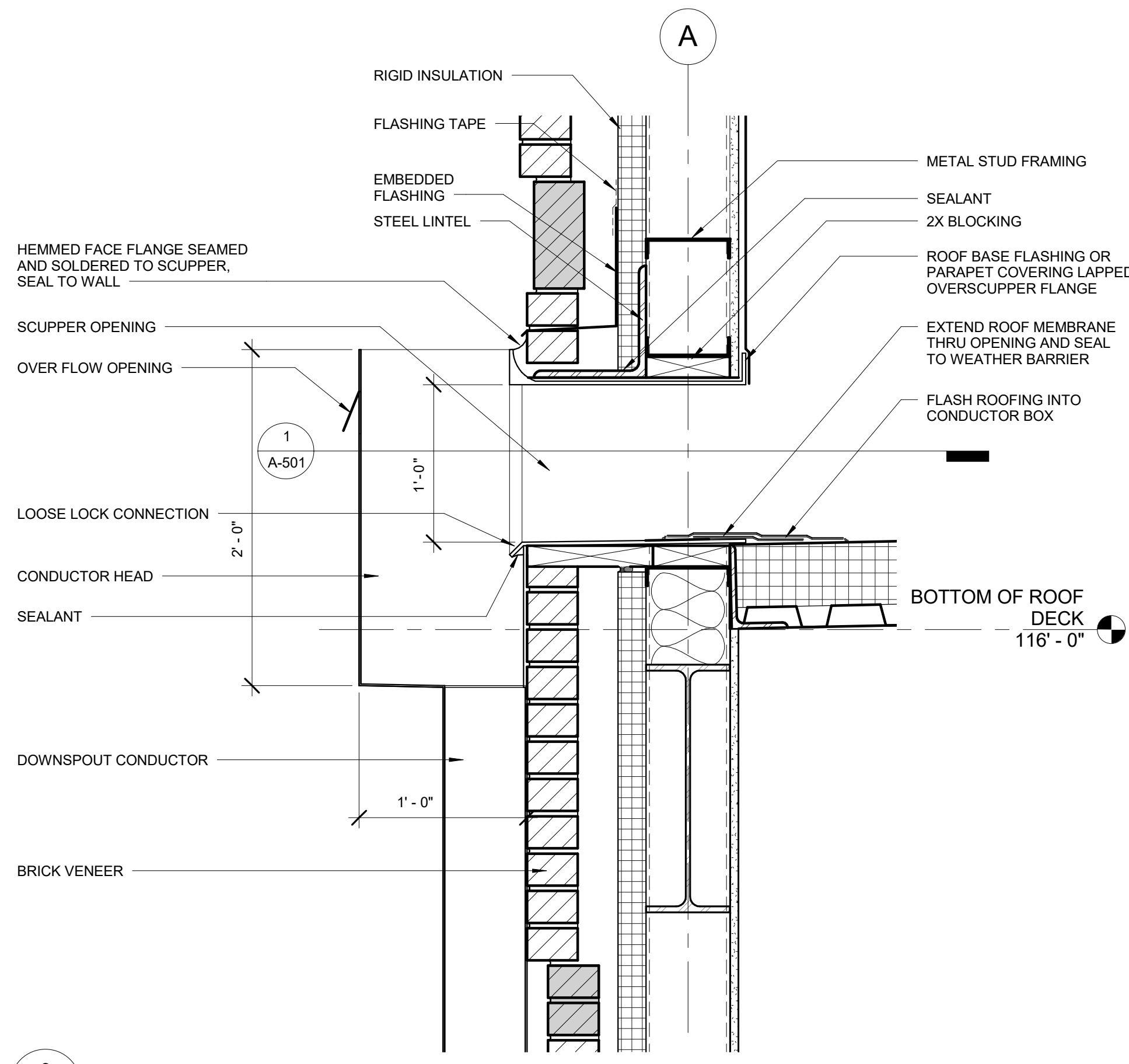
12 CORNICE FASCIA DETAIL
A-500 3" = 1'-0"



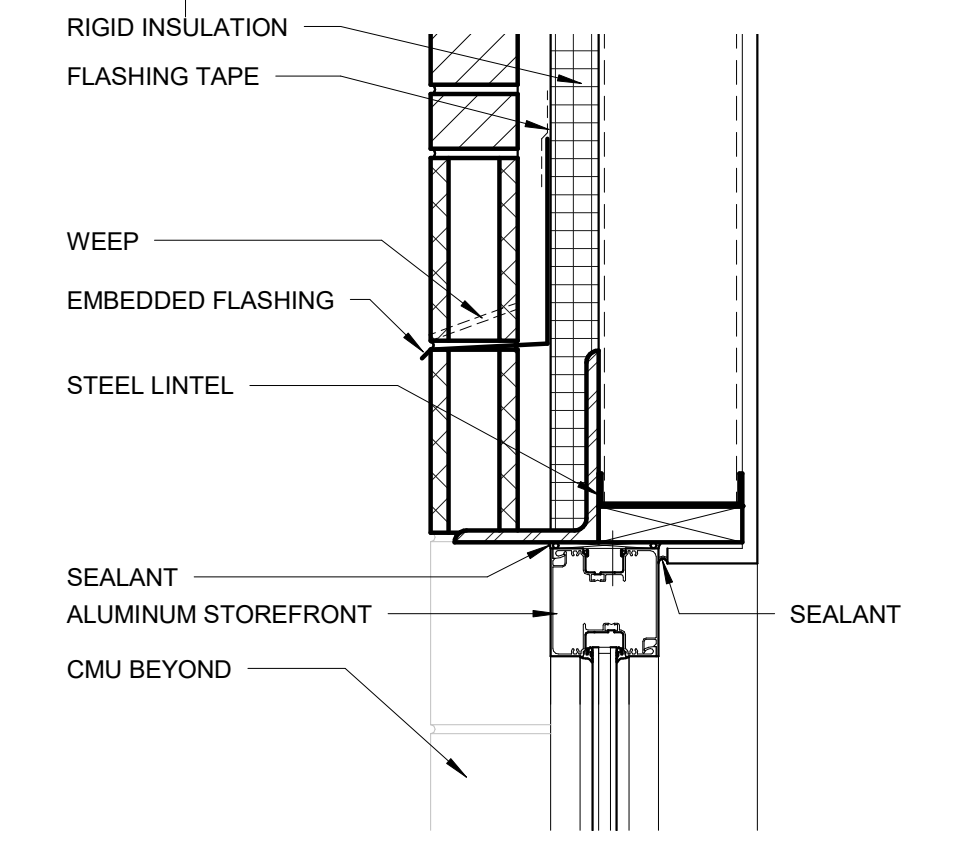
1 PARAPET AT LADDER DETAIL
A-500 1 1/2" = 1'-0"



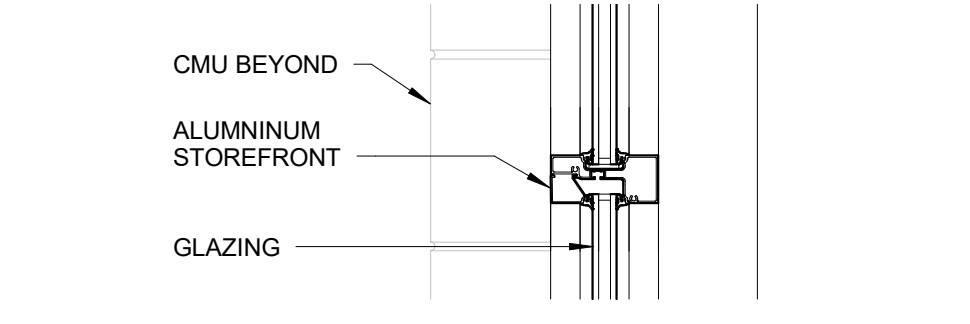
2 PARAPET/ROOF DETAIL
A-500 1 1/2" = 1'-0"



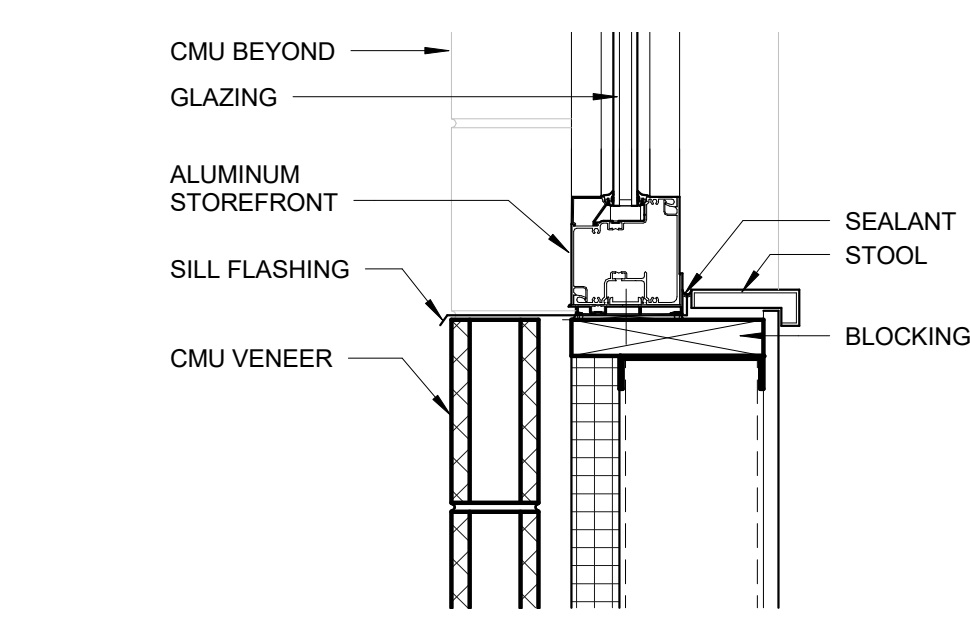
3 SCUPPER DETAIL
A-500 1 1/2" = 1'-0"



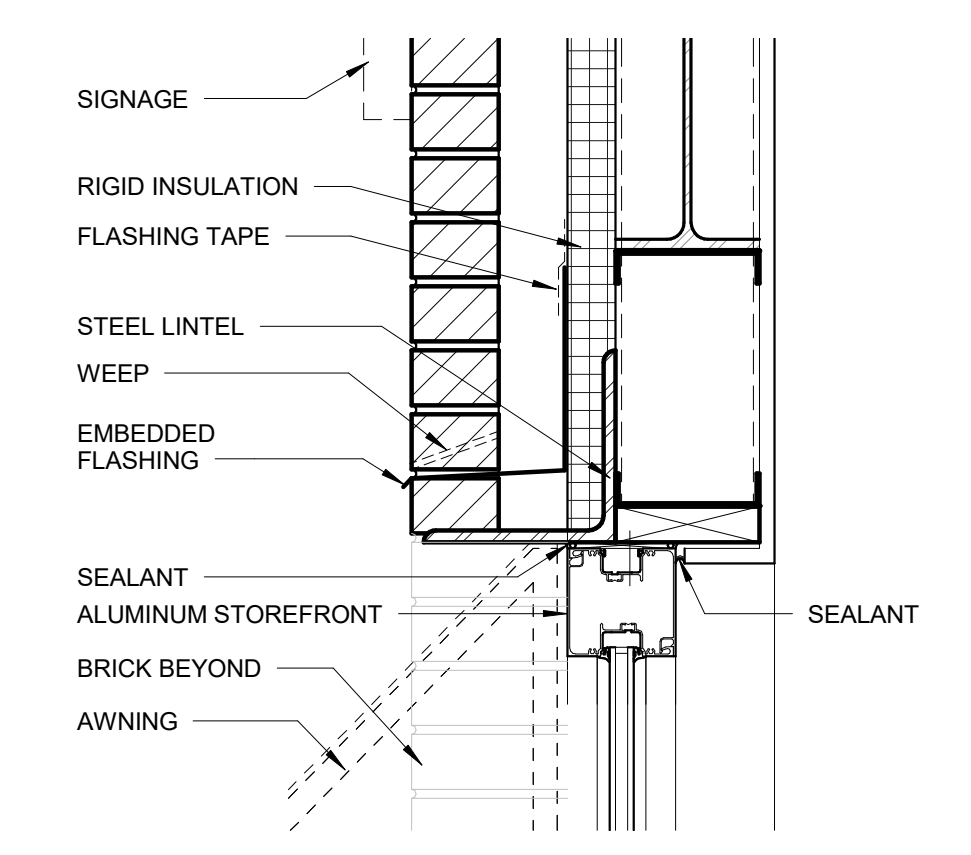
6 WINDOW HEAD DETAIL
A-500 1 1/2" = 1'-0"



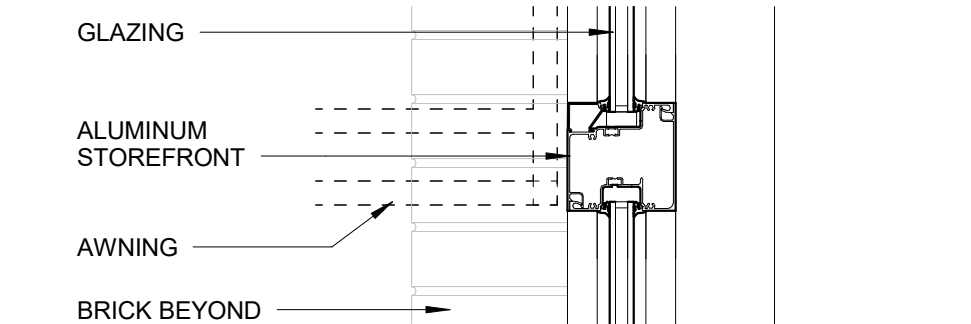
5 WINDOW HORIZONTAL DETAIL
A-500 1 1/2" = 1'-0"



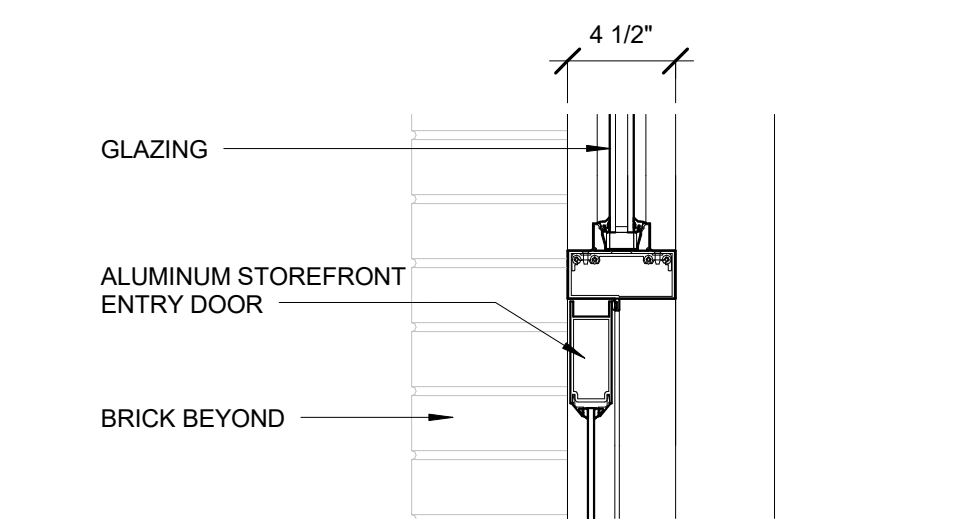
4 WINDOW SILL DETAIL
A-500 1 1/2" = 1'-0"



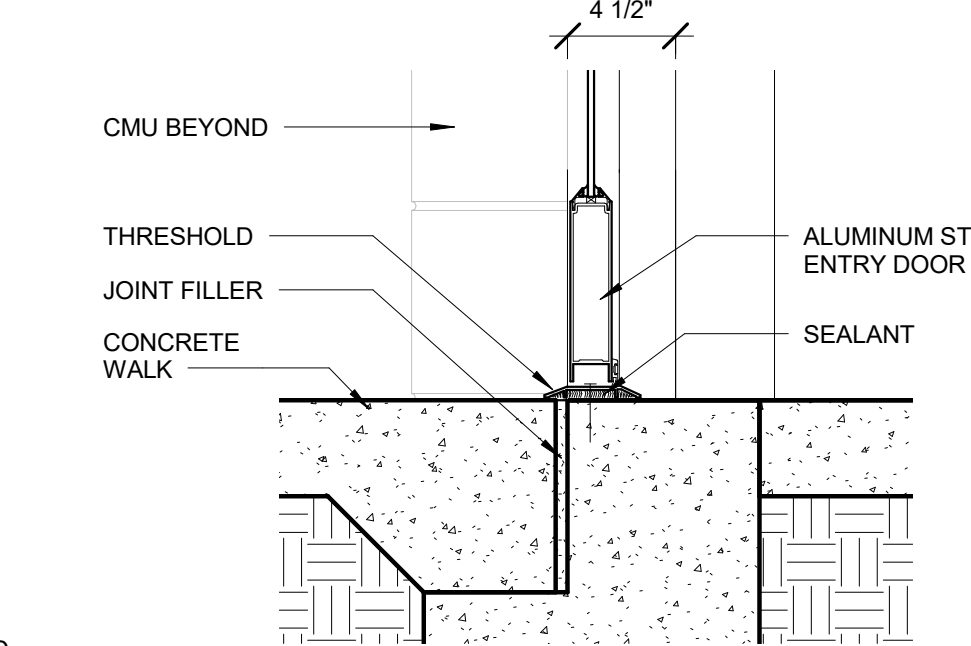
7 TYP. STOREFRONT HEAD DETAIL
A-500 1 1/2" = 1'-0"



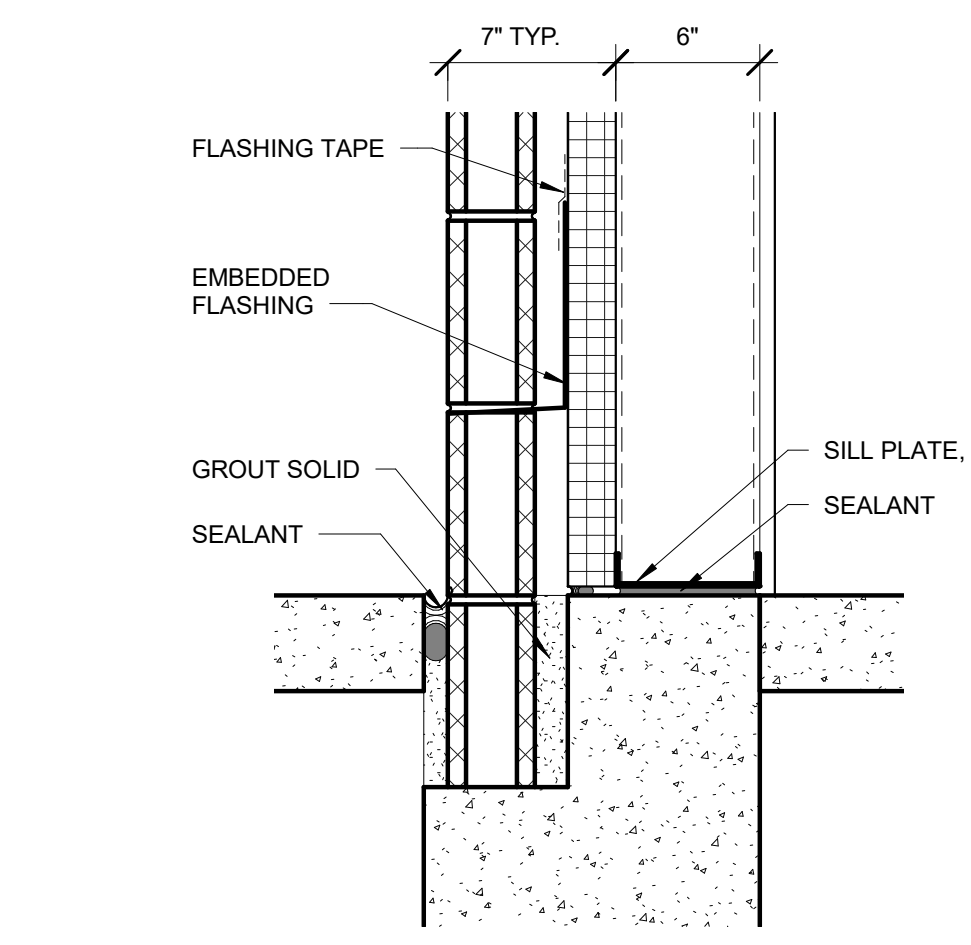
8 TYP. HORIZONTAL DETAIL
A-500 1 1/2" = 1'-0"



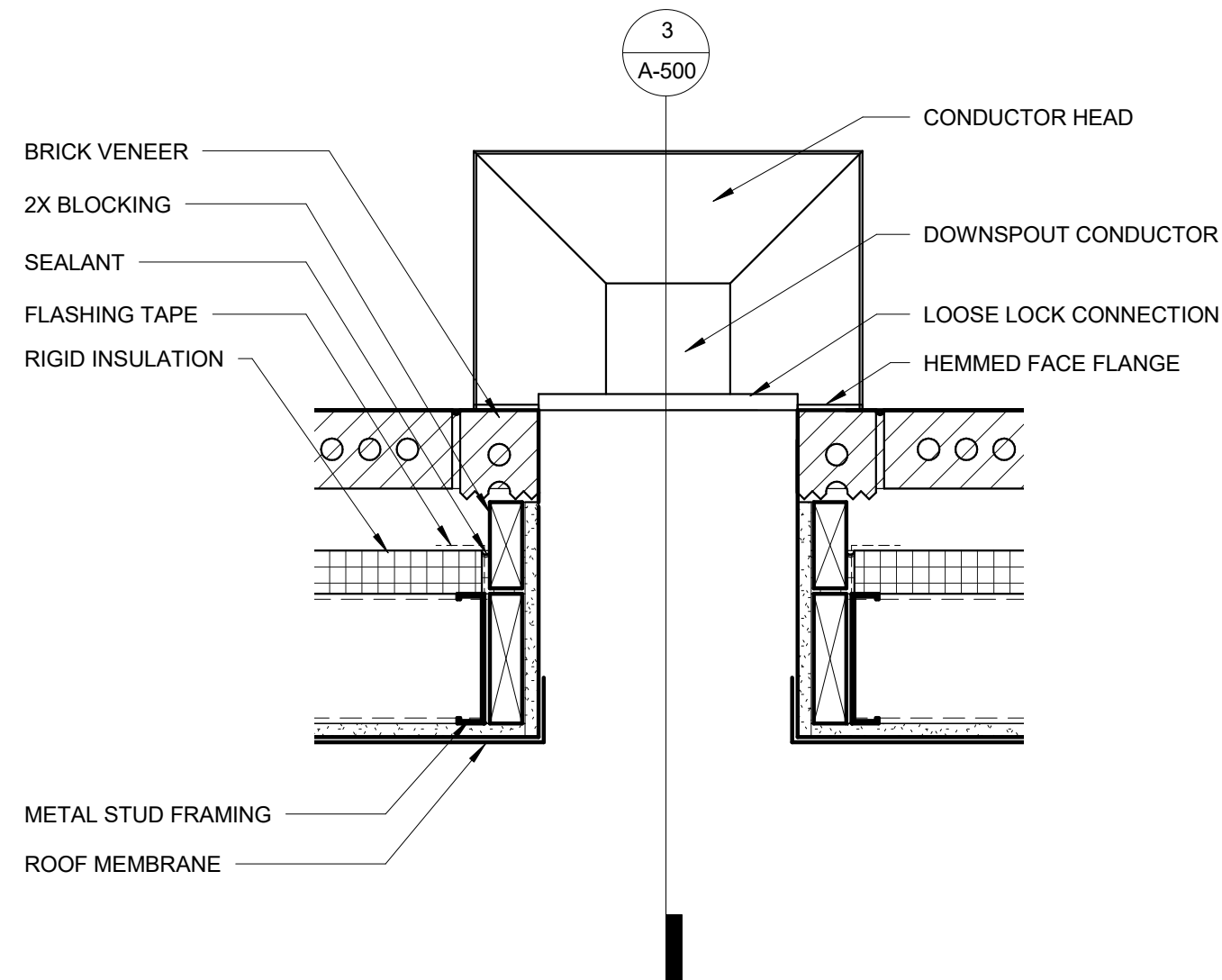
9 TYP. DOOR HEAD AT TRANSOM
A-500 1 1/2" = 1'-0"



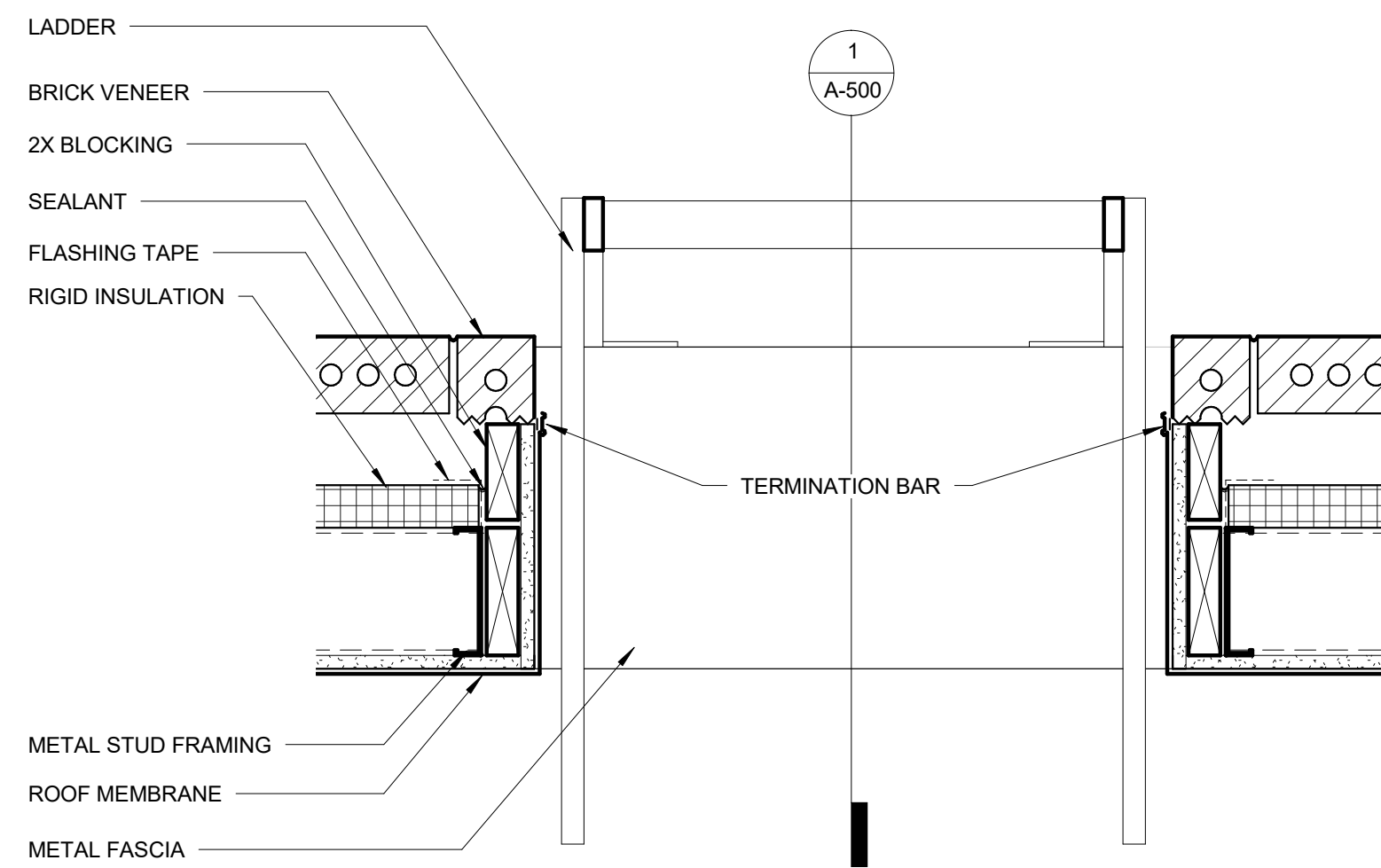
10 TYP. THRESHOLD DETAIL
A-500 1 1/2" = 1'-0"



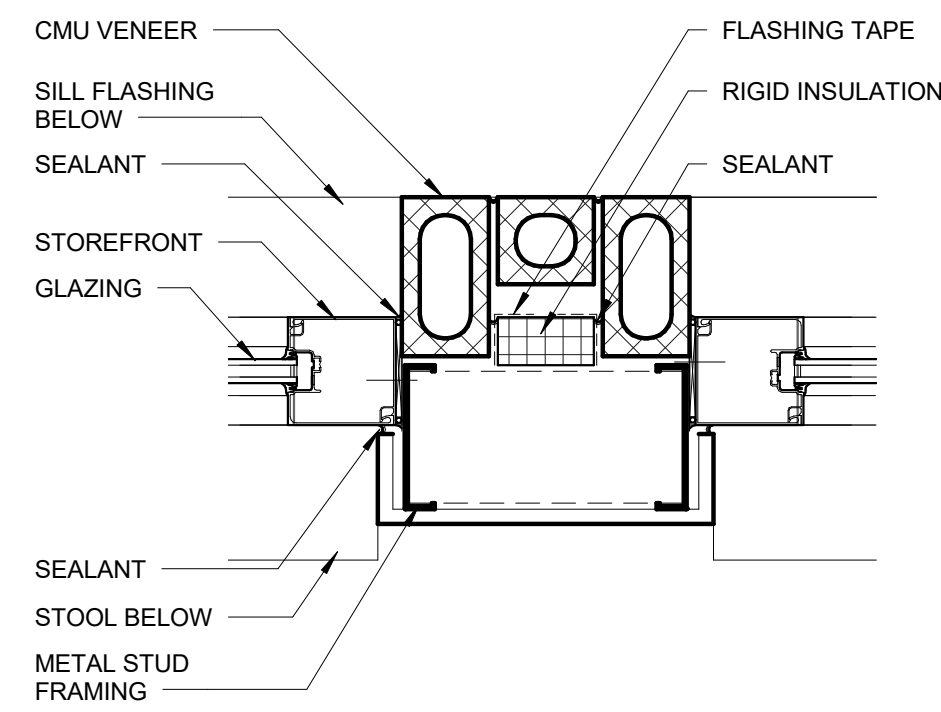
11 TYP. WALL BASE DETAIL AT BRICK
A-500 1 1/2" = 1'-0"



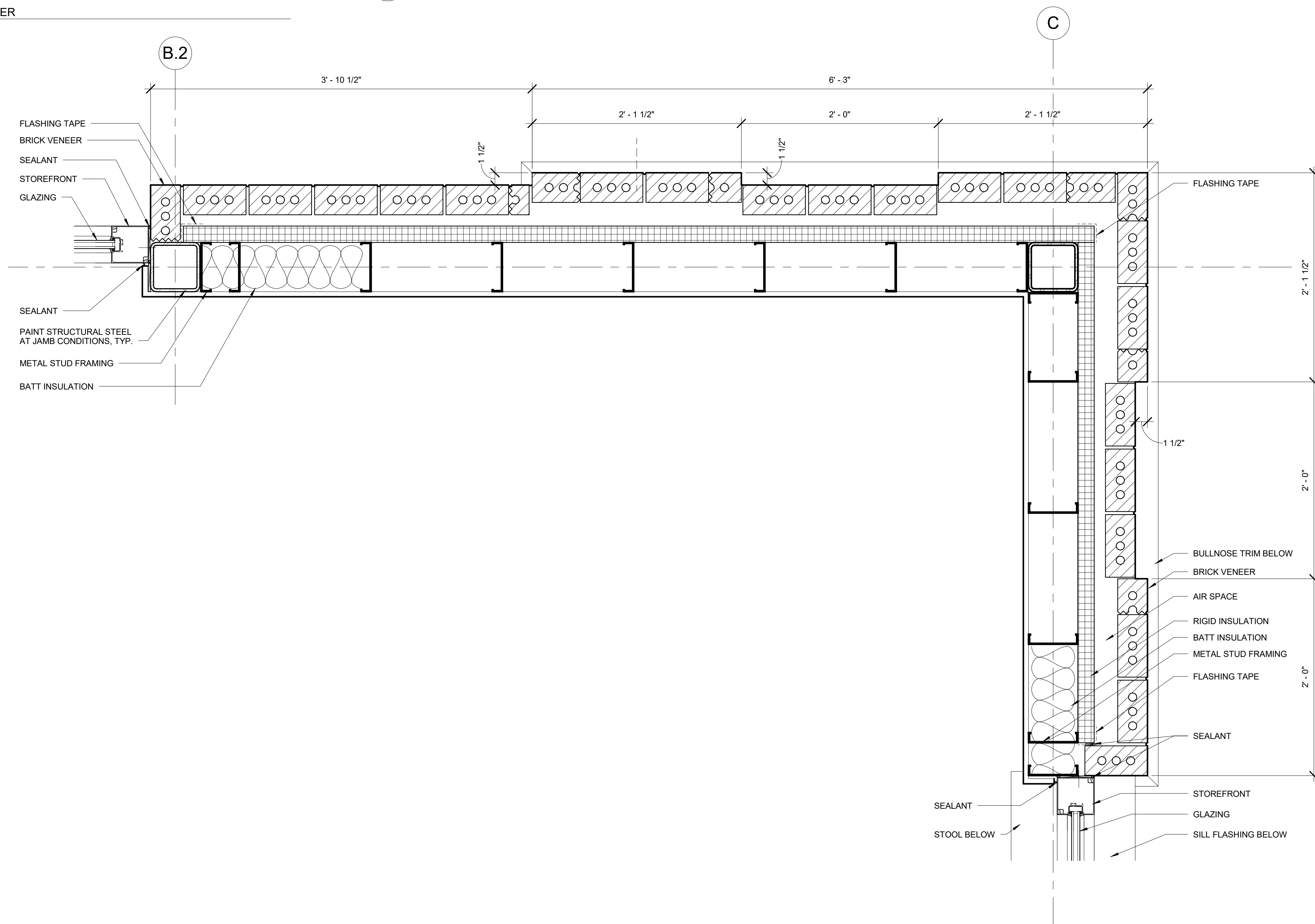
1 PLAN DETAIL AT SCUPPER
A-501 1 1/2" = 1'-0"



2 PLAN DETAIL AT LADDER
A-501 1 1/2" = 1'-0"



3 WINDOW JAMB DETAIL
A-501 1 1/2" = 1'-0"



4 EXTERIOR CORNER DETAIL
A-501 1 1/2" = 1'-0"

THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT

DRAWING TITLE
PLAN TRANSITION DETAILS
PROJECT TITLE
OLIVE RETAIL
10453 OLIVE BLVD, CREVE COEUR, MO 63141

core10 ARCHITECTURE
4501 Lindell Blvd, Suite 1a
Saint Louis, Missouri 63108
314.726.4868 CORE10architecture.com

DATE # REVISION

DATE: 07 JULY 201
PROJECT NO. 17021

SHEET NO.
A-501

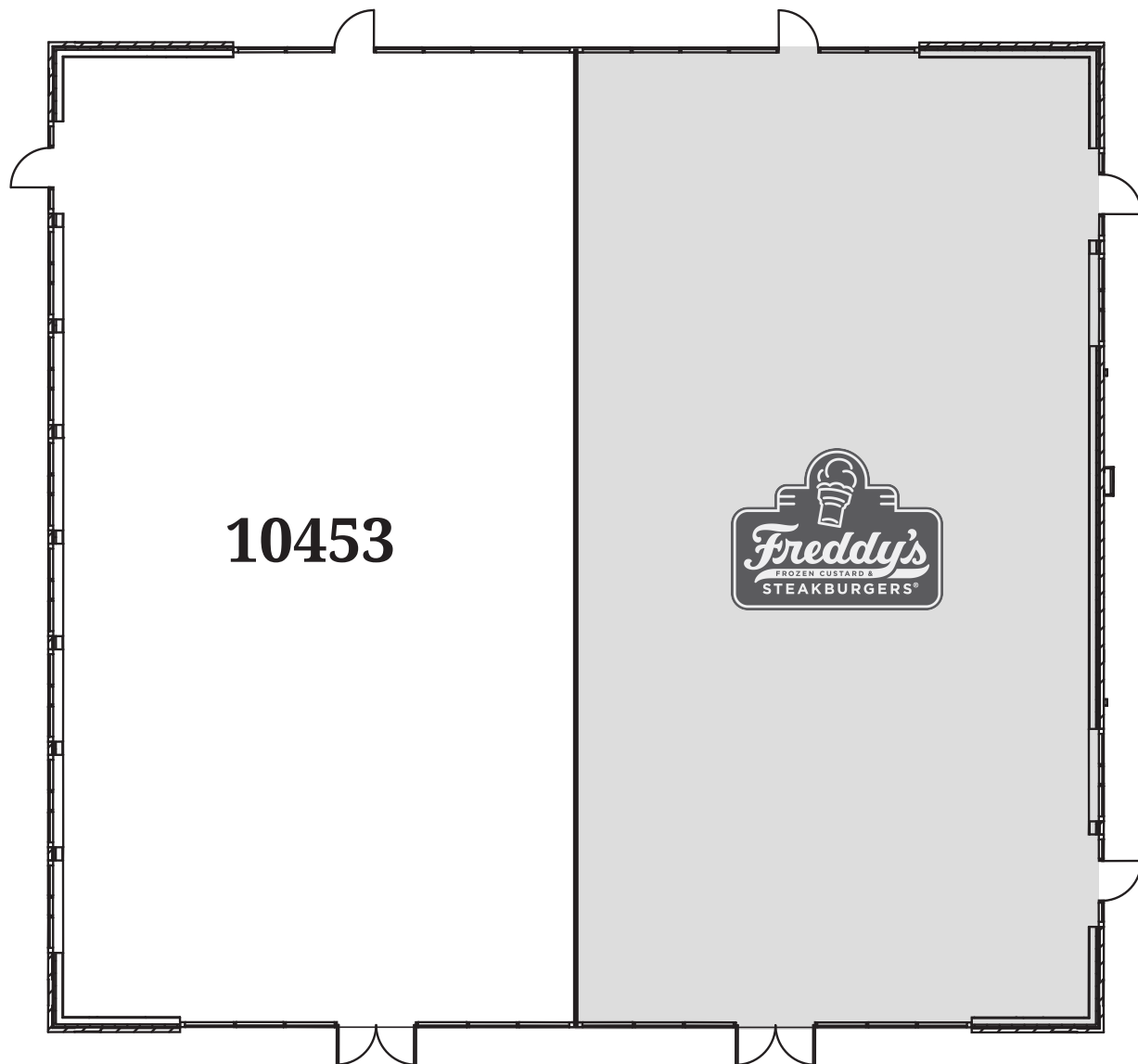
ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS.

DRAWN BY: JB

Creve Coeur Pavilion

10453 Olive Blvd.

As-Built 3,000 Sq. Ft.



* Dimensions are Deemed
as Accurate but not to Scale

BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING A NEW CONDITIONAL USE PERMIT FOR
BEERSAUCE CCR, LLC DBA BEERSAUCE SHOP, LOCATED AT 10453 OLIVE
BOULEVARD, WITHIN THE CREVE COEUR PAVILION SHOPPING CENTER,
ZONED CB-CORE BUSINESS DISTRICT**

WHEREAS, under Section 405.370(C), NAICS 722410 Drinking Places (Alcoholic Beverages) requires the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, Daniel Gustafson, of BeerSauce CCR, LLC, submitted an application for a conditional use permit for a 3,000 square foot craft beer and whiskey bar, with 55 indoor seats and 34 outdoor seats, at 10453 Olive Boulevard, within the Creve Coeur Pavilion Shopping Center, zoned CB-Core Business District; and

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, May 3, 2021, beginning at 6:30 p.m. or immediately following the close of the previous public hearing, on said application for the amendment to the conditional use permit as provided by Section 405.1070(D)(2); and

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and

WHEREAS, the Planning and Zoning Commission reviewed and, by a ____ vote, recommended approval of the request, subject to the conditions contained herein, at its meeting on May 3, 2021; and

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed amended conditional use, when subject to certain conditions set forth herein:

1. Complies with all other applicable provisions of this Chapter including environmental performance standards presented in Section 405.550, the criteria in Section 405.470 and the standards of this Chapter in regard to yard and setback, parking and loading areas, screening and buffering, refuse, storage and service areas and signs.
2. Will contribute to and promote the community welfare and convenience at the specific location.
3. Will not cause substantial injury to the value of neighboring property.
4. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation there from.
5. Will provide, if applicable, erosion control and on-site stormwater detention in accordance with the standards contained in this Chapter.

BILL NO. _____

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6. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, Missouri, as follows:

Section 1: A Conditional Use Permit is authorized to be issued pursuant to Section 3 hereof for the operation of BeerSauce Shop at 10453 Olive Boulevard, Creve Coeur, MO, 63141, within the Creve Coeur Pavilion Shopping Center, zoned CB-Core Business District, whose legal description is as follows:

Parcel 1: Lots 1, 2 and 3 of Pavilion Subdivision No. 1, according to the plat thereof recorded in Plat Book 350, Page(s) 195 through 197 of the St. Louis County Records.

Parcel 2: A tract of land located in part of the Northwest quarter of Section 1, Township 45 North, Range 5 East and in the Ravenwood Subdivision Plat 1, according to the plat thereof recorded in Plat book 69 page 12 in St. Louis County, Missouri, as acquired by the Missouri Highway and Transportation Commission by deed recorded in Book 3927 page 132; described as beginning at point 80 feet perpendicular distance North of Station 221+35 on the hereinafter described centerline of route 340; thence Northeasterly point 140 feet perpendicular distance North of the centerline Station 224+00; thence easterly and parallel with said centerline for a distance of 79.23 feet; thence South 01 degrees 06 minutes 00 seconds east to a point 80 feet North of said centerline of Route 340; thence Westerly a distance of 344.23 feet to point of beginning.

The centerline of Route 340 is described as beginning at the Southeast corner of Ravenwood Subdivision Plat No. 1, according to the plat thereof recorded in Plat Book 69 page 12 of the St. Louis County Records, Said corner being Station 226+28.75 on the centerline of Route 340 and being distant North 88 degrees 22 minutes West 194.67 feet from the Northeast corner of the Southwest quarter of the Northwest quarter of Section 1; thence North 88 degrees 22 minutes West along said centerline of distance of 628.75 feet to station 220+00, being the point of ending.

Parcel 3: A tract of land in the Northwest $\frac{1}{4}$ of Section 1, Township 45 North, Range 5 East in St. Louis County, Missouri and being part of a tract shown as Share "B" on Plat accompanying Commissioner's Report in Partition Suit of Matthew Legg, et al, against Gustave Guelberth in St. Louis Land Court October Term 1865, and described as follows:

Beginning at the point of intersections of Northwest line Ravenwood Plat Number 1, a Subdivision recorded in Plat Book 69 page 12, with the Northeast line of Ravenwood Lane, 50.00 feet wide, thence along the Northeast Line of Ravenwood Lane, North 56 degrees 42 minutes 00 seconds West 180.00 feet to a point of curve, thence Northwest along a curve to the right having a radius of 20.00 feet an arc distance of 31.42 feet to a point in the Southeast line of Old Olive Street Road, thence along said Southeast line, North 33 degrees 18 minutes 00 seconds east 134.60 feet and North 41 degrees 56 minutes 00 seconds East 94.22 feet to Northwest corner of a tract of land described to Nezam E. and Marcia J. Sadeghi by deed recorded in book 10462, page 784, thence along the Western line of said Sadeghi tract South 60 degrees 49 minutes 00 seconds East 76.31 feet to a point on the South line of that part of Share "B" described to Mathilda Lowe by deed recorded in book 666 page 153, thence along said South line, North 90 degrees 00 minutes 00 seconds East, 131.30 feet to the Northwest line of Ravenwood Plat Number 1;

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aforesaid, thence along said Northwest line South 33 degrees 18 minutes 00 seconds West 325.32 feet to the point of beginning.

Parcel 4: A tract of land in the Northwest $\frac{1}{4}$ of section 1, Township 45 North, Range 5 East, City of Creve Coeur, St. Louis County, Missouri and all of Lots 3 and 4 and part of Lots 1, 2, 17, 19, and 20 of Ravenwood Plat Number 1, a subdivision recorded in Plat Book 69 page 12 of the St. Louis County Records and that part of Coventry Court, 50.00 feet wide, vacated by Ordinance Number 479 of the City of Creve Coeur a certified copy of which is recorded in Book 6291 page 2049 and part of Ravenwood Lane, 50.00 feet wide, vacated by Ordinance Number 1893, a certified copy of which is recorded in Book 11316 page 540, together described as follows:

Beginning at point on the South line of Ravenwood Lane, 50.00 feet wide, as shown on the plat of Ravenwood Plat Number 1 a subdivision recorded in Plat Book 69 page 12 said point being the Northeast corner of tract of land described the State Highway Commission of Missouri by deed recorded in Book 3927 page 132, said point also being distant North 56 degrees 42 minutes 00 seconds West 180.00 feet from the Northwest corner of Lot 4 of Ravenwood Plat Number 1, thence along the South line of Ravenwood Lane, South 56 degrees 42 minutes 00 seconds East 25.00 feet to a point in the centerline of Ravenwood Lane, thence along said centerline, South 56 degrees 42 minutes 00 seconds East 25.00 feet to a point in the centerline of Coventry Courts, thence along said Centerline North 33 degrees 18 minutes 00 seconds East 10.00 feet to appoint in the centerline of Ravenwood Lane, thence along said centerline, South 56 degrees 42 minutes 00 seconds East 165.00 feet to a point; said point being the center of a cul-de-sac, thence South 16 degrees 30 minutes 51 seconds East 50.00 feet to the Northeast corner of Lot 17 of Ravenwood Plat Number 1, thence along the East line of said Lot 17, South 11 degrees 01 minutes 57 seconds east 2.64 feet to a point on the North line of Olive Street Road (State Highway 340) as established by deed recorded in Book 3927 page 132, thence along the North line of Olive Street Road the following: South 88 degrees 54 minutes 00 seconds West 79.23 feet to a point, South 76 degrees 08 minutes 33 seconds West 271.71 feet to a point, South 88 degrees 54 minutes 00 seconds West 88.15 feet to appoint of curve, Westwardly along a curve to the left having a radius of 11,539.20 feet and an arc distance of 150.89 feet to a point in the East line of Old Olive Road, thence along said East line the following: North 02 degrees 08 minutes 27 seconds Wet 59.67 feet to a point of curve, Northeast along a curve to the right whose radius point bears North 88 degrees 02 minutes 17 seconds East 360.28 feet and an arc distance of 221.73 feet to the point of tangent and North 33 degrees 18 minutes 00 seconds East 120.69 feet to the point of beginning.

Locator No.: 17M 430 487- Lot 1- Parcel 1
 Locator No.: 17M 430 498- Lot 2- Parcel 1
 Locator No.: 17M 430 502- Lot 3- Parcel 1
 Locator No.: 17M 430 476 –Parcel 2
 Locator No.: 17M 430 355- Parcel 3
 Locator No.: 17M 430 432- Parcel 4

Section 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. The Conditional Use Permit shall be for the operation of a 3,000 square foot drinking places (alcoholic beverages) establishment at 10453 Olive Boulevard within the Creve Coeur Pavilion Shopping Center.

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2. Maximum seating permitted is limited to 55 indoor seats and 34 outdoor seats. The Zoning Administrator may authorize additional outdoor seating, based up review of an outdoor seating plan to ensure all relevant Zoning and Building Codes are adequately addressed.
3. Hours of operation shall be 11:00 a.m. to 10:00 p.m., Monday through Saturday, and 11:00 a.m. to 6:00 p.m. Sunday. Additional business hours may be permitted with the Zoning Administrator's approval including, but not limited to, the catering of special events.
4. Employee parking, delivery and company vehicles shall be parked interior to the site and as far from the public right-of-way as possible.
5. Outdoor speakers may be used in the patio area only and shall not produce any sound exceeding 60dB at a straight-line distance of 100 feet or greater.
6. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code.
7. Any mechanical equipment installed for the site shall be properly screened with approved materials.
8. Any future enlargement, extension, expansion, or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
9. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
10. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained, and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
11. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

Section 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue an amended Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

SECTION 4: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2021.

BILL NO. _____

ORDINANCE NO. _____

HEATHER SILVERMAN
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2021.

DR. ROBERT HOFFMAN
MAYOR

ATTEST:

DEBORAH RYAN, MPCC
CITY CLERK