



AGENDA
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, AUGUST 1, 2022
6:00 PM

Pursuant to Section 610.022 RSMO, the Planning and Zoning Commission could, at any time during the meeting, vote to close the public meeting and move to closed session to discuss matters relating to litigation, legal actions and/or communications from the City Attorney as provided under Section 610.021(1) RSMo. and/or personnel matters under Section 610.021(13) RSMo. and/or employee matters under Section 610.021(3) RSMo. and/or real estate matters under Section 610.021(2) or other matters as permitted by Chapter 610.

Reports, documents, plans, and related materials are available for examination at the Creve Coeur Government Center, 300 North New Ballas Road, prior to the meeting.

Special disabled service may be arranged by contacting the Office of the City Administrator in advance.

CALL TO ORDER

ROLL CALL

Ms. Julie LaBonte (Chair)
Ms. Muriel Hall
Mr. Larry Potashnick
Mr. AJ Wang
Ms. Rhonda O'Brien
Mr. Thomas Buelter
Ms. Marjorie Richter

Mr. Carl Lumley, City Attorney
Mr. Jason Jaggi, Director of Community Development
Ms. Bethany L. Moore, City Planner
Ms. Megan Waller, Administrative Supervisor/Recording Secretary

ACCEPTANCE OF THE AGENDA

APPROVAL OF MINUTES

- 1. July 18, 2022 Planning and Zoning Commission Draft Meeting Minutes**

PUBLIC COMMENT

An opportunity for members of the public to address the Planning and Zoning Commission regarding issues or concerns not already on the agenda for this meeting. Those wishing to speak will be asked to limit comments to three minutes and to complete a speaker card.

UNFINISHED BUSINESS**1. Application #22-012: Minor Site Plan for Four Electric Vehicle Charging Stations and Accompanying Equipment Located Within Plaza Shops at 745 North New Ballas Road**

Robert Ridel, of eStructure Solutions, has submitted a request to install four electric vehicle charging stations with accompanying equipment in the Plaza Shops existing parking lot. The purpose of the minor site plan approval procedures is to enable the City to consider potential impacts upon the area in the vicinity of the property, to ensure consistency with good planning practice and to ensure high standards of site design for the general welfare of the City and its residents. City Council approval is not required for minor site development plans. **Moved to August 15th meeting.**

NEW BUSINESS**1. PUBLIC HEARING Application #22-017: Conditional Use Permit for First Bank Located Within Creve Coeur Shopping Center at 11947 Olive Boulevard**

Jason Gray, on behalf of First Bank, has submitted an application for a Conditional Use Permit for a First Bank location at 11947 Olive Boulevard within the Creve Coeur Shopping Center in the “CB” Core Business Zoning District. No modifications to exterior elevations or landscaping are proposed. No exterior ATM construction or drive through services are proposed. All banking activity will be conducted inside the location. The location will include traditional banking, ATM and safety deposit services with anticipated hours to be Monday to Friday from 9am to 5pm and Saturdays from 9am to 12pm. NAICS 522110 Commercial Banking is permitted as a conditional use with review in the CB zoning district and approval by the City Council upon the recommendation of the Planning and Zoning Commission.

WORK AGENDA

(None)

DEPARTMENT REPORTS

Jason Jaggi, Director of Community Development

ADJOURNMENT

Posted: _____

Jason W. Jaggi
Director of Community Development



DRAFT MINUTES
PLANNING AND ZONING COMMISSION MEETING
CITY OF CREVE COEUR, MISSOURI
MONDAY, JULY 18, 2022
6:00 PM

CALL TO ORDER

The meeting was called to order at 6:00 PM.

ROLL CALL

AJ Wang	Commission Member	
Rhonda O'Brien	Commission Member	
Marjorie Richter	Commission Member	
Julie LaBonte	Chair/Commission Member	
Thomas Buelter	Commission Member	(Absent)
Muriel Hall	Commission Member	
Larry Potashnick	Commission Member	(Absent)

The following staff were also present:

Carl Lumley, City Attorney

Jason Jaggi, Director of Community Development

Bethany Moore, City Planner

Megan Waller, Administrative Services Supervisor/ Recording Secretary

ACCEPTANCE OF THE AGENDA

Mr. Wang made a motion to approve the agenda. Ms. Richter seconded. All in Favor.

APPROVAL OF MINUTES

1. July 5, 2022 Planning and Zoning Commission Draft Meeting Minutes

Mr. Wang moved to approve the July 5th, 2022 minutes. Ms. Richter seconded. All in favor.

PUBLIC COMMENT

None

Attachment: Draft Minutes 7.18.22 (July 18 PZ Draft Meeting Minutes)

UNFINISHED BUSINESS**1. Application #22-012: MINOR SITE PLAN FOR FOUR ELECTRIC VEHICLE CHARGING STATIONS AND ACCOMPANYING EQUIPMENT LOCATED WITHIN PLAZA SHOPS AT 745 NORTH NEW BALLAS ROAD**

Mr. Zachary Cosby, e-structure solutions, presented on behalf of EvGo.

Mr. Cosby presented the location and landscaping of the charging stations. He explained that the location proposed by staff is not acceptable to the property owner. He stated that landscaping may be adjusted to help hide power equipment.

Ms. O'Brien asked Mr. Cosby to give an overview of the project.

Mr. Cosby stated that these are fast chargers that will take 25-40 minutes for personal vehicles.

Mr. Cosby stated that the power will be run from the main road and occasionally there may be small trucks for maintenance of the power equipment.

Mr. Cosby stated that the 4-stall model is the typical model at this time to allow adequate non-electric vehicle parking.

Mr. Cosby stated that screening adjustments can be made to better hide the power station. He also explained that relocating the project will take up additional parking spaces and the owner will not allow this.

Ms. LaBonte had concerns with the size and location of the charging station. She also asked for clarification on the service model. Mr. Cosby stated that EvGo has 24-hour repair service.

Ms. LaBonte asked how users report problems with the charging stations. Mr. Cosby stated that there is a hotline to call. Mr. Cosby also stated that the charging times depend on the charger as well as the vehicle.

Ms. LaBonte asked if tenants of the plaza have given feedback. Mr. Cosby did not have this information.

Mr. Wang asked if this model can be upgraded for future needs. Mr. Cosby stated that spare conduits will be placed under ground for easy upgrades in the future.

Mr. Wang asked about the length of the charging cables. Mr. Cosby stated they are typically 13 feet long.

Ms. LaBonte asked if it is a ticket-able offense for a gas vehicle to park in an electric space. Mr. Cosby stated not at this time.

Ms. Bethany Moore, City Planner, stated that currently the City does not have codified regulations or requirements on charging stations.

Ms. Moore stated that this project requires the use of 5 existing parking spaces and that there is very little landscaping and pervious surfaces.

Ms. Moore stated that this site was developed before the zoning code was in place and does not meet the current zoning code. She explained that the project will need to put back or make up for any removed existing landscaping because it is already over the allowable site coverage.

Ms. Moore stated that staff has concerns regarding the location of the project. She explained that staff has suggested alternative locations and alternatives to the privacy fence, as it is not tall enough to cover the charging equipment.

Ms. Moore stated that conditions of approval include a final landscaping plan to be reviewed and approved by staff, replacement of the fence with evergreen trees, and site coverage calculations.

Ms. LaBonte asked for clarification as to why the project cannot be relocated to the side of the building. Ms. Moore stated that there may not be room for the equipment. Mr. Crosby stated that the site host will not agree to giving up the additional spaces to relocate the project to the side. He also explained that there is not enough access to power for the equipment in the back of the building.

Mr. Wang asked if staff will suggest a height of tree. Ms. Moore stated that the proposed trees are 8 feet tall.

Ms. O'Brien asked if the current landscaping will need to be removed. Ms. Moore stated that it would.

Ms. LaBonte asked how the trees will be maintained near the power source. Mr. Crosby stated that a soaker system will likely be installed to water the trees.

Mr. Jason Jaggi, Director of Community Development, stated that this is a focal point of the site. He stated that staff understands that there is demand for the service, but have tried to work with the applicant to relocate the project on the site.

Mr. Jaggi asked the applicant to explain why this site was chosen. Mr. Crosby stated that the property owner reached out to EvGo to install the charging stations. He also stated that EvGo offers to lease the space from the property owners.

Mr. Jaggi asked the applicant if there are incentives to help offset the cost of the program. Mr. Crosby stated that it varies state by state but often there are incentives from the power company.

Ms. Richter asked if the property owner or tenants requested to have the charging stations installed. Mr. Crosby stated it is the property owner. Ms. Richter asked if the tenants have been notified. Mr. Crosby did not know.

Ms. LaBonte stated that she would like feedback from the tenants.

Ms. O'Brien had concerns regarding the replacement landscaping given the size of the equipment.

Ms. Hall suggested that the board move to continue to the next meeting in order to obtain more information and additional drawings including the landscaping plan.

Ms. Richter stated that she would like to hear from the tenants before making a decision. Ms. O'Brien stated that she would like there to be more discussion on relocating the project to the side of the building. Mr. Jaggi suggested presenting more information as to why a different location will not work for the applicant.

Mr. Lumley stated that the proposed condition looks at site coverage calculations. He stated that losing additional parking may happen regardless of location due to the calculations. He suggested making sure that the property owner understands the requirements of the coverage calculation condition.

Mr. Wang made a motion to continue to the next meeting. Ms. O'Brien seconded. All in favor.

RESULT:	CONTINUED [UNANIMOUS]	Next: 8/1/2022 6:00 PM
MOVER:	AJ Wang, Commission Member	
SECONDER:	Rhonda O'Brien, Board Member	
AYES:	Wang, O'Brien, Richter, LaBonte, Hall	
ABSENT:	Potashnick, Buelter	

NEW BUSINESS

1. PUBLIC HEARING Application #22-016: a CONDITIONAL USE PERMIT FOR TIMOTHY'S THE RESTAURANT LOCATED AT 12710 OLIVE BOULEVARD WITHIN BELLERIVE PLAZA

Those speaking to the request were sworn in.

Mr. Steven Manns, 12710 Olive, stated that the proposed project will increase the awning on the existing patio and include panels to enclose the patio for continued use throughout the colder months.

Ms. Moore stated that because the awning is proposed for the outdoor seating area with enclosure further into the year, the increased seating requires additional parking.

Ms. Moore stated that a complete parking count was completed for the plaza and the additional parking requirements will not be an issue.

Ms. Moore stated that it is up to the commission to decide if the existing landscaping is adequate.

Ms. Moore stated that conditions of approval include applying for a building permit and the panels be removed during the warmer months to create outdoor seating.

Ms. LaBonte asked why removing the panels is a condition of approval. Ms. Moore stated that the comprehensive plan seeks to increase outdoor seating. Mr. Jaggi stated that staff does not want the panels to become additional indoor seating year-round.

Ms. O'Brien asked if the wrought Iron fence will remain. Mr. Manns stated it will be removed.

Ms. O'Brien asked if the sidewalk in front of the patio will remain a walkway or if it will become additional seating. Mr. Manns stated that it will remain a sidewalk.

Ms. O'Brien asked the materials of the side panels. Mr. Manns stated they are a canvas material.

Mr. Lumley offered the exhibits into the record.

Mr. Wang made a motion to recommend approval of the application with staff conditions as stated in draft ordinance. Ms. Hall seconded. All in favor.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	AJ Wang, Commission Member
SECONDER:	Muriel Hall, Commission Member
AYES:	Wang, O'Brien, Richter, LaBonte, Hall
ABSENT:	Buelter, Potashnick

2. PUBLIC HEARING. Application #22-015: Text Amendment to Modify the Front Yard Setback Requirements in the CB-Core Business District for Parcels Located North of Olive Boulevard

Those speaking to the request were sworn in.

Mr. Jason Jaggi, Director of Community Development, stated that this text amendment application affects all the properties in the CB district north of Olive Blvd.

Mr. Jaggi stated that this application is an amendment in advance of another application in review that will come before the commission at a later date.

Mr. Jaggi stated that the applicant hopes to demolish the existing First Bank building and create a new building for their headquarters.

Mr. Jaggi stated that when the existing structure was built, the setback requirement was a 15-foot minimum. He explained that if the parking was in front of the building, the setback requirement changed to a 50-foot minimum.

Mr. Jaggi stated that in 1999, the setback requirements were changed to a maximum of 15-foot and has been amended several times since.

Mr. Jaggi stated that the request is to amend the front yard setback standards to a minimum 10-foot and remove the 15-foot maximum in the Core Business District for properties on the North side of Olive Blvd regarding other street frontages. He explained that many of the other non-residential districts have this setback requirement. He also stated that properties on the South of Olive Blvd will not be affected by the amendment and that the 80-foot maximum along Olive Blvd will remain.

Mr. Jaggi stated that there is a provision that states that sidewalks and street trees are required in the 10-foot setback.

Mr. Jaggi stated that the comprehensive plan refers to place types and the core business zoning district captures 4 place types. He explained the existing 15-foot setback is very difficult to apply.

Mr. Jaggi stated that he researched other recent developments in this area and they have received modifications to the setback requirement and gave examples.

Mr. Jaggi stated that staff does believe the 80-foot maximum setback along Olive Blvd should remain.

Ms. LaBonte asked if reducing the setback requirement will impact the feasibility of having sidewalks. Mr. Jaggi stated that the proposal does not mandate reduced setbacks and sidewalks will remain a requirement.

Ms. Hall asked for clarification overall on the proposed changes. Mr. Jaggi stated that the amendment will allow the buildings to be moved further away from the setback.

Ms. O'Brien asked if the sidewalk and landscaping would count as part of the setback. Mr. Jaggi stated that the first 10 feet would have to be improved with sidewalks and street trees.

Ms. Hall and Ms. O'Brien had concerns with the 10-foot minimum set back. Mr. Jaggi stated that this number was chosen to be consistent with the other commercial districts.

Ms. LaBonte suggested adding the 10-foot minimum to the requirement for all of the Core Business Districts, not just this section of Olive Blvd.

Mr. Tyler Meyer, LJC, stated that the goal of First Bank is to have a forward-looking office building. He stated that the current building is outdated and will not meet the future goals of First Bank.

Mr. Meyer stated that the proposed building will be a "U" shape wrapped around a courtyard. He explained that there will be multiple exterior spaces that will allow outdoor workspaces. He explained that the current setbacks would require a very long skinny building and would not allow for the proposed building.

Mr. Meyer presented a rendered photo of the planned development including the proposed landscaping. He also showed a rendering of a building that would meet the current set back requirements. Ms. Hall had concerns with the amount of green space along the east side of the building.

Ms. Lauren Tally, First Bank, stated that First Bank has been in business since 1906 and is very committed to Creve Coeur. She explained that the current building served well, but it is dated and no longer fits the needs of the headquarters.

Ms. Tally stated that the goal is to offer outdoor workspace to current employees and attract desirable new employees with these amenities.

Mr. Lumley offered the exhibits into the record.

Mr. Wang made a motion to recommend approval of the text amendment with the addition of a minimum 10-foot setback on all frontage and a maximum 80-foot setback along Olive Blvd. Ms. O'Brien seconded. All in favor.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	AJ Wang, Commission Member
SECONDER:	Rhonda O'Brien, Board Member
AYES:	Wang, O'Brien, Richter, LaBonte, Hall
ABSENT:	Buelter, Potashnick

WORK AGENDA

1. ELECTION OF A VICE CHAIR

Mr. Wang was nominated as vice chair of the planning and zoning commission. All in favor.

DEPARTMENT REPORTS

Mr. Jaggi updated the commission that the City Council decided to continue the drive thru text amendment to the first meeting in September with a work session before.

Mr. Jaggi stated that there will be two applications for the first meeting on August 1st. He also stated that there are currently two applications for the August 15th meeting.

ADJOURNMENT

Mr. Wang made a motion to adjourn. Ms. Hall seconded. All in favor. The meeting adjourned at 8:01 PM.



APPLICATION TO PLANNING AND ZONING COMMISSION

#22-017: CONDITIONAL USE PERMIT FOR FIRST BANK LOCATED WITHIN THE CREVE COEUR SHOPPING CENTER AT 11947 OLIVE BOULEVARD

FOR THE MEETING OF: **Monday, August 1, 2022, 6:00 PM.**

LOCATION: 11947 Olive Boulevard, zoned "CB" Core Business District.

REQUEST: Jason Gray, on behalf of First Bank, has submitted an application for a Conditional Use Permit for a First Bank location at 11947 Olive Boulevard within the Creve Coeur Shopping Center in the "CB" Core Business Zoning District. NAICS 522110 Commercial Banking is a conditional use in the "CB"-Core Business Zoning District. No modifications to exterior elevations or landscaping are proposed. No exterior ATM construction or drive through services are proposed. All banking activity will be conducted inside the location. The location will include traditional banking, ATM, and safety deposit services with anticipated hours to be Monday to Friday from 9am to 5pm and Saturdays from 9am to 12pm.

ADDITIONAL INFORMATION: First Bank is seeking to move their operations from their current location at 11901 Olive Boulevard to 11947 Olive Boulevard on a short-term basis of two years while their new building at 11901 Olive is under construction. NAICS 522110 Commercial Banking is permitted as a conditional use in the CB zoning district with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission.

Key Issues:

- Does the request further the goals and/or implement the Comprehensive Plan?
- Is the request consistent with the requirements for a conditional use permit?

Creve Coeur 2030 Plan References

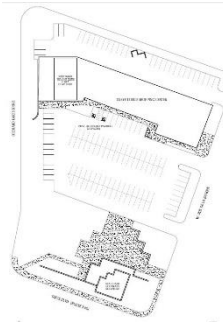
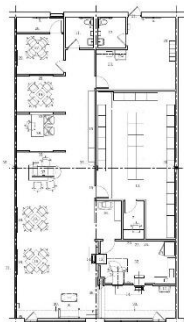
- Central Business District
- MU-Mixed Use District
- Design Guidelines

Zoning Code References

- Section 405.370: CB-Core Business District
- Section 405.470: Conditional Uses
- Section 405.820: Required Off-Street Parking Spaces

APPLICANT: Jason Gray
First Bank
11901 Olive Boulevard
Creve Coeur, MO 63141

PROPERTY OWNER: Drury Development Corporation
13075 Manchester Road, Suite 200
St. Louis, MO 63131



REPORT PREPARED BY: Bethany Moore, City Planner

DATE: 7/25/2022

ATTACHMENTS: Applicant's Materials received July 11, 2022
Draft Ordinance

BACKGROUND:

First Bank is currently operating out of their existing office building at 11901 Olive Boulevard, across West Rue De La Banque from the proposed location at 11947 Olive Boulevard in the Creve Coeur Shopping Center. First Bank is planning to move operations to the 11947 Olive Boulevard space on a temporary, two-year basis while the new building is under construction at 11901 Olive Boulevard. First Bank is currently in the process of working with staff on the new building application and it will come before the Planning and Zoning Commission in the coming weeks.

PROJECT DESCRIPTION

First Bank is planning to move their operations into the vacant 3,196 square foot space at 11947 Olive Boulevard within the Creve Coeur Shopping Center that was previously ATA Martial Arts of Creve Coeur. The proposal is for interior alterations to accommodate office space and a banking area with internal ATM services. No exterior changes are proposed. There will be no exterior banking drive through lanes or ATM services at this location. NAICS 522110 Commercial Banking is a conditional use in the City of Creve Coeur. Parking requirements are calculated at 4 parking stalls per 1,000 square feet of gross floor area.

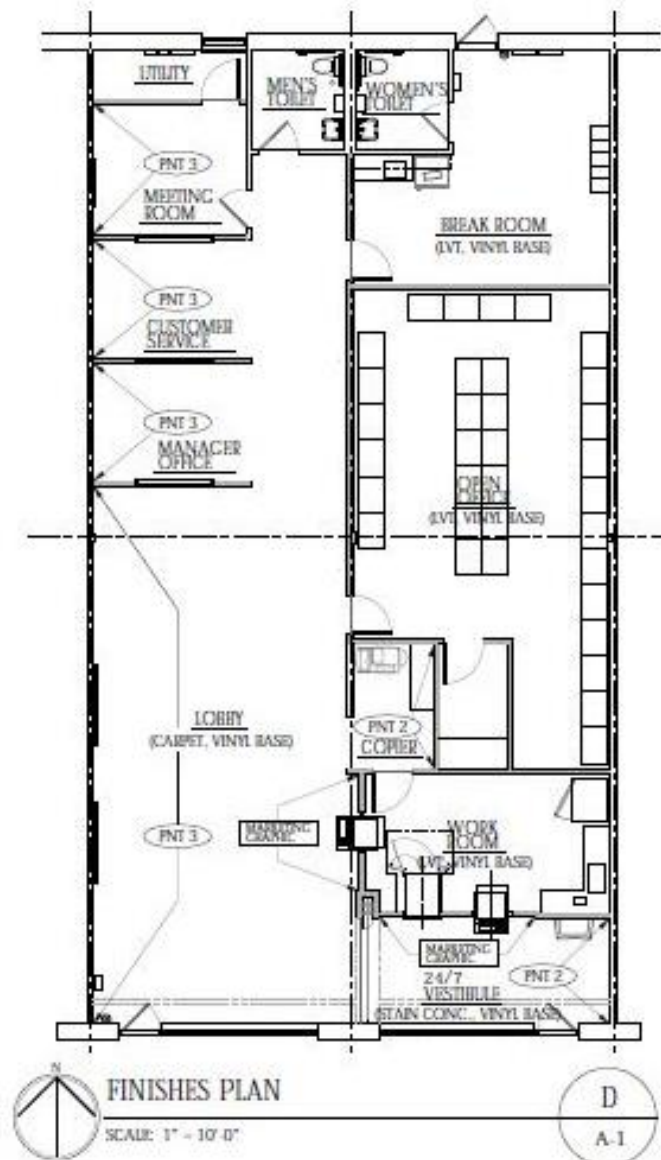


Figure 1: First Bank proposed floor plan.

LAND USE AND ZONING OF SURROUNDING PROPERTIES

The adjacent zoning and land uses are as follows:

DIRECTION	USE	ZONED	SEPARATED BY
North	Residential	Unincorporated St. Louis County	N/A
South	Commercial	CB-Core Business	Olive Boulevard
East	Bank	CB-Core Business	W. Rue de la Banque
West	Commercial	CB-Core Business	Orchard Lakes Drive

COMPREHENSIVE PLAN REVIEW

Creve Coeur 2030 Plan

The *Creve Coeur 2030 Plan* includes the subject property in both the Mixed-Use District (MU) and the overlapping Central Business District (CBD). The Mixed-Use District supports a variety of medium-density commercial, retail, office, dining, community services, and multi-family residential through primarily vehicular access with improved walkability, pedestrian connections, and beautifully landscaped streets (p.82). The Central Business District is designed to create a vibrant, walkable, amenity rich, mixed use commercial center surrounding a high intensity Downtown core. Over time, Olive Boulevard will become an urban thoroughfare setting adjacent to large development parcels (p.72). Therefore, as a community service, the use within the shopping center is consistent with the Comprehensive Plan.

ZONING REVIEW

NAICS 52210 Commercial Banking is permitted as a conditional use with review and approval by the City Council upon the recommendation of the Planning and Zoning Commission in all of the commercial districts of the City. The entire Creve Coeur Shopping Center complex is 3.49 acres with approximately 20,367 square feet of retail space. The proposal is for 3,196 square feet thus representing roughly 15.7% of the complex's square footage.

Parking:

Parking regulations for commercial banks are discussed under Section 405.820(G)(2) Required Off-Street Parking Spaces. It requires one 1 parking space per every 1000 square feet of gross floor area. Multi-tenant retail shopping centers designed for restaurant, retail uses, and personal service establishments may combine the total parking spaces for each use, less a fifteen percent (15%) reduction in the total number of parking spaces required, per Section 405.820(B)(1). The proposed use is a commercial bank with internal office space operating out of the 3,196 square foot retail space. Per the above calculation, 13 parking spaces are required for this use.

The following parking table takes into account the existing uses at the Creve Coeur Shopping Center and their required parking counts taken either from their Conditional Use Permits for restaurants or determined for their use from the Zoning Code. The surface parking at the center has a total of 186 parking spaces. The following parking table shows that a total of 142 parking spaces are required for all existing uses at the center. When the 15% parking reduction for the development is calculated it comes to 22 spaces, making the total number of required parking spaces for the shopping center 120 with a surplus of 66 excess parking spaces on site for the current uses.

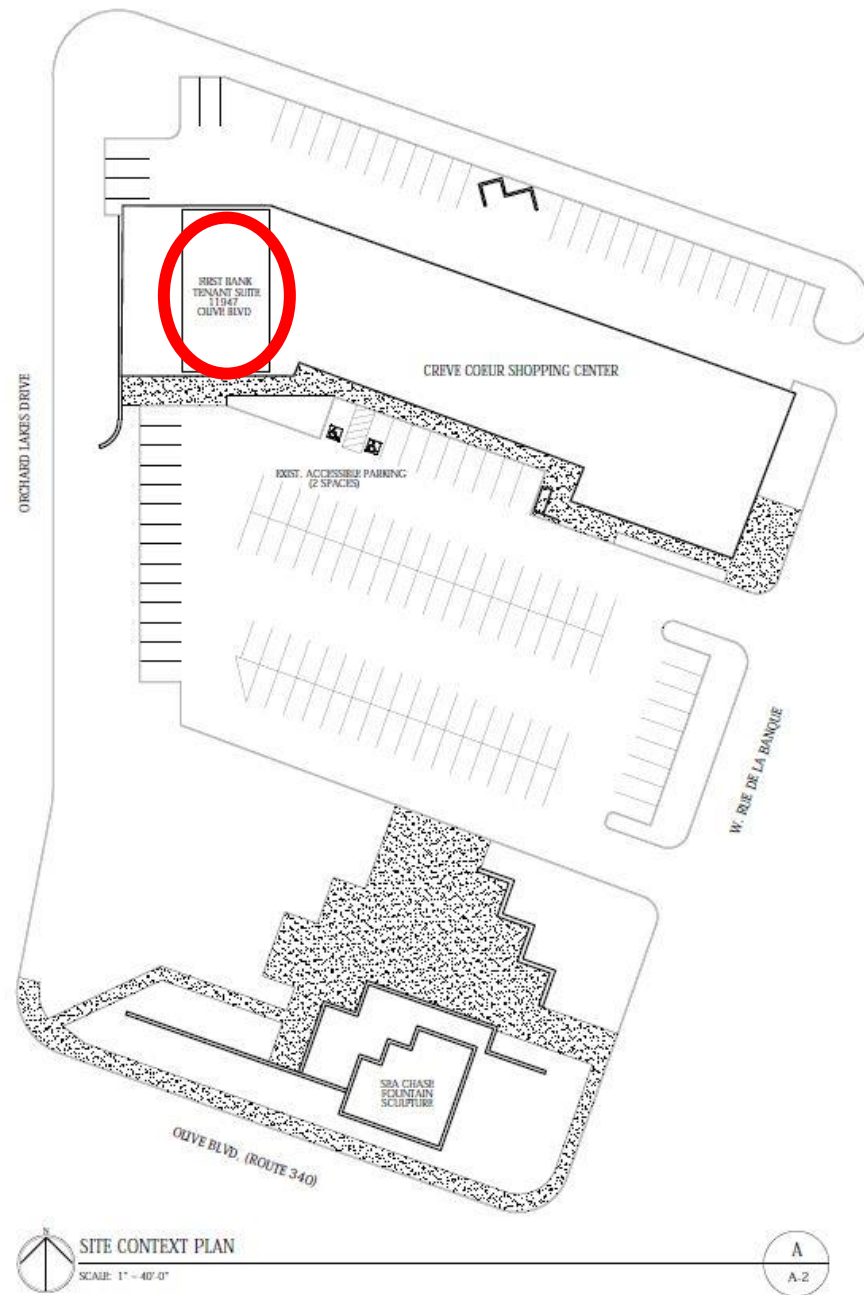


Figure 2: Available Parking for Creve Coeur Shopping Center. Red circle indicates tenant space.

Below is the current parking table for the entire center based on existing uses and seating estimates for restaurant uses:

Tenant	Use	Size (sq. ft.)	Parking Regulations	# of spaces
11921 – Pickleman’s	Restaurant (46 indoor seats and 12 outdoor seat)	2,050	1/3 seats in CUP, + 1/8 outdoor seats, + 1/250 sq. ft..	27
11923 – Club Champion	General Retail	2,771	4/1000 sq. ft.	11

11927 – Natural Health Center	Other Health Services	1,240	4/1000 sq. ft.	5
11929 – La Luna Nails and Spa	Services	1,240	4/1000 sq. ft.	5
11931 – Enterprise	Services	1,200	4/1000 sq. ft. + spaces reserved exclusively for Enterprise's use	15
11933 – Domino's Pizza	Restaurant (<16 seats)	1,200	4/1000 sq. ft.	5
11935 – Chiropractic Center	Other Health Services	1,200	4/1000 sq. ft.	5
11939 – Carretas Mexican Restaurant	Restaurant (80 indoor seats)	4,800	1/3 seats in C.U.P. + 1/250 sq. ft..	47
11947 – Proposed First Bank Location	Finance	3,196	4/1000 sq. ft.	13
11949 – Prime Time Personal Training	All other personal service establishments	1,841	1/200 sq. ft.	9
Sub-total:				142
Minus 15% Reduction				-22
Total # of Parking Spaces Required:				120
Total Available On-site:				186
Excess Parking:				66

OTHER REVIEW ITEMS

Trash for the restaurant will utilize the existing dumpster located beside the building. The dumpster enclosure is in good repair.

RECOMMENDED CONDITIONS FOR APPROVAL

Based on the above analysis, the request for a conditional use permit appears to meet all of the requirements of the Zoning Ordinances and is not inconsistent with the goals and objectives of the Comprehensive Plan subject to the proposed conditions. If the Planning and Zoning Commission finds the attached draft conditional use permit ordinance to be in conformance with the purposes and regulations of the Comprehensive Plan and Zoning Code, it may vote on a recommendation to the City Council. Any changes to the draft ordinance should be discussed and made by separate actions.

1. The Conditional Use Permit shall be for the operation of an approximately 3,196 square foot Commercial Banking establishment, NAICS 522110, at 11947 Olive Boulevard, within Creve Coeur Shopping Center.
2. Hours of operation shall be 9:00 a.m. to 5:00 p.m., Monday through Friday and 9:00 a.m. to 12:00 pm on Saturday. Additional business hours may be permitted with the Zoning Administrator's approval.
3. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code and require permit approval.
4. A building permit in substantial conformance with the submitted plans for the interior buildout as part of Application #22-017 shall be submitted for review.
5. Any future enlargement, extension, expansion, or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
6. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit.

reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.

7. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained, and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
8. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

ACTION

If the Planning and Zoning Commission finds the attached draft conditional use permit ordinance to be in conformance with the purposes and regulations of the Comprehensive Plan and Zoning Code, it may vote on a recommendation to the City Council. Any changes to the draft ordinance should be discussed and made by separate actions.

MOTION

The following is an example of an appropriate motion for this application:

“I move to recommend approval of a Conditional Use Permit for First Bank located at 11947 Olive Boulevard, within Bellerive Plaza, subject to the conditions discussed in the Staff Report and Draft Ordinance for the meeting of August 1, 2022” (conditions may be added, eliminated, or modified by preceding motion).

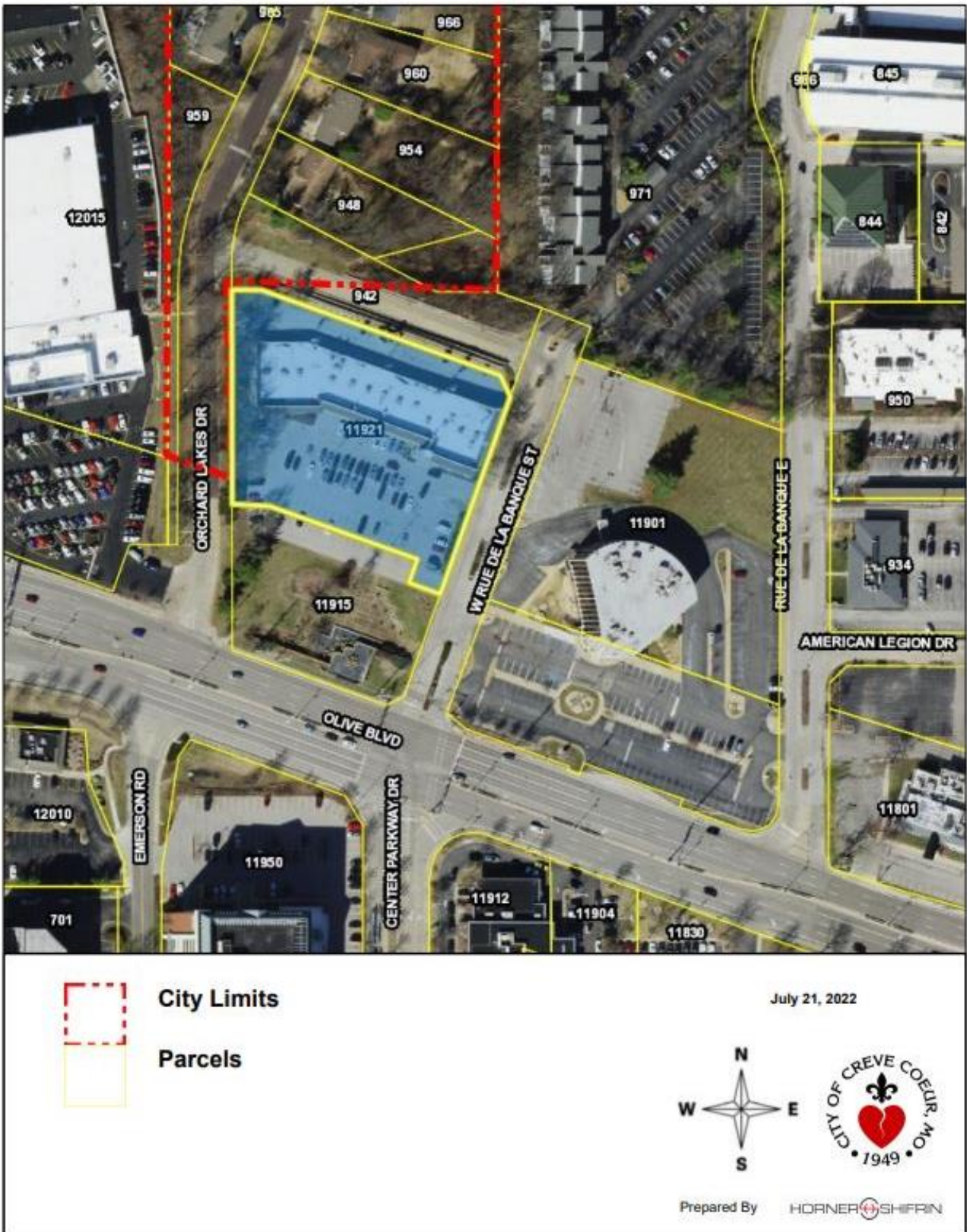
APPENDIX 1: COMPREHENSIVE PLAN, INCLUDING DESIGN GUIDELINES

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 2: ZONING CODE

Included and attached by reference. See body of report for specific excerpts.

APPENDIX 3: AERIAL PHOTO



APPENDIX 4: SITE PHOTOGRAPHS

Photo Date: 7/27/2022



Description:
View from
the parking
lot looking
towards
proposed First
Bank
location.



Description:
Creve Coeur
Shopping
Center
parking lot.

BILL NO. _____

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING THE ISSUANCE OF A NEW CONDITIONAL USE
PERMIT FOR A 3,196 SQUARE-FOOT COMMERCIAL BANKING
ESTABLISHMENT, FOR FIRST BANK, LOCATED AT 11947 OLIVE BOULEVARD,
WITHIN THE CREVE COEUR SHOPPING CENTER**

WHEREAS, under Section 405.370(C), all commercial banking places in the “CB”, Core Business zoning district require the issuance of a conditional use permit as provided in Section 405.1070, Conditional Use Permits; and

WHEREAS, Jason Gray, for First Bank, submitted an application for a new conditional use permit for a 3,196 square foot commercial bank, First Bank, with no drive through banking or ATM services, at 11947 Olive Boulevard, within the Creve Coeur Shopping Center complex; and,

WHEREAS, a public hearing was held by the Creve Coeur Planning and Zoning Commission on Monday, August 1, 2022, beginning at 6:00 p.m. or immediately following the close of the previous public hearing, on said application for the conditional use permit as provided by Section 405.1070(D)(2); and,

WHEREAS, notice of publication for said public hearing had been previously published at least 15 days prior to the hearing, in the St. Louis Countian, a newspaper of general circulation in the City of Creve Coeur; and,

WHEREAS, the Planning and Zoning Commission reviewed and, by a ____ vote, recommended approval of the conditional use permit, subject to the conditions contained herein, at its meeting on August 1, 2022; and,

WHEREAS, all parties desiring to be heard, either for or against said application, were given an opportunity to be heard, and a copy of the proposed ordinance has been made available for public inspection prior to its consideration by the Council; and this Bill having been read by title in open meeting two times before final passage by the City Council, and

WHEREAS, the City Council finds that the application and evidence presented clearly indicate that the proposed conditional use, when subject to certain conditions set forth herein:

1. Will contribute to and promote the community welfare and convenience at the specific location.
2. Will not cause substantial injury to the value of neighboring property.
3. Meets the applicable provisions of the City's Comprehensive Plan and any applicable neighborhood or sector plans and complies with other applicable zoning district regulations and provisions of this Chapter, unless good cause exists for deviation therefrom.
4. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.
5. Will provide, if applicable, erosion control and on-site stormwater detention in accordance with the standards contained in this Chapter.
6. Will be compatible with the surrounding area and thus will not impose an excessive burden or have a substantial negative impact on surrounding or adjacent users or on community facilities or services.

BILL NO. _____ **ORDINANCE NO.** _____

NOW, THEREFORE, be it ordained by the City Council of the City of Creve Coeur, St. Louis County, Missouri, as follows:

Section 1: A Conditional Use Permit is authorized to be issued pursuant to Section 3 hereof for the operation of a commercial banking located at 11947 Olive Boulevard, in the “CB” Core Business zoning district, within the Creve Coeur Shopping Center complex, whose legal description is as follows:

CONSOLIDATED LOT “A” OF THE SUBDIVISION PLAT FOR 11921 OLIVE BOULEVARD & 942 ORCHARD LAKES DRIVE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 367, PAGE 265-266 OF THE SAINT LOUIS COUNTY RECORDS.

Section 2: The Conditional Use Permit granted shall be subject to all applicable statutes, ordinances, rules and regulations, and the following conditions:

1. The Conditional Use Permit shall be for the operation of an approximately 3,196 square foot Commercial Banking establishment, NAICS 522110, at 11947 Olive Boulevard, within Creve Coeur Shopping Center.
2. Hours of operation shall be 9:00 a.m. to 5:00 p.m., Monday through Friday and 9:00 a.m. to 12:00 pm on Saturday. Additional business hours may be permitted with the Zoning Administrator’s approval.
3. All signs and banners shall be in conformance with Article VIII, Sign Regulations, of the Zoning Code and require permit approval.
4. A building permit in substantial conformance with the submitted plans for the interior buildout as part of Application #22-017 shall be submitted for review.
5. Any future enlargement, extension, expansion, or alteration in the use of the structures or site must be approved by the City Council upon receipt of the recommendation of the Planning and Zoning Commission as an amendment to the Conditional Use Permit before a Building Permit for the enlargement, expansion or alteration may be issued.
6. Failure to comply with any one or all of the conditions of this permit shall be adequate cause for the revocation of said permit by the City Council, provided, however, no permit shall be revoked without prior notice to the owner of the intention of the City Council to revoke this permit and reasonable time granted to the owner to correct or remedy any such breach of conditions, except for repeated breaches or violations.
7. No conditional use permit granted by the City Council shall be valid for a period longer than one year from the date it grants the conditional use permit, unless within such period: (1) a building permit is obtained and construction is begun; or (2) if a building permit is not required, an occupancy permit is obtained, and the use of the building commenced. The City Council may grant extensions to the one (1) year period of not more than one hundred and eighty (180) days each, without notice or hearing, provided that a written request for such extension is filed by the original applicant and approved by the City Council prior to the date the conditional use permit is scheduled to expire.
8. Any transfer of ownership or lease of the property shall include in the transfer or lease agreement a provision that the purchaser or lessee agrees to be bound by the approved Site Development Plan for the property and the conditions herein set forth, and written confirmation thereof signed by the new owner or lessee shall be filed with the City at the time of such transfer or lease. Failure to comply with this provision shall not excuse anyone from these conditions.

BILL NO. _____ ORDINANCE NO. _____

Section 3: The City Administrator of the City of Creve Coeur is hereby authorized and directed to issue a Conditional Use Permit in accordance with the provisions of this ordinance, said permit to expressly provide for the conditions and stipulations hereinabove set out in Section 2 of this ordinance. Exercise of the rights granted pursuant to the issued permit shall constitute acceptance of all conditions and stipulations set forth herein.

Section 4: This ordinance shall become effective in accordance with Section 3.11 (g) of the City Charter.

ADOPTED THIS ____ DAY OF _____, 2022.

JOSEPH MARTINICH
PRESIDENT OF CITY COUNCIL

APPROVED THIS ____ DAY OF _____, 2022.

DR. ROBERT
HOFFMAN
MAYOR

ATTEST:

KELLIE HENKE
CITY CLERK

Attachment: 22-017 DRAFT Ordinance 8.1.22 (First Bank CUP)



city
of

CREVE COEUR

PLANNING DIVISION

300 North New Ballas Road, Creve Coeur, Missouri 63141

Tel. (314) 872-2501 • Fax (314) 872-2505

File # _____

PLANNING AND ZONING COMMISSION AGENDA APPLICATION CONDITIONAL USE PERMIT

PLEASE COMPLETE FRONT AND BACK PAGES

Applicant:	Applicant's Representative (if applicable):
<i>Name</i> _____	<i>Name</i> _____
<i>Company (If Applicable)</i> _____	<i>Company (If Applicable)</i> _____
<i>Address</i> _____	<i>Address</i> _____
<i>Address</i> _____	<i>Address</i> _____
<i>Telephone #</i> _____	<i>Telephone #</i> _____
<i>Fax #</i> _____	<i>Fax #</i> _____
<i>Email:</i> _____	<i>Email:</i> _____
 <i>Applicant's Signature</i>	 <i>Applicant's Representative's Signature</i>

Property Information:	Owner's Acknowledgement (if different from applicant):
<i>Address</i> _____	<i>Name</i> _____
<i>Address</i> _____	<i>Drury Development Corporation</i>
<i>Development Name (if any)</i> _____	<i>Company (If Applicable)</i> _____
<i>Current Zoning</i> _____	<i>13075 Manchester Road, Suite 200</i>
<i>Prior CUP Approvals (if known)</i> _____	<i>Address</i> _____
_____	<i>Saint Louis, MO 63131</i>
_____	<i>Address</i> _____
	<i>Telephone #</i> 314.423.6698
	<i>Fax #</i> _____
	<i>Email:</i> _____
	 <i>Owner's Signature</i>

Attachment: Applicant's Materials (First Bank CUP)

Description of Requested Use (attach additional sheets as needed)

General Description of Business: _____

Gross Floor Area – Existing and Proposed: _____

Number of Seats (for restaurant only): _____

Number of Employees at the busiest shift: _____

Hours of Operation: _____

Current or Most Recent Use of the Property: _____

Will the applicant apply for a liquor license: Yes _____ No _____

Rationale

Please describe in detail, on an attached sheet, the reasons why you believe the request for a conditional use permit should be approved and what steps are being taken to lessen any impacts on surrounding residences and businesses. An explanation of the building and landscape designs (if changes are proposed) should also be included.

Submittal Checklist

- | | |
|---|---|
| ☐ Rationale | ☐ Building elevations for new construction |
| ☐ Site plan | ☐ Photographs of existing structures |
| ☐ Access and parking plan; (may be shown on site plan) | ☐ Materials samples |
| ☐ Landscape plan | ☐ Legal Description in Word format |
| ☐ Floor plan | ☐ Fees: \$250 (non-refundable) |
| ☐ Electronic copies of all materials | ☐ \$2000 (refundable deposit) |
| | ☐ Other items as requested by staff |

Preferred Public Hearing Date: Monday, _____, 20____.****See attached schedule and confirm available meeting dates with Planning Division staff******Office Use Only**

____ All Sections Complete

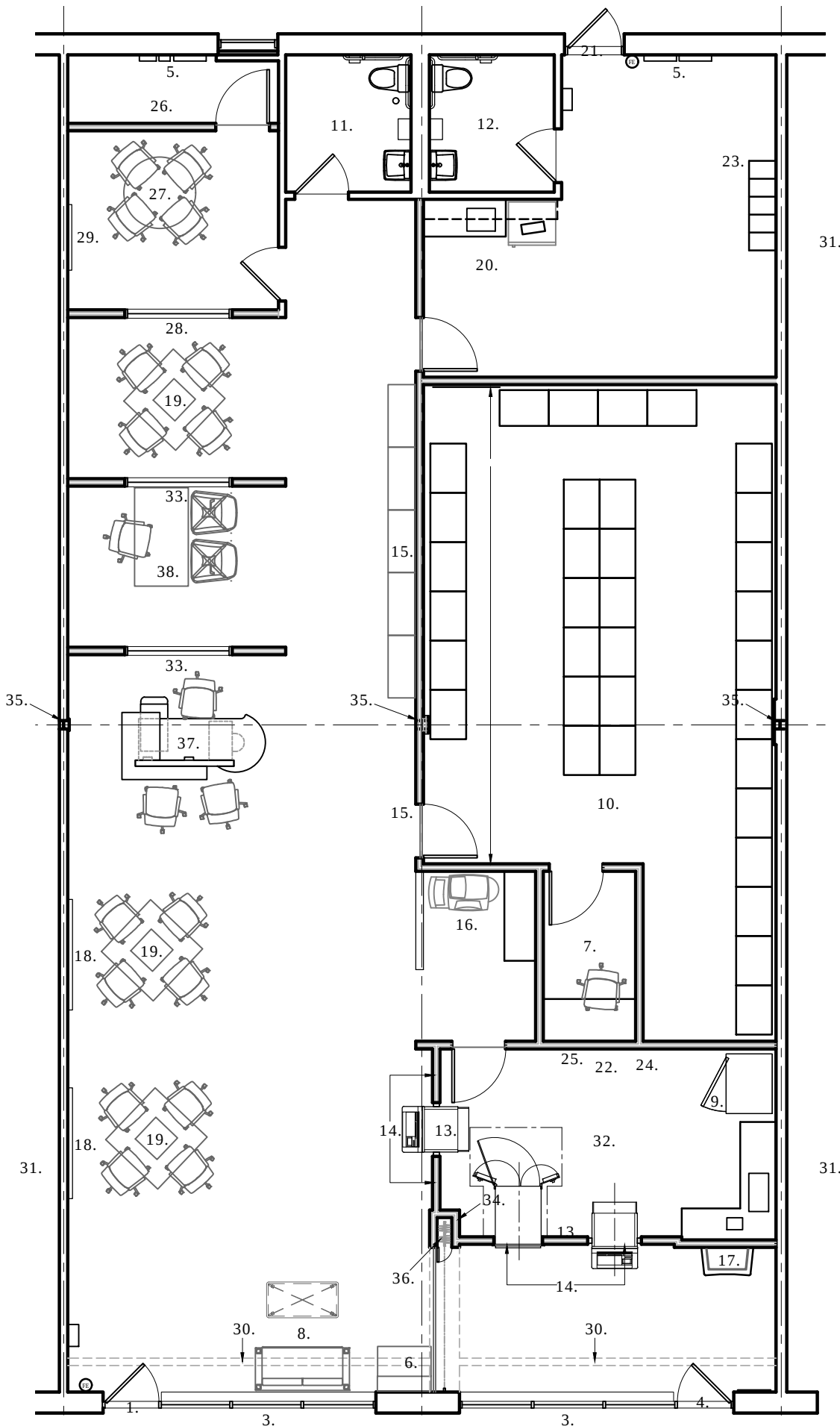
Received By: _____

____ All Documents, incl. e-Copies

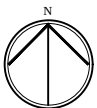
____ Fees Paid

Date: _____

Jason Jaggi, AICP, Director of Community Development**Bethany Moore, City Planner****Planning Department (314) 872-2501****Revised: 11/21****Attachment: Applicant's Materials (First Bank CUP)**

**LEGEND:**

1. MAIN BANK ENTRY
2. PARKING LOT
3. EXISTING WINDOWS
4. 24/7 ENTRY DOOR
5. EXIST. ELECT. PANELS
6. COFFEE SERVICE
7. SAFE DEPOSIT VIEWING
8. WAITING AREA
9. CASH VAULT
10. SAFE DEPOSIT
11. EXIST. ADA TOILET RM.
12. EXIST. TOILET RM.
13. ATM
14. VINYL LOGO SIGNAGE
15. LATERAL FILES / STOR.
16. COPIER
17. CHECK PODIUM
18. LCD TV SCREEN
19. CUST. SERV. DESK
20. KITCHENETTE
21. BACK DOOR
22. SERVER
23. LOCKERS
24. SECURITY PANELS
25. TEL. / DATA BOARD
26. ELECT. EQUIP. / UTILITY
27. MEETING ROOM
28. HIGH WINDOW
29. MICROSOFT HUB
30. "BLUE GLOW" BULKHEAD
31. ADJACENT TENANT
32. WORK ROOM
33. VIEW WINDOW
34. PARTITION ENCLOSURE
35. STRUCT. COLUMN
36. FOLDING PARTITION
37. CONCIERGE
38. OFFICE

Attachment: Applicant's Materials (First Bank CUP)


FIRST BANK CREVE COEUR MISSOURI
TEMPORARY BRANCH LOCATION

PROPOSED SCHEME "C" FLOOR PLAN

SCALE: 1/8" = 1'-0"

JUNE 30, 2022

A
SK-C



Packet Pg. 23

ARCHITECTURAL ABBREVIATIONS

@	AT	ID	INSIDE DIAMETER	T	TIE, TREAD, TOP
&	AND	IN	INCH	TB	TOWEL BAR
L	ANGLE	INFO	INFORMATION	TBB	TOP AND BOTTOM
<	CENTER LINE	INSUL	INSULATION	TBD	TO BE DETERMINED
>	PLATE, PROPERTY LINE	INTR	INTERIOR	TBD	TACK BOARD
~	DIAMETER	INV	INVERT	TBD	TELEPHONE
⊕	PLAN NORTH	IVT	INTRAVENOUS TRACK	TEL	TEMPERED
AB	ANCHOR BOLTS	JAN	JANITOR	TEMP	TERRAZZO
A/C	AIR CONDITIONING	JST	JOIST	T&G	TONGUE AND GROOVE
ACoust	ACOUSTICAL	JT	JOINT	TH	THICK, THRESHOLD
ACT	ACOUSTICAL CEILING TILE	JTHU	JOINT THROUGH	THU	THROUGH
AD	AREA DRAIN	KD	KNOCK DOWN	TLT	TOILET
ADA	AMERICANS WITH DISSABILITIES ACT	KITCH	KITCHEN	TOC	TOP OF CONCRETE, CURB
ADJ	ADJUSTABLE	KP	KICKPLATE	TOD	TOP OF DECK
AFF	ABOVE FINISH FLOOR	KS	KNEE SPACE	TOM	TOP OF MASONRY
AI	ALUMINUM	L	LEG, LENGTH, LONG	TOP	TOP OF PAYMENT
AMB	AIR & MOISTURE BARRIER	LAB	LABORATORY	TOS	TOP OF STEEL
AOR	AREA OF REFUGE	LAD	LINEAR AIR DIFFUSER	TOW	TOP OF WALL
AP	ACCESS PANEL	LAM	LAMINATE	TPD	TOILET PAPER DISPENSER
APPROX	APPROXIMATELY	LAV	LAVATORY	TSCD	TOILET SEAT COVER DISPENSER
ARCH	ARCHITECTURAL	LB	LEAD	TV	TELEVISION
AUTO	AUTOMATIC	LGL	LEADED GLASS	TYP	TYPICAL
AW	AREAWAY	LKR	LOCKER	UC	UNDER CABINET, COUNTER
B	BOTTOM	LL	LIVE LOAD	UL	UNDERWRITERS' LABORATORIES
BD	BOARD (SHEATHING)	LLH	LONG LEG HORIZONTAL	UNFN	UNFINISHED
BLDG	BUILDING	LLV	LONG LEG VERTICAL	UNO	UNLESS NOTED OTHERWISE
BKG	BLOCKING	LT	LIGHT	UR	URINAL
BOT	BOTTOM	M	METER	V	VOULT, VALVE
BSMW	BUTYLAUMINOUS SHEET MEMBRANE	MACH	MACHINE	VB	VALVE BOX, VAPOR BARRIER
BTU	BRITISH THERMAL UNIT	MAS	MASONRY	VC	VITREOUS CHINA
BTW	BETWEEN	MAT	MATERIAL	VCT	VINYL COMPOSITION TILE
C	CONDUIT	MAX	MAXIMUM	VERT	VERTICAL
CAB	CABINET	MB	MACHINE BOLT	VEST	VESTIBULE
CCT	CUBICLE CURTAIN TRACK	MC	MEDICINE CABINET	VF	VEHICLE IN FIELD
CFM	CUBIC FEET PER MINUTE	MECH	MECHANICAL	VWC	VINYL WALL COVERING
CFCI	CONTRACTOR-FURNISHED, CONTRACTOR-INSTALLED	MEMB	MEMBRANE	VWF	VINYL WALL FABRIC
CFOI	CONTRACTOR-FURNISHED, OWNER-INSTALLED	MFG	MANUFACTURER	W	WEST, WIDE
CG	CORNER GUARD	MH	MANHOLE	W /	WITH
CJ	CONTROL JOINT	MIN	MINIMUM	WC	WATER CLOSET
CL	CEILING	MISC	MISCELLANEOUS	WCH	WHEELCHAIR
CLR	CLEAR	MO	MASONRY OPENING	WD	WOOD
CMU	CONCRETE MASONRY UNITS	MOD	MODULE OR MODULAR	WF	WIDE FLANGE
COL	COLUMN	MID	MOUNT, MOUNTING, MOUNTING	WG	WIRE GLASS, WALL GUARD
CONC	CONCRETE	MET	METAL	W/O	WITHOUT
CONT	CONTINUOUS	MIL	MILLION	WP	WATERPROOF, WATERPROOFING
CORR	CORRIDOR	MUN	MUNTIN	WR	WATER RESISTANT
CPT	CARPET	N	NORTH	WT	WEIGHT
CT	CERAMIC TILE	NIC	NOT IN CONTRACT	WWF	WEIDED WIRE FABRIC
CU	COPPER	NO	NUMBER	XHD	EXTRA HEAVY DUTY
		NOML	NOMINAL	YD	YARD
		NTS	NOT TO SCALE	YR	YEAR
		OBS	OBSCURE		
		OC	ON CENTER		
		OD	OUTSIDE DIAMETER		
		OFCI	OWNER-FURNISHED, CONTRACTOR-INSTALLED		
		OFF	OFFICE		
		OFOI	OWNER-FURNISHED, OWNER-INSTALLED		
		OH	OVERHEAD		
		OPP	OPPOSITE HAND		
		OZ	OUNCE		
		PART	PARTITION		
		PCD	PAPER CUP DISPENSER		
		PERF	PERFORATED		
		PGBD	PEGBORD		
		PHMS	PAN HEAD SHEET METAL SCREW		
		PL	PLATE		
		PLAM	PLASTIC LAMINATE		
		PLAS	PLASTER		
		PLYWD	PLYWOOD		
		PNT	PAINT, PAINTED		
		PR	PAIR		
		PREFAB	PREFABRICATED		
		PREFIN	PREFINISHED		
		PROJ	PROJECTION, PROJECT		
		PSF	POUNDS PER SQUARE FOOT		
		PSI	POUNDS PER SQUARE INCH		
		PT	POINT, PRESSURE TREATED		
		PTD	PAINTED, PAPER TOWEL DISPENSER		
		PTR	PAPER TOWEL RECEPTACLE		
		PTS	PNEUMATIC TUBE STATION		
		QT	QUARRY TILE		
		R	RADIUS, RISER, THERMAL RESISTANCE		
		RA	RETURN AIR		
		RB	RESILIENT BASE, RUBBER BASE		
		RD	ROOF DRAIN		
		REC	RECESS, RECESSED		
		REF	REFERENCE		
		REFRIG	REFRIGERATOR		
		REINF	REINFORCE, REINFORCEMENT		
		REQ	REQUIRED		
		REV	REVISION, REVISED		
		RH	ROBE HOOK		
		RM	ROOM		
		RO	ROUGH OPENING		
		RS	ROUGH-SAWN		
		RTN	RETURN		
		RW	RETAINING WALL		
		S	SOUTH		
		SAN	SANITARY		
		SC	SOLID CORE		
		SCHED	SCHEDULE, SCHEDULED		
		SCR	SHOWER CURTAIN ROD		
		SD	SOAP DISPENSER, SOAP DISH		
		SECT	SECTION		
		SERV	SERVICE		
		SF	SQUARE FEET		
		SH	SHED, SHELVE		
		SHV	SHEET		
		SHW	SHOWER		
		SHWR	SIMILAR		
		SK	SINK		
		SMS	SHEET METAL SCREW		
		SPEC	SPECIFIED, SPECIAL		
		SPKR	SPEAKER		
		SQ	SQUARE		
		SS	STAINLESS STEEL		
		SSK	SERVICE SINK		
		STA	STATION		
		STC	SOUND TRANSMISSION CLASS		
		STD	STANDARD		
		STE	STEEL		
		STN	STAIN		
		STOR	STORAGE		
		STRUCT	STRUCTURE, STRUCTURAL		
		SUSP	SUSPENDED		
		SY	SQUARE YARD		
		SYM	SYMMETRICAL		
		SYS	SYSTEM		
		GA	GALVANIZED		
		GB	GRAB BAR		
		GB	GYPSON BOARD		
		GC	GENERAL CONTRACTOR		
		GL	GLASS		
		GYP	GYPSON		
		H	HIGH		
		HB	HOSE BIBB		
		HD	HEAD		
		HDDB	HARDBOARD		
		H-D	HOT-DIPPED (GALVANIZED)		
		HDW	HARDWARE		
		HDWD	HARDWOOD		
		HUR	HORIZONTAL JOINT REINFORCEMENT		
		HM	HOLLOW METAL		
		HORIZ	HORIZONTAL		
		HR	HANDRAIL		
		HVAC	HEATING, VENTILATING & AIR CONDITIONING		
		HVLPWD	HARDWOOD VENEER PLYWOOD		



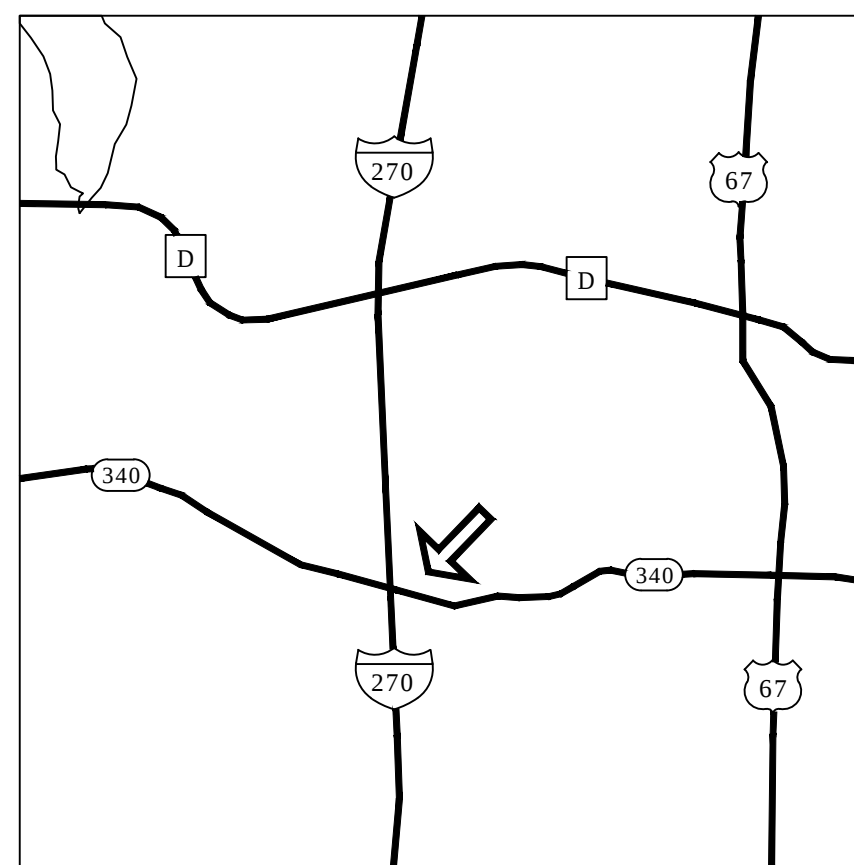
First Bank

Temp. Relocation

Bank Branch

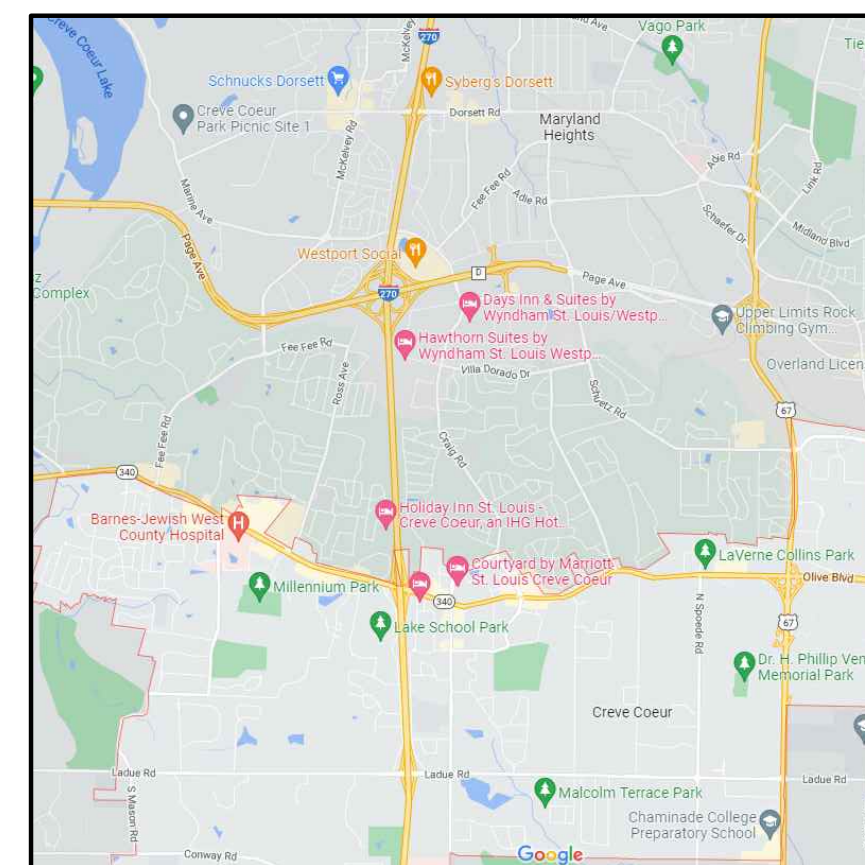
11947 Olive Blvd.

Creve Coeur, MO 63141



LOCATOR MAP

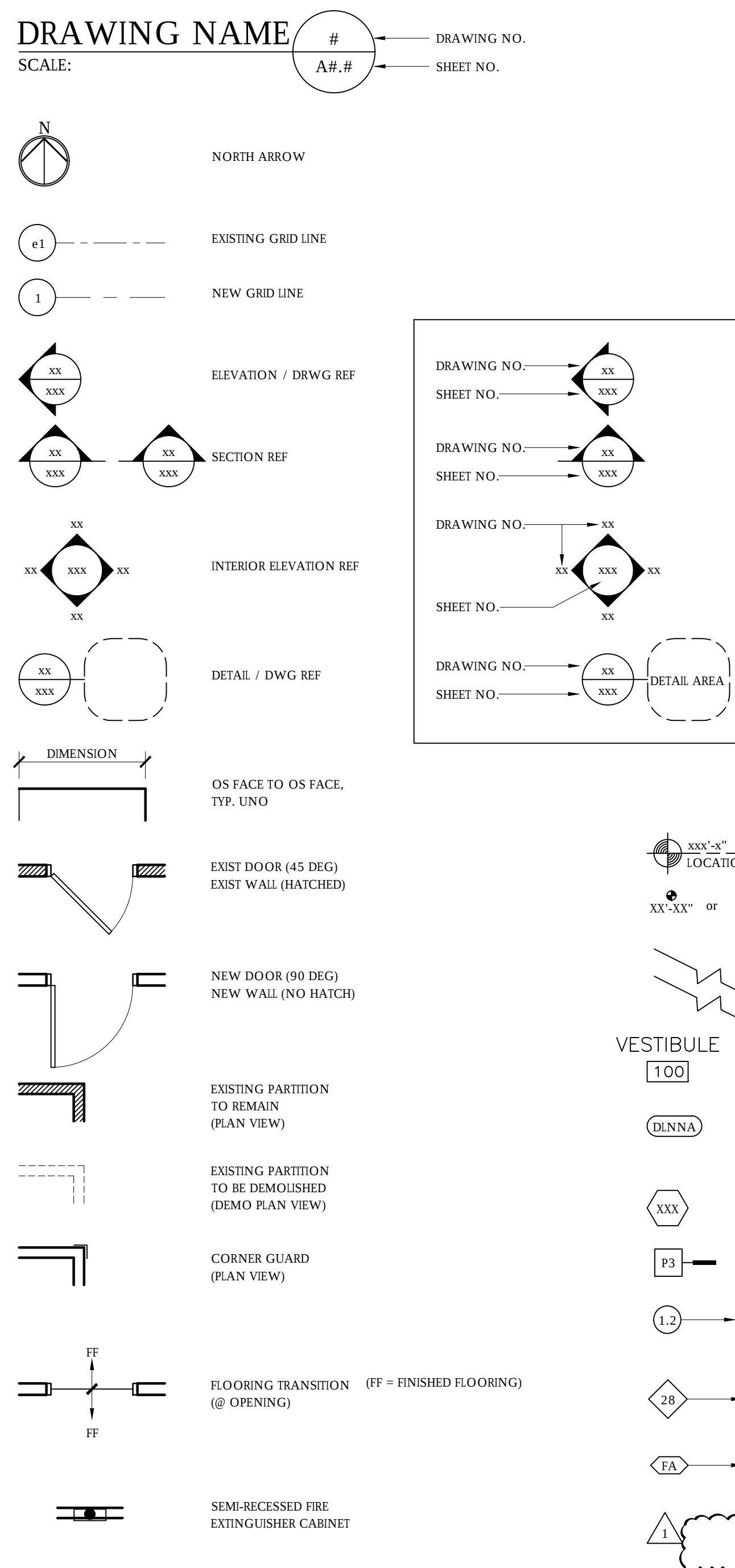
SCALE: N.T.S.



AREA CONTEXT MAP

SCALE: N.T.S.

ARCHITECTURAL SYMBOL LEGEND



PROJECT SCOPE OF WORK

This is an interior tenant fit-out for a branch bank. Project Scope of Work includes, but is not necessarily limited to:

1. Demolish selected interior partial partitions, doors, ceilings & features shown on plans.
2. Demolish selected interior existing finishes.
3. Layout, frame up, and brace as required new interior wall partitions per architectural details.
4. Update / install lighting, power, tel-data, & bank security systems as required to support new operation, program and design layout.
5. Provide finishes as indicated in documents.
6. Provide minimal new cabinetry as indicated.
7. Rework existing air supply & return diffusers and mechanical work as req'd. -- MEP is design-build
8. Trench concrete as req'd. for new floor power / data receptacles -- MEP is design-build
9. Provide lighting, switching & power distribution from existing interior electrical panels -- MEP is design-build
10. Provide convenience (lockdown) lock & cabinetry as indicated
11. Provide supports & seismic bracing at & above ceilings for new partitions.

Work includes all required and necessary materials, labor, supervision, administration, field engineering, general conditions, insurance, bonds, and other activities and support necessary to complete the Project.

CODE ABSTRACT

DESCRIPTION OF USE: BANK

OCCUPANCY / USE GROUP: B, BUSINESS

BUILDING CONSTRUCTION TYPE: SB -- NON-SPRINKLERED
FIRE SPRINKLERS: NONE EXISTING

BUILDING AREA: 21,025 SQ. FT.

COMMERCIAL BANK AREA (THIS TENANT) = 3,086 SQ. FT.

NUMBER OF STORIES: 1 (ABOVE GRADE)

OCCUPANT LOAD IN TENANT SPACE: 1 PER 100 SQ. FT. = 31 OCCUPANTS

NUMBER OF EXITS REQUIRED (BASED ON OCCUPANTS): 1

NUMBER OF EXITS REQUIRED (BASED ON MAX. TRAVEL DISTANCE): 2

NUMBER OF EXITS FROM THIS TENANT SUITE: 3 (BUSINESS HOURS) / 2 (AFTER BUSINESS HOURS)

MAX. TRAVEL DISTANCE TO EXIT DOOR = 73'

MAX. ALLOWABLE TRAVEL DISTANCE TO EXIT DOOR = 75'

DRAWING INDEX

GENERAL

A-0 GEN. INFO. & COVER (THIS SHEET)

ARCHITECTURAL

A-1 FLOOR PLAN & SCHEDULES

A-2 CEILING PLAN & SCHEDULES

A-3 ELEVATIONS & DETAILS

CODE MATRIX

2015 INTERNATIONAL BUILDING CODE (IBC)

2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO-FAMILY DWELLINGS

2015 INTERNATIONAL ENERGY CONSERVATION CODE

2015 INTERNATIONAL SWIMMING POOL & SPA CODE

2015 UNIFORM PLUMBING CODE

2015 INTERNATIONAL MECHANICAL CODE

2015 INTERNATIONAL PROPERTY MAINTENANCE CODE

2014 NATIONAL ELECTRICAL CODE (NEC)

PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION

MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WORK IS DESIGN-BUILD BY LICENSED CONTRACTORS:
CONTRACTORS TO SUBMIT FOR PERMITS SEPARATELY FROM ARCHITECTURAL

PROJECT CONTACTS

ARCHITECT

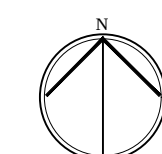
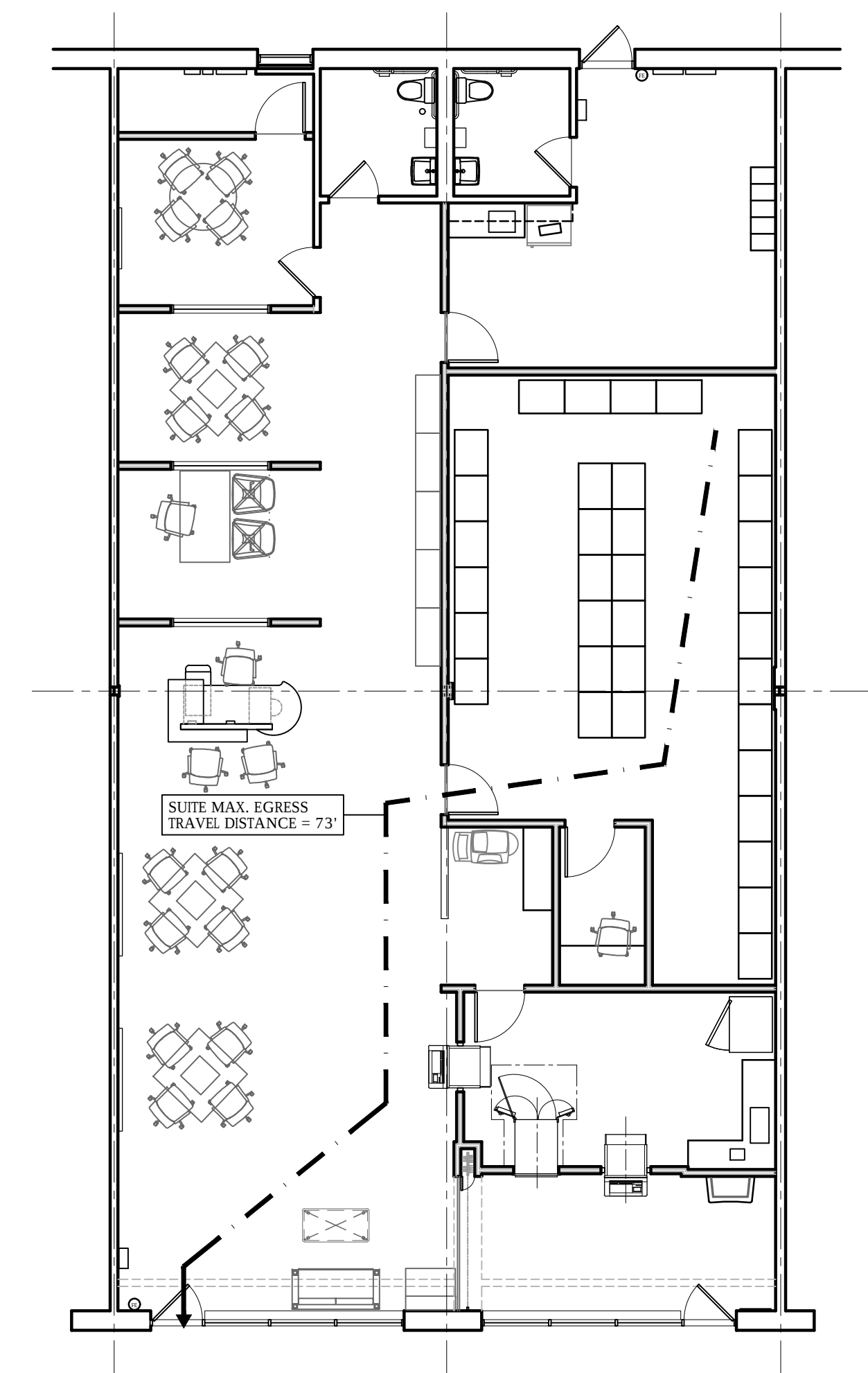
NAME: PARADIGM ARCHITECTS, LLC
CONTACT: TIM BARKER
ADDRESS: 3818 JUNIATA STREET
ST. LOUIS, MO 63116
PHONE: 314-725-8440
EMAIL: timothy.barker@paradigmarch.com

OWNER REPRESENTATIVE

EMAIL: FIRST BANK
CONTACT: BRIAN CHOPLIN
ADDRESS: 7495 WATSON ROAD
SHREWSBURY, MO 63119
PHONE: 314-587-4705
EMAIL: brian.chopin@fbol.com

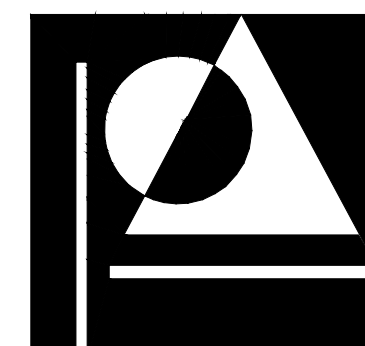
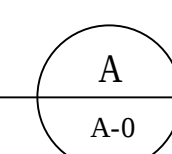
GENERAL CONTRACTOR

NAME: GUARANTEE CONSTRUCTION
CONTACT: MIKE PETERSON
ADDRESS: 2924 LOCUST STREET
ST. LOUIS, MO 63103
PHONE: 314-446-4109
EMAIL: mpeterson@gconbuild.com



EGRESS TRAVEL DISTANCE PLAN

SCALE: 1/8" = 1'-0"



PARADIGM
ARCHITECTS, LLC
3818 JUNIATA STREET
ST. LOUIS, MO 63116
TEL. 314-725-8440
PARADIGMARCH.COM



FIRST BANK
CREVE COEUR TEMPORARY BRANCH
CREVE COEUR, MISSOURI
11947 OLIVE BOULEVARD CREVE COEUR, MISSOURI 63141

THE SEAL AND SIGNATURE APPLY ONLY TO THE
DOCUMENT TO WHICH THEY ARE AFFIXED. THEY
ANY AND ALL RESPONSIBILITY FOR DOCUMENTS
THAT DO NOT BEAR HIS SEAL AND SIGNATURE
INCLUDING, BUT NOT NECESSARILY LIMITED TO,
DRAWINGS, SPECIFICATIONS, REPORTS, AND
OTHER SUCH INSTRUMENTS OF SERVICE INTENDED
TO BE USED FOR THIS PROJECT.

REVISIONS	(DATE - BY):
0	
1	
2	
3	
4	
5	
6	
7	
8	

© COPYRIGHT PARADIGM ARCHITECTS, LLC 2022

PROJECT NO.: 2134

DATE: 06/17/22

DRAWN BY: TEB

CHECKED BY:

DRAWING NAME:

GENERAL INFO.
& COVER

SHEET NO.:

A-0

VOL. 1 OF 1 SHEET 1 OF 4

SECURITY EQUIPMENT SCHEDULE

NOTE: SAME SCHEDULE SHOWN ON SHEET "A-2"

MARK	DESCRIPTION	MFG.	MFG. NAME / NUMBER	LOCATION	TOTAL ITEMS	NOTES
S-1	HEIGHT STRIKE CAMERA	HONEYWELL	"CLIVEX"	STORAGE/INT. LAMB	2	4, 10.
S-2	INTERIOR DOME CAMERA	JVEW	MD4SN2BV10WDRS8	CEILING / WALL / SORFH	14	4, 10.
S-3	EXTERIOR DOME CAMERA	JVEW	MD4SN2BV10WDRS8	EXTERIOR WALL	3	4, 10.
S-4	INTERNAL I.T.M. CAMERA	JVEW	TBD	PART OF I.T.M.	2	2, 4, 7, 10, 13.
S-5	SECURITY DNR	VERINT	EG40R 100	IN THE BACK	1	3, 8.
S-6	SECURITY MONITOR	CLINTON ELECT.	CE-V1768	ATOP BACK / FRIDGE	2	1, 8, 11, 12.
S-7	ALARM BUTTON	TBD	TBD	UNDER FURN. OR PER NOTE	7	9.
S-8	MAIN ALARM PANEL	TBD	TBD	WALL MOUNTED	1	5.
S-9	MOTION SENSOR	OPTEL	SK-3600	CEILING	5	5.
S-10	DOOR CONTACTS	TBD	TBD	DOOR READ / GATE POST	3	
S-11	ALARM CONTROL PAD	TBD	TBD	WALL IN MGR. OFFICE	1	6.
S-12	I.T.M. ALARM CONTROL	TBD	TBD	INSIDE BACK OF I.T.M.	2	6.
S-13	EXTRUSS STROBE LIGHT	TBD	TBD	BREAK / WORK ROOM	2	

SECURITY EQUIPMENT NOTES:

- SECURITY MONITORS - (1) PLACED ATOP LOCKERS IN BREAK / WORK RM. (1) ATOP VAULT IN I.T.M. EQUIP. ROOM
- CAMERA IS PART OF I.T.M. EQUIPMENT - VERIFY WITH BANK'S I.T.M. PROJECT MANAGER
- PLACE IN BACK, AS INSTRUCTED BY BANK'S TECH MANAGER
- G.C. TO PULL CAT-5 CABLE FOR I.T.M. CAMERA LOCATION TO THE SERVER RACK, TYP.
- G.C. TO PULL A/C 22 GA STRANDED CABLE TO MOTION SENSOR LOCATION
- G.C. TO PULL A/C 22 GA CABLE TO LOCATION OF ALARM CONTROL PAD
- G.C. TO PULL A/C 22 GA CABLE TO THE INTERACTIVE TELLER MACHINE (I.T.M.)
- G.C. TO PULL A COAX LINE FROM THE DVR TO THE MONITOR
- ALARM BUTTONS TO BE HARD WIRED BELOW TABLE OR DESK. IF THIS REQUIRES FLOOR TRENCING, USE WIRELESS ALARM BUTTONS.
- ALL NEW & EXIST. CAMERA LOCATIONS TO HAVE NEW CAT 6 WIRE - UPGRADE FROM ANALOG TO IP
- NOTE - COAX FOR SECURITY MONITORS TO BE TERMINATED WITH BNC CONNECTORS, TYP.
- SECURITY MONITORS REQUIRE (2) CAT 6 DATA DROPS AND (1) HDMI CABLE - DATA CABLES TO BE DIFFERENT COLOR FROM OTHERS, TYP.

ROOM FINISH SCHEDULE

NOTE: IF SPACES ARE NOT INCLUDED IN FINISH SCHEDULE, THEY DO NOT HAVE NEW FINISH WORK, TYP.

ROOM	FLOOR	BASE	N	S	E	W	CEILING	CLG. HT.	NOTES
24/7 VESTIBULE	STAINED CONCRETE	4" VINYL	PAINT 1	PAINT 1	PAINT 1	N/A	A.C.T. (ACOUST. CIG. TILE)	9'-6"	1.
WAITING	CARPET #1	4" VINYL	N/A	PAINT 1	N/A	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	1.
LOBBY	CARPET #1	4" VINYL	PAINT 1	N/A	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	1.
WORK ROOM	LVT #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
COPIER	CARPET #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
MANAGER OFFICE	CARPET #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
CUSTOMER SERVICE	CARPET #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
MEETING ROOM	CARPET #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
UTILITY	EXIST. CONCRETE	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	2.
MEN'S TOILET	EXIST. VINYL	EXIST. VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	8'-0"	2.
WOMEN'S TOILET	EXIST. VINYL	EXIST. VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	8'-0"	2.
BREAK ROOM	LVT #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
SAFE DEPOSIT	CARPET #1	PAINT 1	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	
SAFE DEP. VIEWING	CARPET #1	4" VINYL	PAINT 1	PAINT 1	PAINT 1	PAINT 1	A.C.T. (ACOUST. CIG. TILE)	9'-6"	

ROOM FINISH NOTES:

- VINYL-APPLIED ARTWORK ON SELECTED WALL / PART OF WALL IN THIS ROOM / SPACE. COORDINATE W/ FIRST BANK PROPERTY MANAGER.
- EXIST. FINISHES IN THIS ROOM / SPACE TO REMAIN, UNLESS OTHERWISE NOTED.

COLORS & MATERIALS:

- CARPET: EF CONTRACT FLOORING, VERGE, 24x24 TILE, "CITY LIMITS" #VGR58 - MONOLITHIC INSTALLATION
- PAINT COLORS:
 - PAINT 1 (BASE PAINT COLOR - DEFAULT COLOR, UNLESS NOTED OTHERWISE) BENJAMIN MOORE "SWISS COFFEE" #OC-45
 - PAINT 2 (ACCENT COLOR) BENJAMIN MOORE "COASTAL FOG" #AC-1
 - PAINT 3 (ACCENT COLOR) BENJAMIN MOORE "NANTUCKET FOG" #AC-22
 - PAINT 4 (ACCENT COLOR) BENJAMIN MOORE "CHARLOTTE SLATE" #AC-24
- LUXURY VINYL TILE: LVT-1 = EF CONTRACT "PLAYBOOK" "SUDE GRAY" #008 7" x 48" (LIGHT GREY) (POWDER BLUE) (DARK GREY-BLUE)
- BASE: RESILIENT BASE = 4" VINYL, JOHNSONITE "BURNUMBER" #63
- PLASTIC LAMINATES:
 - PLAM #1 - WILSONART "FRENCH UNEN" #5016 / FIN. #38, FINE VELVET TEXTURE (FOR TYPICAL FACE CABINETS)
 - PLAM #2 - WILSONART "BLACK ALCANTIE" #4926 / FIN. #07, "TEXTURED GLOSS" (FOR TYPICAL COUNTERTOPS)
 - PLAM #3 - WILSONART "INDIGO" #8379 (FOR FACES OF WALL-MTD. CHECK STAND AND CUSTOMER COUNTER COUNTERTOPS)
- ACOUSTICAL CEILING TILES: ARMSTRONG "CIBRUS" SECOND LOOK IL BEVELED REGULAR 24x48 TILES. SUSPENDED GRID: ARMSTRONG PRELUDE M. 15 / 16" EXPOSED TIE. BOTH GRID & TILES TO BE "WHITE"
- SOLID SURFACE - S.S. #1 - CORIAN "LAGUNA" NOM. 3/4" THICKNESS FOR WALL-MTD. CHECK STAND & CUSTOMER COUNTER COUNTERTOPS
- STAINED CONCRETE FLOOR: (NEED SPECIFICATION) (SPEC., CONT'D.)

DOOR SCHEDULE

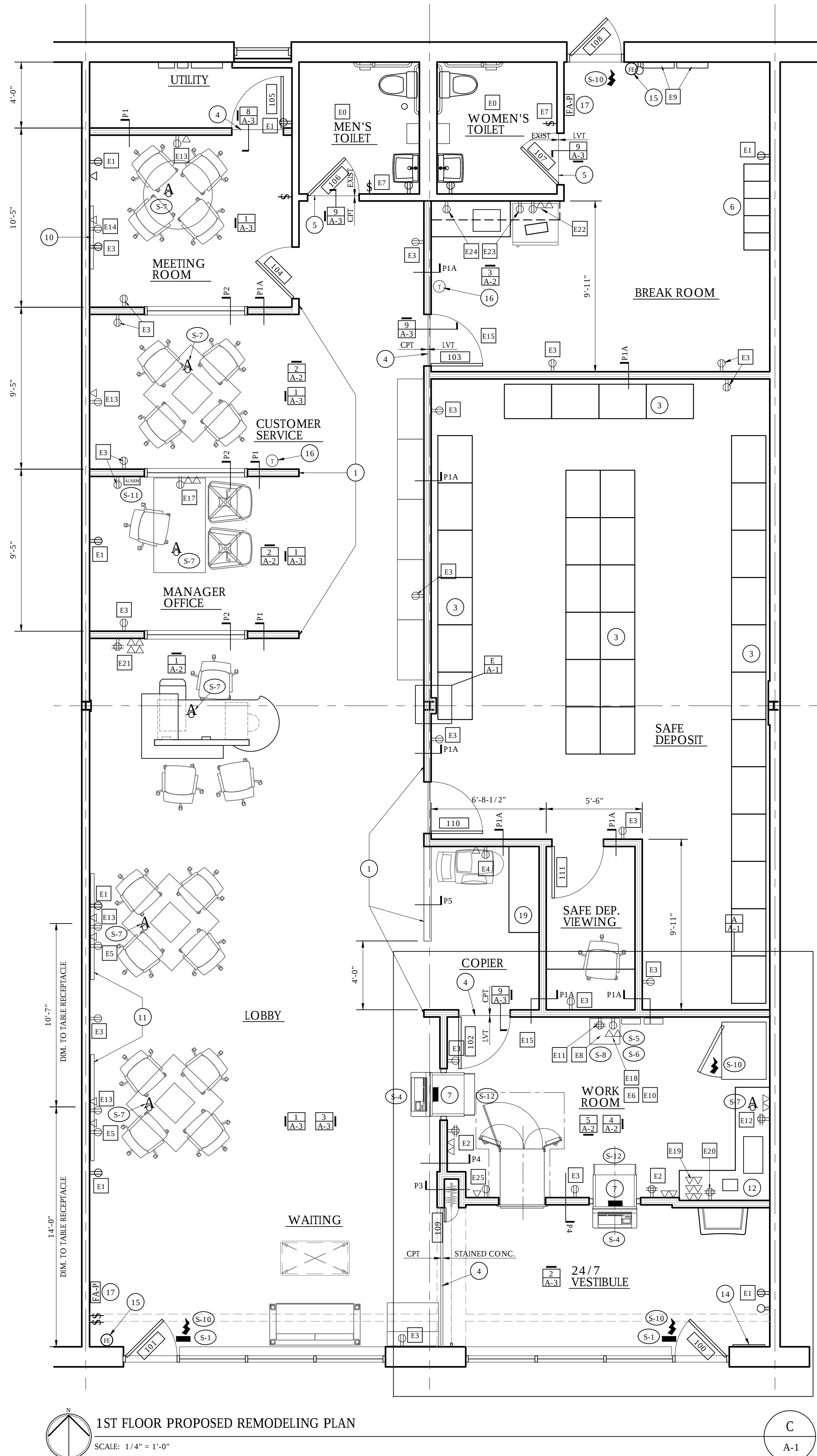
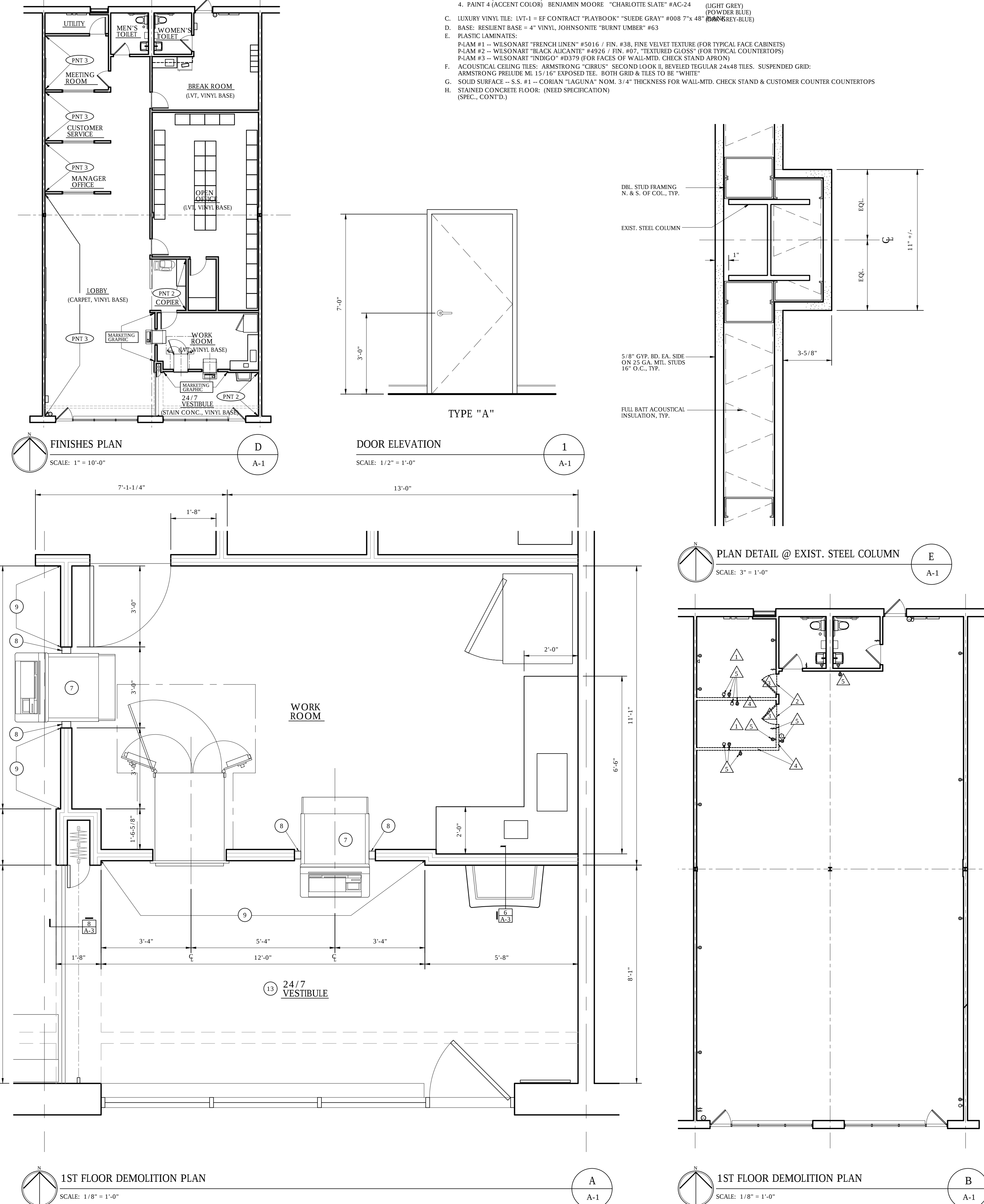
MARK	NOM'L. SIZE	ELEVATION	DOOR / FINISH	FRAME / FINISH	HARDWARE GROUP	NOTES
100	3070 x 1-3/4"	EXIST.	ALUM. / GLASS / PREFIN.	ALUM. / PREFIN.	NOTES "A" & "B"	1, 3, 4, 8.
101	3070 x 1-3/4"	EXIST.	ALUM. / GLASS / PREFIN.	ALUM. / PREFIN.	NOTES "E" & "B"	1, 3, 4, 8.
102	3070 x 1-3/4"	TYPE "A" / DWG. 1/A-1	WOOD / PAINTED	H.M. / PAINTED	NOTES "E" & "B"	3, 4, 8.
103	3070 x 1-3/4"	TYPE "A" / DWG. 1/A-1	WOOD / PAINTED	H.M. / PAINTED	NOTES "E" & "B"	3, 4, 8.
104	3070 x 1-3/4"	EXIST.	WOOD / PAINTED	H.M. / PAINTED	NOTE "H"	3, 5, 8.
105	3070 x 1-3/4"	TYPE "A" / DWG. 1/A-1	WOOD / PAINTED	H.M. / PAINTED	NOTES "E" & "B"	3, 4, 8.
106	3070 x 1-3/4"	EXIST.	WOOD / PAINTED	H.M. / PAINTED	NOTE "J"	3, 8, 9, 10.
107	3070 x 1-3/4"	EXIST.	WOOD / PAINTED	H.M. / PAINTED	NOTE "J"	3, 8, 9, 10.
108	3070 x 1-3/4"	EXIST.	METAL / PAINTED	H.M. / PAINTED	NOTES "G" & "J"	3, 8, 9, 10.
109	10'80 x 1-3/4"	2/A-3	METAL / PAINTED	H.M. / PAINTED	NOTES "C" & "D" FOR FOLD, PART.	3, 7, 11.
110	3070 x 1-3/4"	TYPE "A" / DWG. 1/A-1	WOOD / PAINTED	H.M. / PAINTED	NOTES "E" & "B"	3, 4, 8.
111	3070 x 1-3/4"	TYPE "A" / DWG. 1/A-1	WOOD / PAINTED	H.M. / PAINTED	NOTE "F"	3, 8.

DOOR NOTES:

- EXIST. DOORS TO REMAIN (RECEIVES NEW HARDWARE)
- SPECIALTY METAL DOOR PROVIDED BY FOLDING PARTITION MFR. (MOBILFLEX)
- VERIFY THAT DOOR CAN BE OPERATED W/ < 5 LB. FORCE. ADJUST CLOSER (IF EXIST.) AS REQ'D.
- GENERAL NOTE: ALL ELECTRIC STRIKES TO BE PROVIDED BY BANK VENDOR (WILL ELECTRONICS)
- RELOCATE EXIST. DOOR & FRAME TO THIS LOCATION.
- PASSAGE DOOR - NO LOCKSET REQUIRED
- FOLD, PARTITION DOOR HEIGHT TO COORDINATE W/ FINAL SIGHT HEIGHT - G.C. VERIFY
- FOR EGRESS, THIS DOOR ALWAYS MAINTAINS FULL "PASSAGE" FUNCTION
- REFINISH / REPAINT EXIST. DOOR AND FRAME
- NO CHANGES ON THIS DOOR OPERATION, FRAME & HARDWARE (REFINISH DOOR & FRAME)
- SPECIALTY DOOR FOR FOLDING PARTITION ENCLOSURE - BY PARTITION VENDOR

HARDWARE NOTES:

- (INGRESS) RETROFIT OR REPLACE WITH ELECTRONIC STRIKE, ACTIVATED BY PARABIT CARD READER & PROXY BADGE READER. PROVIDE WINDY CITY WIRE YELLOW COMPOSITE CABLE (#4461030) & YELLOW CAT-5 CABLE TO TERMINATE @ PARABIT CONTROL UNIT (NOT IN RACK)
- (EGRESS) PROVIDE A PANIC BAR OR OTHER COMPLAINT DEVICE TO ALLOW EXIT IN THE EVENT OF A POWER FAILURE. DOORS TO FAIL SECURE.
- (INGRESS) FOR TERMINAL (CLOSURE) END OF SECURITY PARTITION, PROVIDE ACCESSIBLE (ADA) THUMB TURN ON BANK LOBBY SIDE FOR AFTER-HOURS LOCKING.
- (EGRESS) FOR TERMINAL (CLOSURE) END OF SECURITY PARTITION IS NOT REQUIRED - OCCUPANTS ARE NOT REQUIRED TO EXIT BLDG. THROUGH 24/7 VESTIBULE.
- (INGRESS) PROVIDE ELECTRONIC STRIKE, A PROXY BADGE READER, AND A WINDY CITY WIRE YELLOW COMPOSITE CABLE (#4461030)
- PRIVACY LOCKSET - BEST TFC-3-7-15-15-D-STR-626 (OR EQ.)
- REMOVE EXIST. EXTERIOR PULL HANDLE, FILE & PATCH - NOT A BUILDING ENTRANCE.
- PASSAGE LATCHSET BOTH DIRECTIONS - THIS DOOR NEVER LOCKS
- EXIST. HARDWARE ON THIS DOOR TO REMAIN - NO HARDWARE CHANGES



GENERAL NOTES

- VERIFY EXISTING CONDITIONS, MATERIALS & DIMENSIONS. REPORT SIGNIFICANT VARIATIONS THAT MAY AFFECT THE INSTALLATION OF NEW WORK TO OWNER FOR RESOLUTION PRIOR TO COMMENCING WORK.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES, RULES & REGULATIONS.
- DO NOT SCALE DRAWINGS.
- THE ARCHITECT HAS NOT MADE AN EVALUATION OF EXISTING STRUCTURAL ELEMENTS & MAKES NO REPRESENTATIONS AS TO THE STRUCTURAL INTEGRITY OF ELEMENTS OTHER THAN THOSE DESIGNATED HEREIN.
- EXIST. WORK TO BE DEMOLISHED IS SHOWN DASHED ON EXIST. / DEMO PLANS. SEE DWGS. B/A-1 & B/A-2. INCLUDE IN BID WORK NOT SPECIFICALLY INDICATED, BUT WHICH MUST BE DEMOLISHED TO ACCOMPLISH NEW WORK.
- FIXTURES, FURNISHINGS & EQUIP. SHOWN HALF-TONED ON PLANS. ACT. OWNER-FURNISHED / OWNER-INSTALLED AND NOT IN CONTRACT (N.I.C.).
- MECHANICAL, ELECTRICAL & PLUMBING WORK IS DESIGN-BUILD BY LICENSED SUBCONTRACTORS. SCHEMATIC LOCATIONS FOR FEATURES SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE.
- ANY REQUIRED PATCHING / REPAIR OF EXIST. OR NEW FEATURE OR ELEMENT SHALL MATCH EXISTING OR NEW ADJACENT WORK.
- DURING NORMAL OCCUPANCY OF THE BUILDING, ALL PORTIONS OF THE MEANS OF EGRESS SHALL BE IN A SAFE CONDITION, AVAILABLE FOR IMMEDIATE USE, AND FREE FROM ALL OBSTRUCTIONS.
- INTERIOR FINISH MATERIALS SHALL COMPLY W/ THE FRAME SPREAD AND SMOKE DEVELOPMENT LIMITATIONS AS FOLLOWS:
EXIT ENCLOSURES & EXIT PASSAGeways CLASS A
CORRIDORS CLASS B
ROOMS & ENCLOSED SPACES CLASS C
- COMPLY W/ IBC/ADAG GUIDELINES FOR MOUNTING HEIGHTS. CONSULT ARCHITECT FOR RIS. NOT INDICATED.
- THERE SHALL BE NO COMBUSTIBLE MATERIAL PRESENT IN ANY RETURN AIR PLenums.
- PROVIDE APPROPRIATE FIRE OR SMOKE RATED SAFING, SEALANT, AND / OR DAMPERS AT PENETRATIONS OF ANY NEW OR EXIST. SMOKE OR FIRE RATED PARTITIONS.
- THE TOPS OF WORK SURFACES SHALL BE 28" MIN. & 34" MAX. ABOVE FIN. FLOOR. WORK STATIONS SHALL COMPLY W/ AISLE WIDTH & ENTRIES SHALL BE 32" MIN. WIDTH CLEAR.
- FACE OF OPENING JAMB ON DOORS SHALL BE 4" FROM ADJACENT WALL ON HINGE SIDE, U.N.O.

KEYED NOTES (NOTE: NOT ALL KEYED ON THIS SHEET)

- AUGN NEW WALL / PARTITION / FEATURE W/ EXIST. OR NEW WALL / PARTITION OR FEATURE.
- NEW WALL PARTITION TO BE CONSTRUCTED TO ENCASE EXIST. STEEL COLUMN YET BE LOCATED AS FAR TO THE EAST AS POSSIBLE. REFERENCE ENCLARED PLAN DETAIL 1/A-1.
- SAFE DEPOSIT BOXES - RELOCATED FROM EXISTING PERMANENT BANK BANKS AT DROP OFF BY FIRST BANK SIGN VENDOR.
- FLOORING TRANSITION - REF. DTS. B/A-3 & 9/A-3.
- REPLACE EXIST. FLOOR TRANSITION W/ NEW CARPET-TO-VINYL TILE.
- NEW PLAM LOCKERS - G.C. TO COORDINATE W/ F.B. PROP. MGR. FRONT-LOADING I.T.M. BY BANK'S SECURITY EQUIPMENT OR OTHER VENDOR. PROVIDE FOR LIFT & LOCK PROTECTION TO AVOID DAMAGE TO NEW OR EXIST. MATERIALS DURING INSTALLATION.
- FULL RECESSED BRACKS SEAL CONTIGUOUS BETWEEN BRUSHING & SIGN SURROUND / WALL PARTITION BY BANK'S SIGN VENDOR. G.C. TO COORDINATE / SUPERVISE INSTALLATION.
- VINYL WALL GRAPHIC W/ ADHESIVE BACKING (OR PAINTED GRAPHIC) SIGN IN LIEU OF TYPICAL FIRST BANK "WONDER WALL" ON THIS PARTITION. PROVIDE "LEVEL 4" DRYWALL FINISH.
- SPECIALTY STEELCASE CIRCULAR MOUNTING BRACKET FOR OWNER-SUPPLIED WALL-MTD. MICROSOFT SURFACE RUB 25. VERIFY EQUIPMENT CRITERIA W/ FIRST BANK PROJECT MGR.
- RAT-SCREEN, WALL-MTD. LCD - COORD. EQUIP. W/ F.B. PROP. MGR.
- SUPPORT NEW 1-1/2" PLAM OR PLYWOOD PLAM ON MGR. COUNTER W/ 1x1 PTD. LEDGER & HEAVY-DUTY BRACKETS. SEE ROOM FINISH COLORS / MATERIALS FOR PLAM SELECTION.
- DIMENSIONS SHOWN FOR WALL PARTITION SUBVING NEW I.T.M. ARE CRITICAL MINIMUM DIMENSIONS FOR FIT OF VENDOR-SUPPLIED SIGN. G.C. MUST VERIFY / COORDINATE W/ FIRST BANK SIGN VENDOR.
- WALL-MOUNTED BANK DISCLOSURE SIGN BY BANK'S GRAPHICS / MKTG. PERSONNEL - NOT IN GENERAL CONTRACT.
- EXIST. RELOCATED OR NEW WALL-MTD. FIRE EXTINGUISHER IN THIS LOCATION. FIRE PROTECTION WORK IS DESIGN-BUILD BY LICENSED CONTRACTOR, TYP.
- NEW LOCATION FOR THERMOSTAT: TWO (2) ZONES ARE ASSUMED - ZONE 1 = 24 / 7 VESTIBULE & BREAK ROOM. ZONE 2 = BREAK ROOM & OPEN OFFICE. NOTIFY FIRST BANK PROPERTY MGR. IF TWO ZONES CANNOT BE AGREED W/ FIRST BANK SYSTEMS. M.E.P. IS DESIGN-BUILD BY LICENSED CONTRACTORS, TYP.
- NEW FIRE ALARM RUMBL STATION AS REQ'D. FIRE PROTECTION WORK IS DESIGN-BUILD BY LICENSED CONTRACTORS, TYP.
- NEW FIRE ALARM ANNUNCIATOR, FIRE PROTECTION WORK IS DESIGN-BUILD BY LICENSED CONTRACTORS, TYP.
- 5' W. x 2' D. PLAM #2 COUNTERTOP ON HEAVY-DUTY BRACKETS & 1x1 WALL LEDGER. COUNTERTOP HEIGHT @2'-10" A.F.F.

ELECTRICAL KEYED NOTES

(NOTE: NOT ALL KEYED ON THIS SHEET)

- BEATS ALL EXISTING, VERIFIABLY WORKING POWER RECEPTACLES IN THIS ROOM / SPACE.
- EXIST. 1 POWER RECEPTACLE @ 18" A.F.F. TO REMAIN. VERIFY WORKING CONDITION.
- NEW QUAD POWER & (2) DATA DROPS FOR NEW I.T.M. @ 18" A.F.F.
- NEW DUPLEX OR QUAD POWER RECEPTACLE AS INDICATED @ 18" A.F.F.
- EXIST. 1 POWER RECEPTACLE @ 18" A.F.F. FOR COPIER.
- PROVIDE RECESSED DUPLEX POWER RECEPTACLE & DATA DROP FOR NEW WALL-MTD. LCD TV - REF. INTERIOR ELEV. DWGS. FOR HEIGHTS, TYP.
- PROVIDE NEW LT. / TEL. / DATA BACKER BOARD AS REQ'D. IN THIS ROOM.
- EXIST. 1 LIGHT SWITCH CONTROLS CEILING FIXTURES IN THIS PASSAGE.
- SERVER RACK - INSTALL PER F.B. TECH MGR. INSTRUCTIONS.
- EXIST. ELECTRICAL PANEL TO REMAIN. CONTRACTOR TO VERIFY LOCATION & CONDITION.
- SECURITY PANELS IN THIS ROOM - INSTALL PER F.B. TECH MGR. DIRECTION
- NEW QUAD POWER W/ DEDICATED CIRCUIT & DATA FOR MAIN BANK SERVER.
- NEW QUAD POWER & (2) DATA DROPS AT +/- 4" ABOVE COUNTERTOP FOR (1) PRINTER & (1) INSTANT DEBIT CARD MACHINE.
- DUPLEX POWER RECEPTACLE & DATA PORT @ 18" A.F.F. TO PROVIDE POWER / DATA TO ADJACENT DESK OR TABLE. PROVIDE ACCESSIBLE CONT. CABLE COVER - GLOBAL INDUSTRIAL MOLDED RUBBER #97708148K OR EQ.
- PROVIDE RECESSED DUPLEX POWER RECEPTACLE & DATA DROP FOR NEW MICROSOFT RUB 25 - REF. INTERIOR ELEV. DWGS. FOR HEIGHTS, TYP.
- PROVIDE DISTRESS STROKE ABOVE AND NEAR DOOR.
- NEW CLG. MTD. WIRELESS ACCESS POINT - VERIFY W/ F.B. TECH. MGR.
- NEW DUPLEX POWER & (2) DATA DROPS @ 18" A.F.F.
- NEW DUPLEX POWER, (2) DATA DROPS, & (1) HDMI CABLE FOR DVR SECURITY MONITOR @ 60" (G.C. TO VERIFY I.T.I.) MONITOR DATA CABLES TO BE DIFFERENT COLOR FROM CAMERA & STANDARD DATA CABLES.
- (6) NEW DATA DROPS @ +/- 4" ABOVE COUNTER / TABLE FOR TABLET STORAGE / CHARGING IN THIS LOCATION.
- QUAD POWER RECEPTACLE +/- 4" ABOVE COUNTER IN THIS LOCATION.
- NEW QUAD POWER RECEPTACLE & (6) DATA DROPS ADJACENT TO CONCERGE DESK. PROVIDE ACCESSIBLE CONT. CABLE COVER - GLOBAL INDUSTRIAL MOLDED RUBBER #97708148K OR EQ.
- NEW DUPLEX POWER RECEPTACLE & (2) DATA DROPS FOR SECURITY DVR / MONITOR - VERIFY W/ FIRST BANK TECH MANAGER.
- NEW DUPLEX POWER RECEPTACLE FOR REFRIGERATOR.
- NEW G.E.I.C. DUPLEX POWER RECEPTACLE MOUNTED 4" ABOVE COUNTERTOP.
- NEW DUPLEX POWER RECEPTACLE AND DATA PORT FOR NEW COIN MACHINE. VERIFY REQUIREMENTS W/ F.B. TECH MGR.

DEMO KEYED NOTES

- DEMO EXIST. FLOORING IN THIS ROOM / SPACE. GRIND, REMOVE MASTIC, ETC. TO PREP FLOORS FOR FINAL INSTALLATION OF NEW MATERIALS SPECIFIED IN THESE DCS.
- DEMO EXIST. FLOORING TRANSITION STRIP IN THIS AREA (SHOWN DASHED)
- DEMO EXIST. DOOR, FRAME, AND ASSOCIATED HARDWARE SHOWN DASHED. RE-USE IF POSSIBLE.
- DEMO EXIST. WALL PARTITION SHOWN DASHED. DEMO ALL ASSOCIATED FRAMING, BRACING, ETC.
- DEMO ALL EXIST. ELECTRICAL DEVICES / OUTLETS, SWITCHES, ETC. AS REQ'D. BY OTHER DEMO / NOT BEING RE-USED IN NEW SPACE.



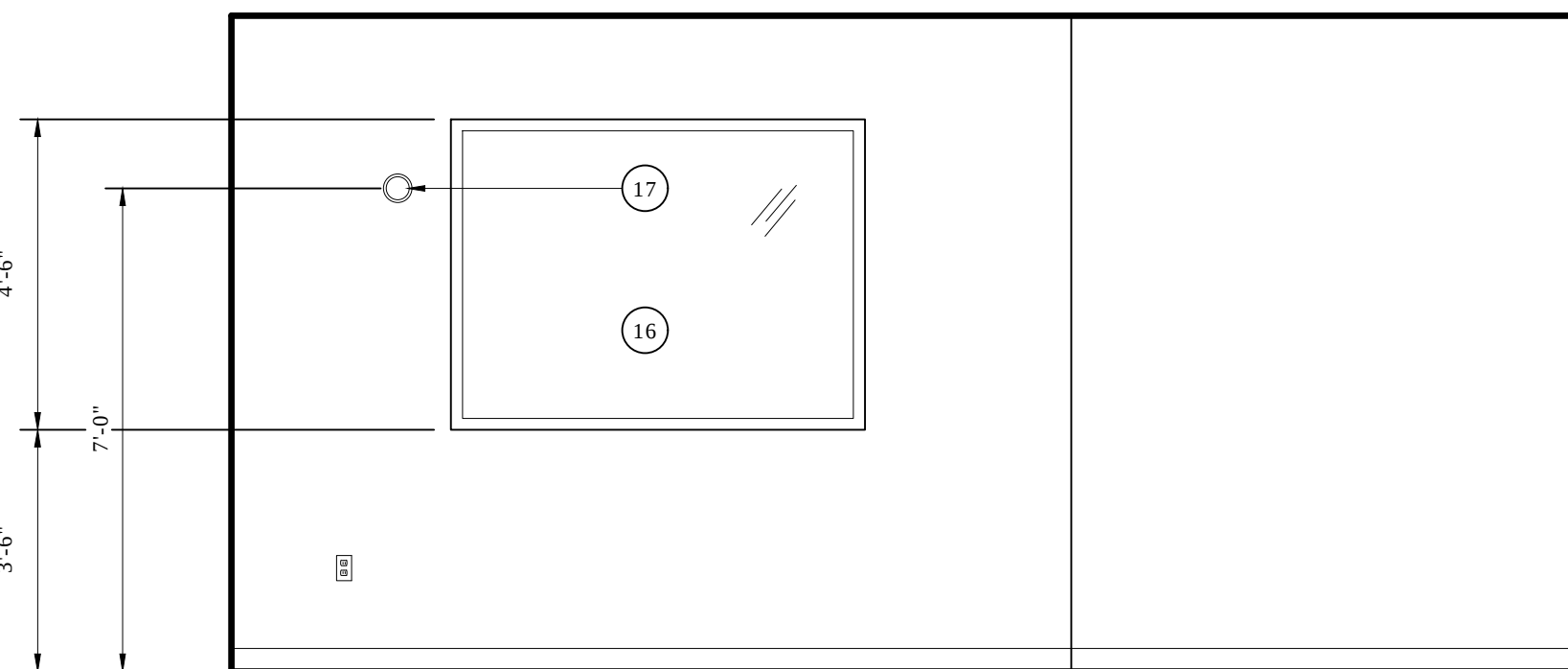
FIRST BANK
CREVE COEUR TEMPORARY BRANCH
CREVE COEUR, MISSOURI
11947 OLIVE BOULEVARD CREVE COEUR, MISSOURI 63141

THE SEAL AND SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED. THE ANY AND ALL RESPONSIBILITY FOR DOCUMENTS THAT DO NOT BEAR HIS SEAL AND SIGNATURE INCLUDING, BUT NOT NECESSARILY LIMITED TO, DRAWINGS, SPECIFICATIONS, ESTIMATES, REPORTS, AND TO BE USED FOR THIS PROJECT.

REVISIONS	(DATE - BY:)
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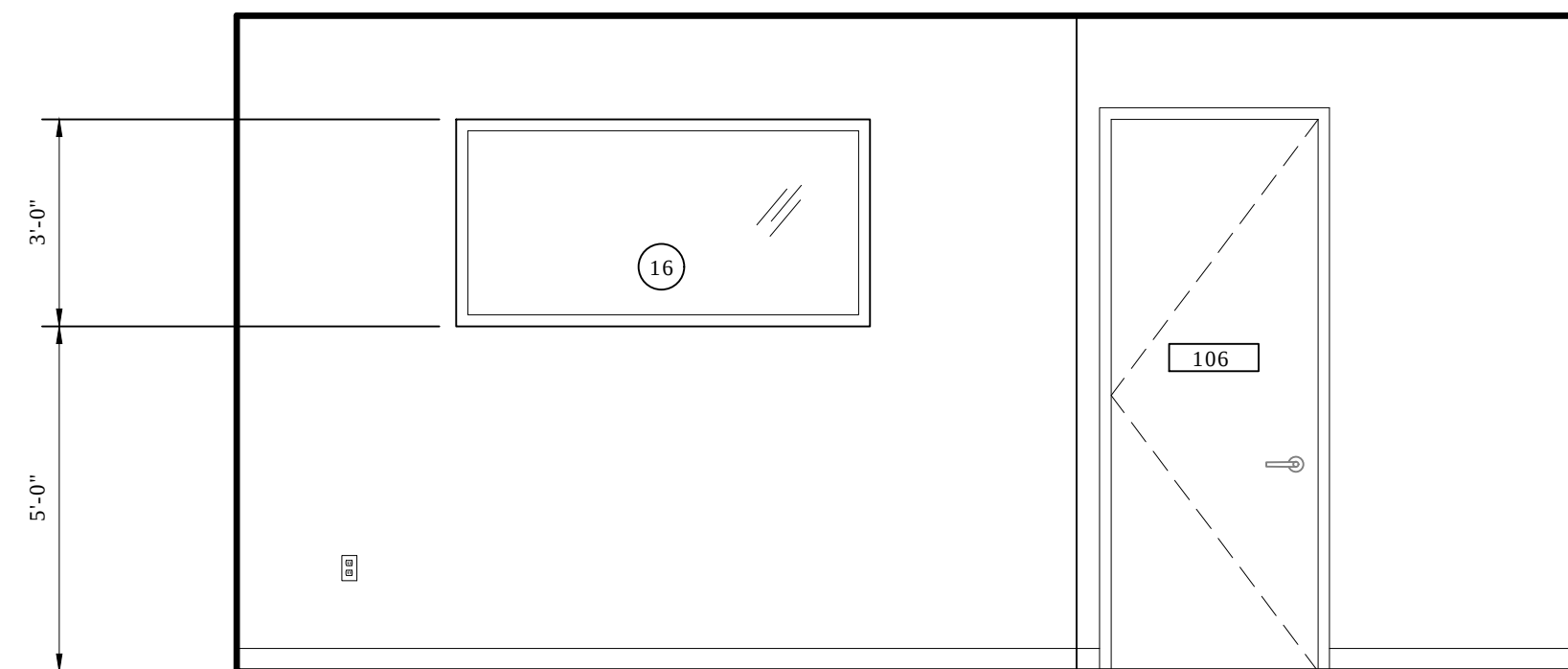
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PROJECT NO.:	2134
DATE:	06/17/22
DRAWN BY:	TEB
CHECKED BY:	
DRAWING NAME:	FLOOR PLAN & SCHEDULES
SHEET NO.:	A-1
VOL. 1 OF 1	SHEET 2 OF 4



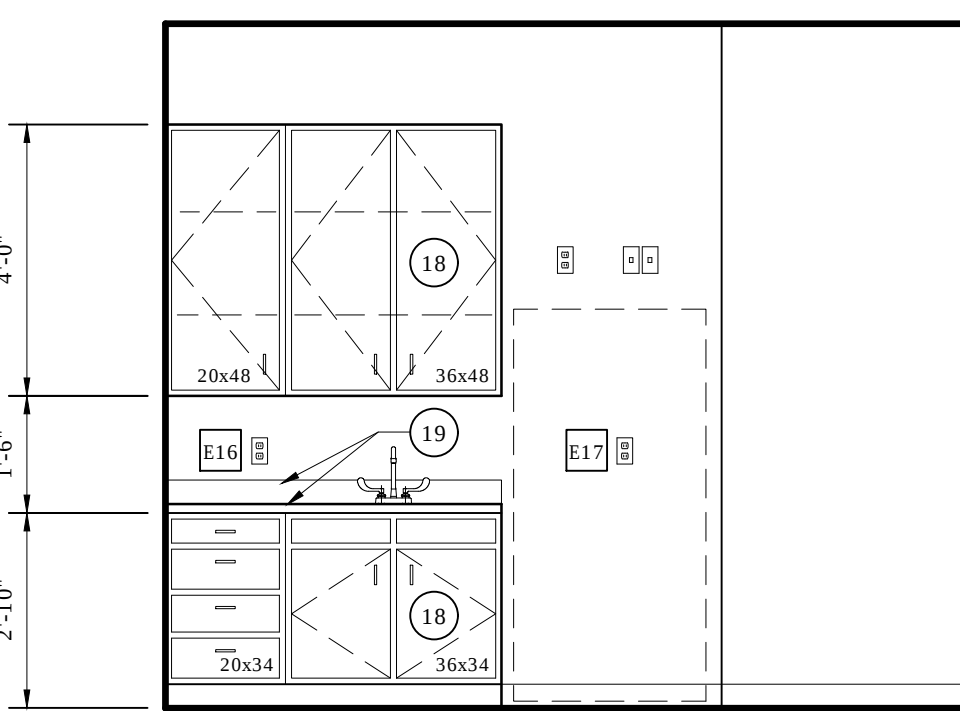
INTERIOR ELEVATION LOOKING NORTH IN LOBBY

SCALE: 3/8" = 1'-0"



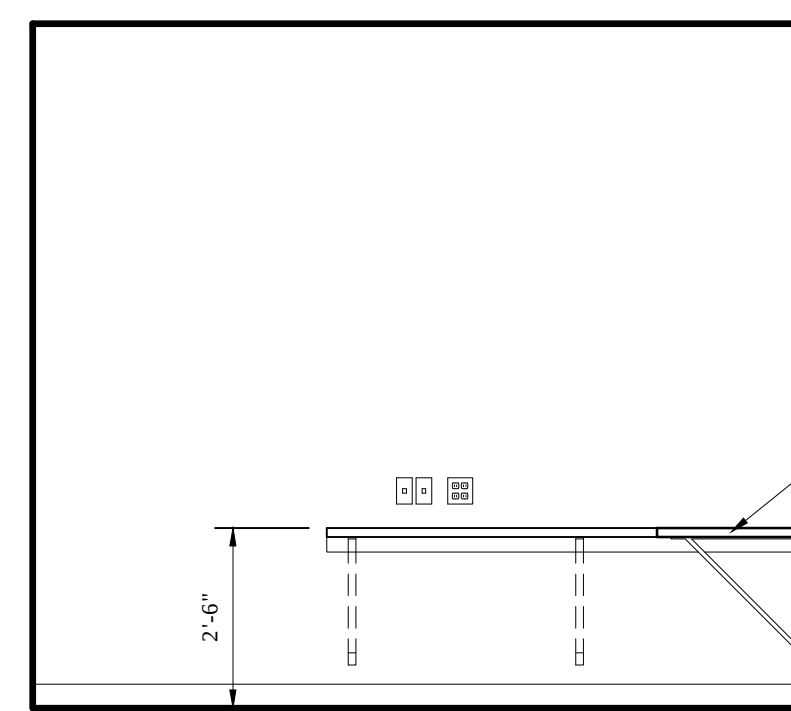
INTERIOR ELEVATION LOOKING NORTH IN CUSTOMER SERVICE

SCALE: 3/8" = 1'-0"



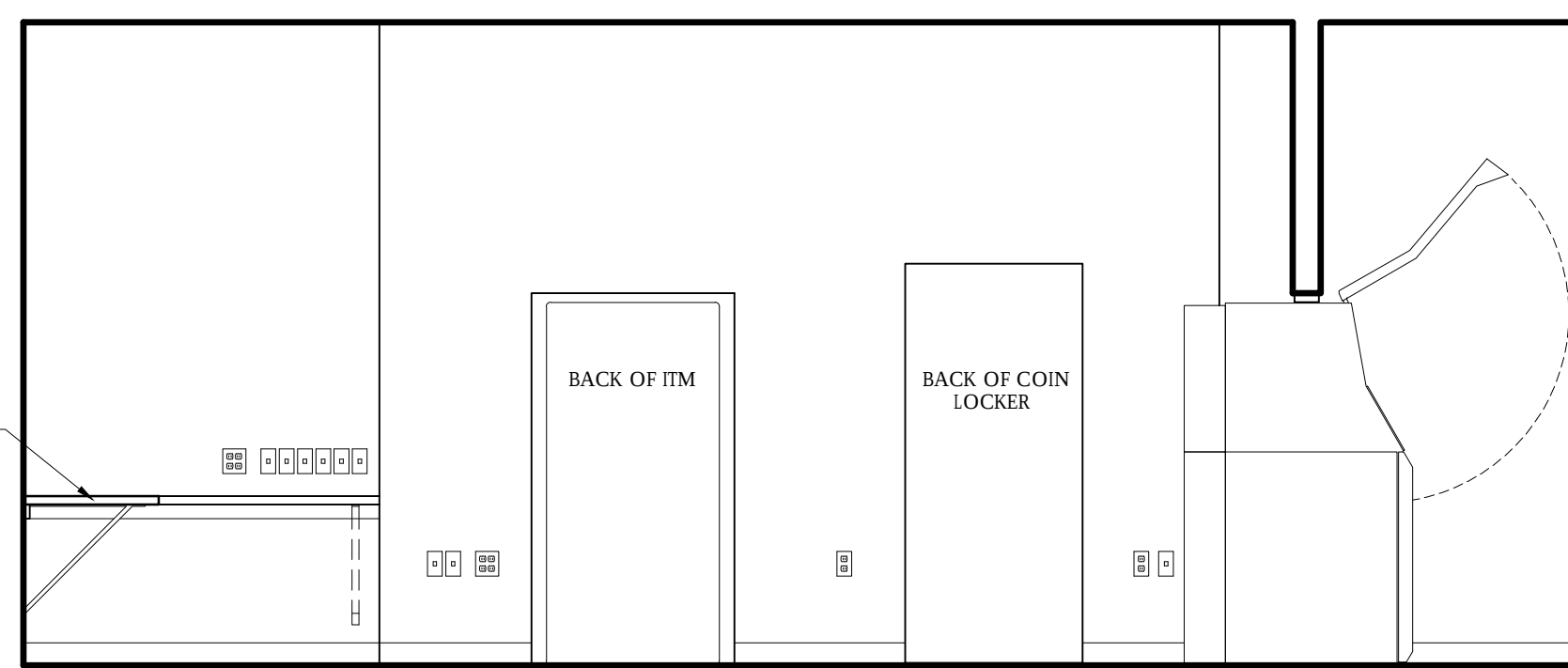
INTERIOR ELEVATION IN KITCHENETTE

SCALE: 3/8" = 1'-0"



INTERIOR ELEVATION IN WORK ROOM

SCALE: 3/8" = 1'-0"



INTERIOR ELEVATION IN WORK ROOM (LOOKING SOUTH)

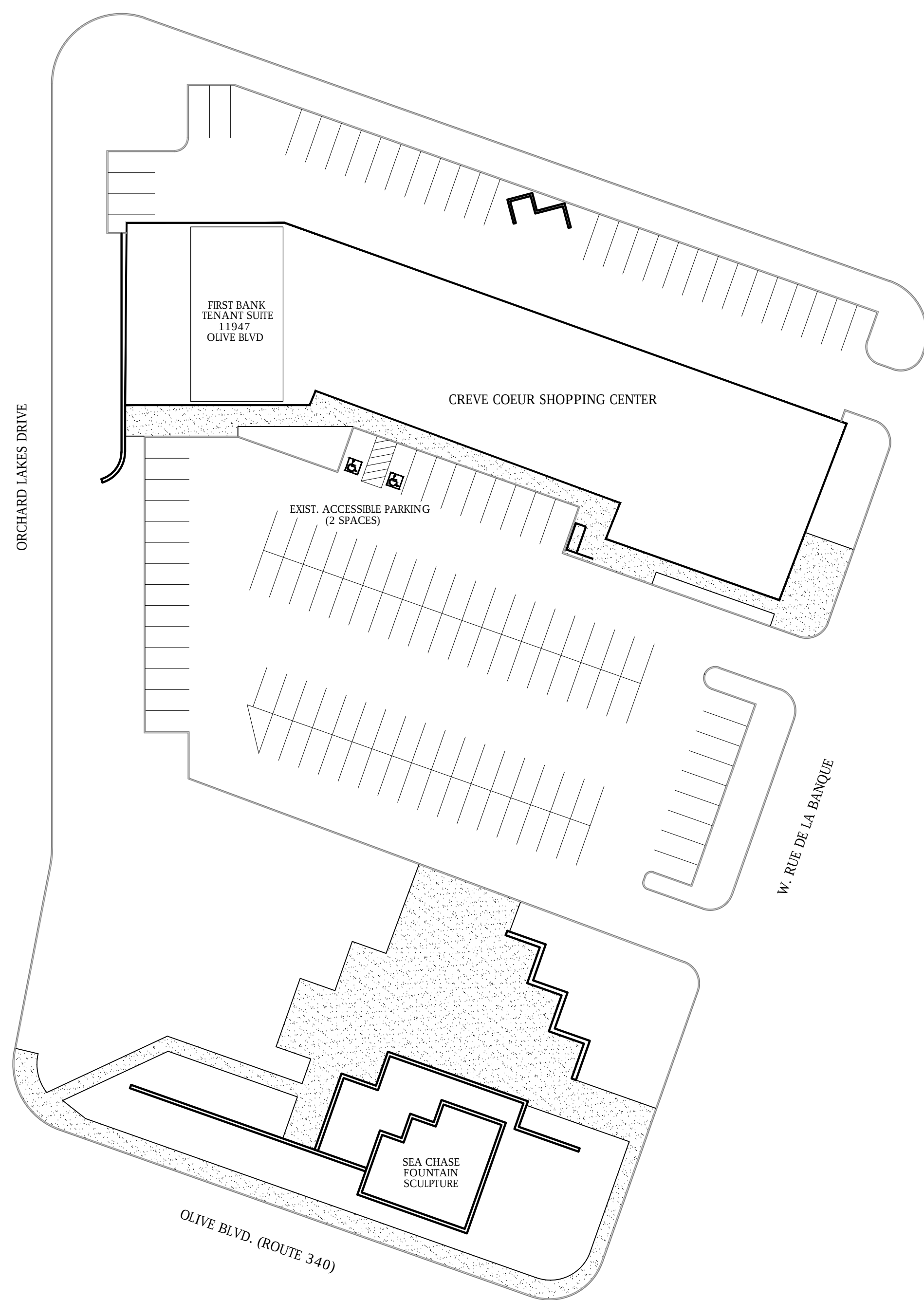
SCALE: 3/8" = 1'-0"

SECURITY EQUIPMENT SCHEDULE

MARK	DESCRIPTION	MFG.	MFG. NAME / NUMBER	LOCATION	TOTAL ITEMS	NOTES
S-1	HEIGHT STRIP CAMERA	HONEYWELL	"EXTVIEW"	STOREFRONT JAMB	2	4, 10.
S-2	INTERIOR DOME CAMERA	dVIEW	MD45N28Y10WDRS8	CEILING / WALL / SPLIT	14	4, 10.
S-3	EXTERIOR DOME CAMERA	dVIEW	MD45N28Y10WDRS8	EXTERIOR WALL	3	4, 10.
S-4	INTERNAL I.T.M. CAMERA	dVIEW	TBD	PART OF I.T.M.	2	2, 4, 7, 10, 13.
S-5	SECURITY DVE	VERINT	Edgvr 300	IN THE BACK	1	3, 8.
S-6	SECURITY MONITOR	CINTON ELEC.	CE-VT768	ATOP BACK / FRIDGE	2	1, 8, 11, 12.
S-7	ALARM BUTTON	TBD	TBD	UNDER FURN OR PER NOTE	7	5.
S-8	MAIN ALARM PANEL	TBD	TBD	WALL MOUNTED	1	5.
S-9	MOTION SENSOR	OFFEX	SX-360Z	CEILING	5	5.
S-10	DOOR CONTACTS	TBD	TBD	DOOR HEAD / GATE POST	3	5.
S-11	ALARM CONTROL PAD	TBD	TBD	WALL IN MGR. OFFICE	1	6.
S-12	ITM ALARM CONTROL	TBD	TBD	INSIDE BACK OF ITM	2	6.
S-13	STRESS STROBE LIGHT	TBD	TBD	BREAK / WORK ROOM	2	6.

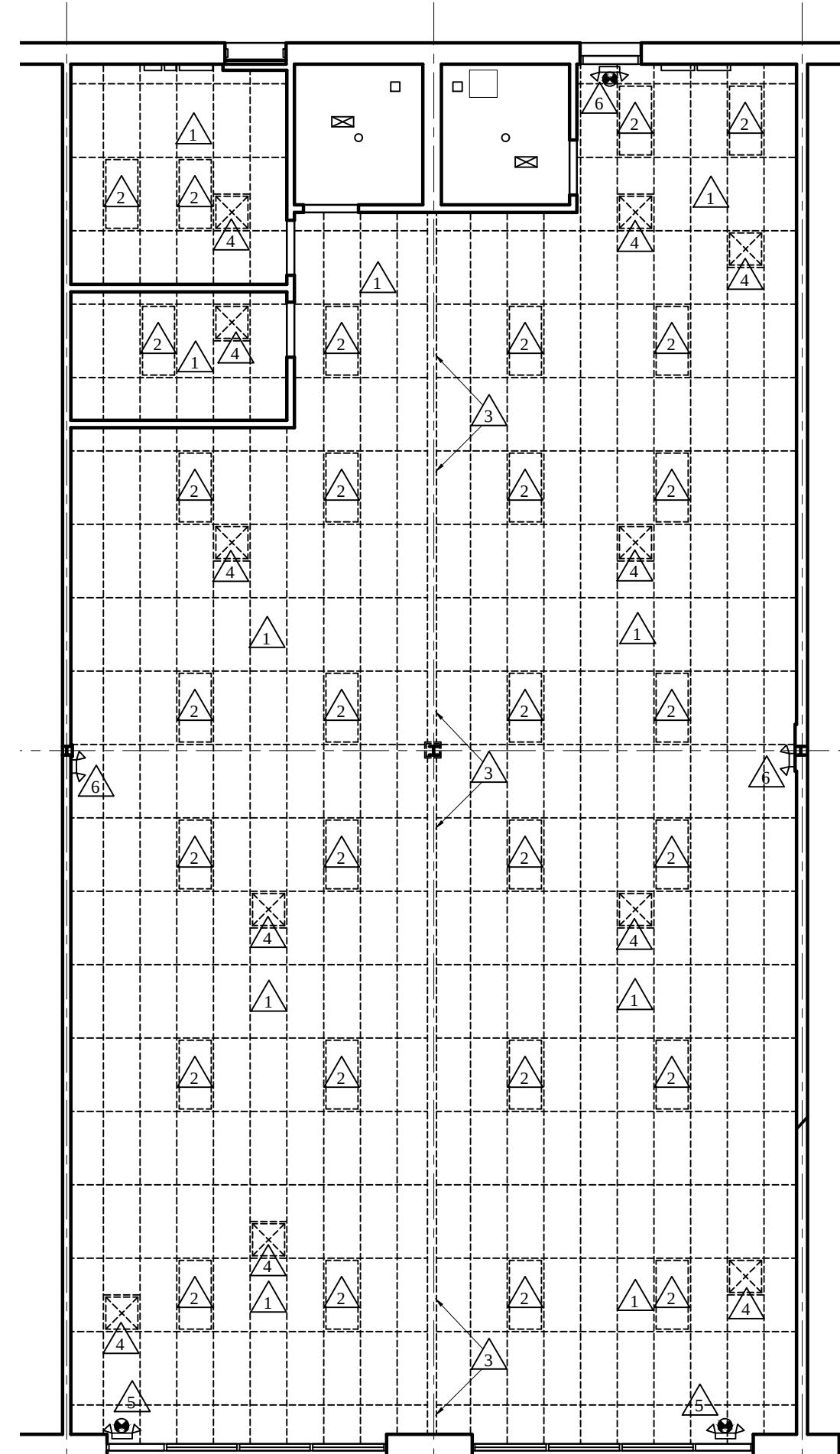
SECURITY EQUIPMENT NOTES:

- SECURITY MONITORS - (1) PLACED ATOP LOCKERS IN BREAK / WORK RM; (1) ATOP VAULT IN ITM EQUIP. ROOM
- CAMERA IS PART OF I.T.M. EQUIPMENT - VERIFY WITH BANK'S I.T.M. PROJECT MANAGER
- PLACE IN BACK, AS INSTRUCTED BY BANK'S TECH MANAGER
- G.C. TO PULL CAT-6 CABLE FOR EA. CAMERA LOCATION TO THE SERVER RACK, TYP.
- G.C. TO PULL A/C / 22 GA STRANDED CABLE TO MOTION SENSOR LOCATION
- G.C. TO PULL A/C / 22 GA CABLE TO LOCATION OF ALARM CONTROL PAD
- G.C. TO PULL A/C / 22 GA CABLE TO THE INTERACTIVE TELLER MACHINE (ITM)
- G.C. TO PULL A COAXIAL CABLE FROM THE DVE TO THE MONITOR.
- ALARM BUTTONS TO BE HARD-WIRED BELOW TABLE OR DESK. IF THIS REQUIRES FLOOR TRENCHING, USE WIRELESS ALARM BUTTONS.
- ALL NEW & EXIST. CAMERA LOCATIONS TO HAVE NEW CAT-6 WIRE - UPGRADE FROM ANALOG TO IP
- NOTE - COAX FOR SECURITY MONITORS TO BE TERMINATED WITH BNC CONNECTORS, TYP.
- SECURITY MONITORS REQUIRE (2) CAT-6 DATA DROPS AND (1) HDMI CABLE - DATA CABLES TO BE DIFFERENT COLOR FROM OTHERS, TYP.



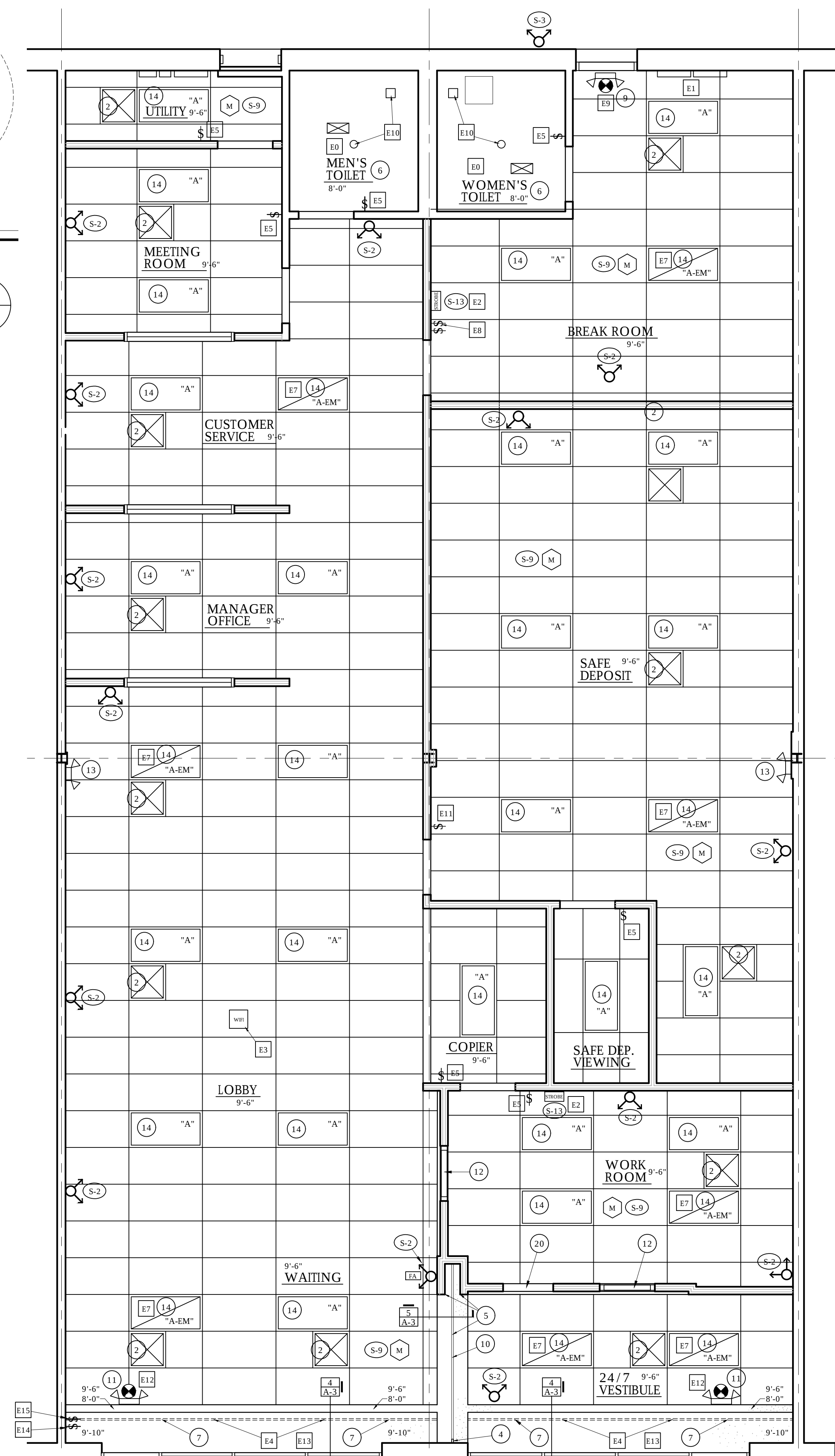
SITE CONTEXT PLAN

SCALE: 1" = 40'-0"



1ST FLOOR DEMOLITION CEILING PLAN

SCALE: 1/8" = 1'-0"



1ST FLOOR PROPOSED CEILING REMODELING PLAN

SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE

NOTE: FINAL ELECTRICAL FOR THIS PROJECT IS DESIGN-BUILD BY LICENSED SUBCONTRACTORS

MARK	MANUFACTURER	CATALOG NUMBER	MOUNTING	LAMP VOLT.	WATTS	TYPE	DESCRIPTION
A	ABI-UTHONIA LIGHTING	B/C 2x4 4000LM 35K	A.C.T. GRID	(UNIVERSAL) 120-277	32	LED	WHITE DIRECT/INDIRECT LED LUMINAIRE
A-EM (NOTE 1)	ABI-UTHONIA LIGHTING	B/C 2x4 4000LM 35K	A.C.T. GRID	(UNIVERSAL) 120-277	32	LED	WHITE DIRECT/INDIRECT LED LUMINAIRE
B (NOTE 2)	DL - DIODE LED	DL-24V-B/C-R-31, 99F-WH-3FBW / DL-OD2-24V3BW	BULKHEAD REF. DETAIL	24	96	LED	CUSTOM COLOR (BLUE) LED STRIP LIGHTS

LIGHT FIXTURE NOTES:

- SAME AS "A" FIXTURES W/ ADDED POWER SENTRY CAT. # PS1055CF M9 "CONSTANT POWER" EMERGENCY POWER DRIVER
- CONTINUOUS STRIP LIGHTING W/ 3M ADHESIVE BACKING, TO BE ADHERED TO THE VERT. SURFACE OF SHIELDING FOR THE CLG. "CLOUD" PER ARCH. DET. 7/A-3

GENERAL NOTES

- VERIFY EXISTING CONDITIONS, MATERIALS & DIMENSIONS. REPORT SIGNIFICANT VARIATIONS THAT MAY AFFECT THE INSTALLATION OF NEW WORK TO OWNER FOR RESOLUTION PRIOR TO COMMENCING WORK.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES, RULES & REGULATIONS.
- DO NOT SCALE DRAWINGS.
- THE ARCHITECT HAS NOT MADE AN EVALUATION OF EXISTING STRUCTURAL ELEMENTS & MAKES NO REPRESENTATIONS AS TO THE STRUCTURAL INTEGRITY OF ELEMENTS OTHER THAN THOSE DESIGNATED HEREIN.
- EXIST. WORK TO BE DEMOLISHED IS SHOWN DASHED ON EXIST. / DEMO PLANS. SEE DWGS. B/A-1 & B/A-2. INCLUDE IN BID WORK NOT SPECIFICALLY INDICATED, BUT WHICH MUST BE DEMOLISHED TO ACCOMPLISH NEW WORK.
- FIXTURES, FURNISHINGS & EQUIP. SHOWN HALF-TONED ON PLANS ARE OWNER-FURNISHED / OWNER-INSTALLED AND NOT IN CONTRACT (N.I.C.).
- MECHANICAL ELECTRICAL & PLUMBING WORK IS DESIGN-BUILD BY LICENSED SUBCONTRACTORS. SCHEMATIC LOCATIONS FOR FEATURES SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE. ANY REQUIRED PATCHING / REPAIR OF EXIST. OR NEW FEATURE OR ELEMENT SHALL MATCH EXISTING OR NEW ADJACENT WORK.
- DURING NORMAL OCCUPANCY OF THE BUILDING, ALL PORTIONS OF THE MEANS OF EGRESS SHALL BE IN A SAFE CONDITION, AVAILABLE FOR IMMEDIATE USE, AND FREE FROM ALL OBSTRUCTIONS.
- INTERIOR FINISH MATERIALS SHALL COMPLY W/ THE FLAME SPREAD AND SMOKE DEVELOPMENT LIMITATIONS AS FOLLOWS:
EXIT ENCLOSURES & EXIT PASSAGEWAYS CLASS A
CORRIDORS CLASS B
ROOMS & ENCLOSED SPACES: CLASS C
- COMPLY W/ IBC/ADAG GUIDELINES FOR MOUNTING HEIGHTS. CONSULT ARCHITECT FOR HES, NOT INDICATED.
- THERE SHALL BE NO COMBUSTIBLE MATERIAL PRESENT IN ANY RETURN AIR PLenums.
- PROVIDE APPROPRIATE FIRE OR SMOKE RATED SAFING, SEALANT, AND / OR DAMPERS AT PENETRATIONS OF ANY NEW OR EXIST. SMOKE OR FIRE RATED PARTITIONS.
- THE TOPS OF WORK SURFACES SHALL BE 28" MIN. & 34" MAX. ABOVE FIN. FLOOR. WORK STATIONS SHALL COMPLY W/ AISLE WIDTH & ENTRIES SHALL BE 32" MIN. WIDTH CLEAR.
- FACE OF OPENING JAMB ON DOORS SHALL BE 4" FROM ADJACENT WALL ON HINGE SIDE, U.N.O.

KEYED NOTES (NOTE: NOT ALL KEYED ON THIS SHEET)

- ALIGN NEW WALL / PARTITION / FEATURE W/ EXIST. OR NEW WALL / PARTITION OR FEATURE.
- NEW SUPPLY / AIR DIFFUSER IN A.C.T. CLG. M.E.P. IS DESIGN-BUILD BY LICENSED CONTRACTOR, TYP.
- RETURN AIR DIFFUSERS ARE NOT SHOWN ON CEILING PLAN - CONTRACTOR TO VERIFY NEW MOBILEX SYSTEM DIRECTOR OR RETURN (RETURN RETURN) - M.E.P. IS DESIGN-BUILD BY LICENSED CONTRACTOR.
- NEW FIXED AND NEW MOBILEX FOLDING SECURITY PARTITION. USE "TYPE B" MOBILEX EDD. END POST, ANCHORED TO NEW WALL, AS PER INSTRUCTIONS.
- CENTER CLG. TRACK & NEW FOLDING (MOBILEX) PARTITION ON CENTERLINE OF RECESSED STORAGE "NICHE".
- EXIST. GYP. BD. CEILING TO REMAIN IN THIS ROOM / SPACE. REPAIR AS REQ'D. REPAIR ENTIRE CEILING.
- NEW CONTINUOUS BLUE LED STRIP LIGHT MOUNTED IN LOCATION SHOWN. PROVIDE DIMMING SWITCH. VERIFY LOCATION OF SWITCH TRANSFORMER (IF REQ'D) W/ OWNER / ARCHITECT.
- ALL CEILING GRID / THIS TO BE NEW, U.N.O.
- RETAIN EXIST. COMBINATION EMERGENCY LIGHTS / EXIT SIGN. VERIFY WORKING CONDITION.
- CLG-SUPPORTED FOLDING SECURITY CLOSURE BY MOBILEX -MOBILEX COMP. "ROYAL" (TEMPERED GLASS) MODEL, 6" MODULES W/ CONT. ALUM. HINGE, CLEAR ANODIZED 4" METAL FINISH. TOP SHALL BE HUNG FROM CONCEALED, TEMPERED ALUM. ALLOY 6063-15 TRACK, 1-5/16" WIDE x 1-9/16" HIGH W/ PROTECTIVE @ 1/4" RADIUS. LOCKING TO BE ADA THUMB LATCH FROM WAITING RM. SIDE ONLY. INCLUDE CONTACTS TO RECORD OPERATION & ALSO INCLUDE SPRING-LOADED DROP BOLTS, ACTIVATED FROM INSIDE ONLY THAT ENGAGE DUST-PROOF STAINLESS STEEL FLOOR RECEPTACLES.
- RELOCATE EXIST. COMBINATION EXIT LIGHTS / EXIT SIGN TO MIDDLE OF FACE OF NEW DROP BULKHEAD. VERIFY WORKING CONDITION.
- PID. GYP. BD. FINISHING @ APPROX. 5'-4" A.F. AT OPENING FOR NEW ITM - VERIFY CLEARANCE REQUIREMENTS W/ BANK TECH. MGR., TYP.
- RETAIN EXIST. EMERGENCY LIGHTS - VERIFY WORKING CONDITION.
- NEW LED 2x4 DOWNLIGHT IN LOCATION SHOWN - M.E.P. IS DESIGN-BUILD BY LICENSED CONTRACTORS, TYP.
- NEW FIRE ALARM ENUNCIATOR. REF. INTERIOR ELEVATION.
- 1/4" GLASS IN PID. HOLLOW METAL WINDOW FRAME. REF. DET. 11/A-3. PARTITION TYPE 2-2. PAINT FRAMES SAME COLOR AS SURROUNDING WALL PARTITION, TYP.
- SECURITY CAMERA - REF. CEILING PLAN & SECURITY EQUIPMENT SCHEDULE ON SHEET A-2.
- UPPER / BASE CABINETS - PLAM #1 FACES W/ WHITE MELAMINE INNER PAGES, EUROPEAN STYLE BRUSHED S.S. HINGES & 4" WIRE PULLS, TYP.
- PLAM #2 1-1/2" THICK COUNTERTOP & 4" BACKSPLASH (WHERE INDICATED)
- PID. GYP. BD. FINISH HEADER @ APPROX. 4'-8" A.F. AT OPENING FOR NEW COIN LOCKER - VERIFY CLEARANCE REQUIREMENTS W/ FIRST BANK TECH. MGR., TYP.

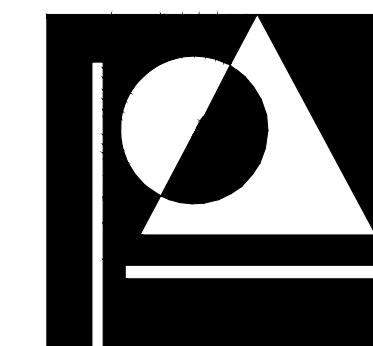
ELECTRICAL KEYED NOTES

(NOTE: NOT ALL KEYED ON THIS SHEET)

- RE-USE ALL EXISTING, VERIFIABLY WORKING ELECTRICAL DEVICES, LIGHTS, RECEPTACLES, ETC. IN THIS ROOM / SPACE.
- EXIST. ELECTRICAL PANEL TO REMAIN. CONTRACTOR TO VERIFY LOCATION & CONDITION.
- WALL-MNT. STRESS STROKE @ APPROX. 7" A.F.F. CONNECTED TO BANK'S ALARM SYSTEM - VERIFY W/ CREVE COEUR@firstbank.com
- ABRIMA INF-315 WIRELESS ACCESS POINT PROVIDED BY FIRST BANK, MOUNTED ON ACT. CEILING. PROVIDE CAT-6 CABLE TO SERVER RACK.
- NEW TYPE "F" CONTINUOUS ADHESIVE-SET COLOR BRID. IMMEDIATE STRIP INDIRECT BULKHEAD LED LIGHT FIXTURES. REF. DET. X/XV
- SINGLE POLE LIGHT SWITCH TO CONTROL CEILING LIGHT FIXTURES IN THIS ROOM OR SPACE. RETAIN / RE-USE EXIST. WHERE POSSIBLE.
- EXIST. (2) LIGHT SWITCHES TO REMAIN. RE-WIRE TO CONTROL (6) NEW 2x4 DOWNLIGHTS IN WAITING, LOBBY, MGR'S OFFICE, & CUST. SERVICE.
- "NIGHT LIGHT" 2x4 DOWNLIGHT FIXTURE TO BE SWITCHED AT BREAKER PANEL, TYP.
- NEW LIGHT SWITCH TO CONTROL (2) 2x4 DOWNLIGHTS IN BREAK ROOM AREA.
- EXIST. EXIT LIGHT / EMERGENCY LIGHTING TO REMAIN.
- EXIST. TOILET ROOM DOWNLIGHT & COMBO LIGHT / FAN TO REMAIN. VERIFY WORKING CONDITION / REPLACE AS REQ'D.
- NEW LIGHT SWITCH CONTROLS (6) 2x4 NEW DOWNLIGHTS IN SAFE DEPOSIT AREA.
- RELOCATE EXIST. COMBINATION EMERGENCY LIGHTS / EXIT LIGHTS TO THIS LOCATION. VERIFY WORKING CONDITION. MOUNT TO MIDDLE OF NEW FACE OF BULKHEAD.
- SWITCH NEW "BLUE GLOW" LED STRIP LIGHTS AT BREAKER PANEL, TYP.
- NEW (OR EXIST) SWITCH CONTROLS (6) 2x4 DOWNLIGHTS IN LOBBY & WAITING AREA.
- NEW (OR EXIST) SWITCH CONTROLS (2) 2x4 DOWNLIGHTS IN MGR'S OFFICE & (1) 2x4 DOWNLIGHT IN CUSTOMER SERVICE AREA.
- G.E.I.C. CONVENIENCE POWER RECEPTACLE @ 4" ABOVE NEW COUNTERTOP.
- NEW POWER RECEPTACLE FOR REFRIGERATOR.

DEMO KEYED NOTES

- DEMO ALL EXIST. ACOUSTICAL CEILING TIES, SUPPORT SUSPENDED GRID, ALL ASSOCIATED HANGERS, BRACING, ETC. SHOWN DASHED ON DEMO CLG. PLAN.
- DEMO EXIST. 2x4 CEILING DOWNLIGHT & ALL ASSOCIATED HANGERS, BRACING, CIRCUTS-TO-PANEL, ETC.
- DEMO (OR CONCEAL WITH NEW CLG. WORK) EXIST. WOOD CENTER DIVING STRIP.
- DEMO EXIST. MECHANICAL DIFFUSER. RE-USE EXIST. DUCTWORK LAYOUT WHERE POSSIBLE. M.E.P. IS DESIGN-BUILD.
- DEMO / RELOCATE EXIST. COMBINATION EMERGENCY LIGHTING / EXIT SIGN
- EXIST. EMERGENCY LIGHTING & COMBINATION EMERGENCY LIGHT / EXIT SIGN TO REMAIN. VERIFY WORKING CONDITION.



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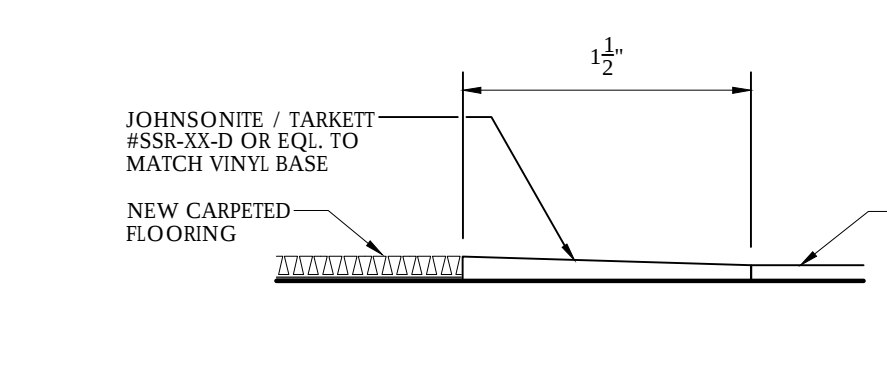
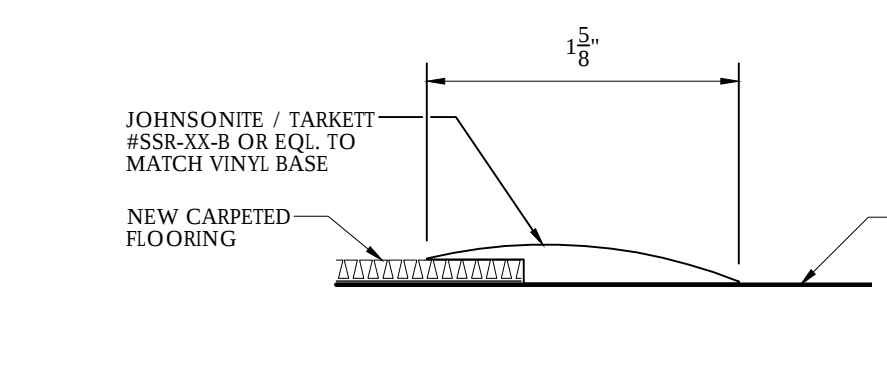
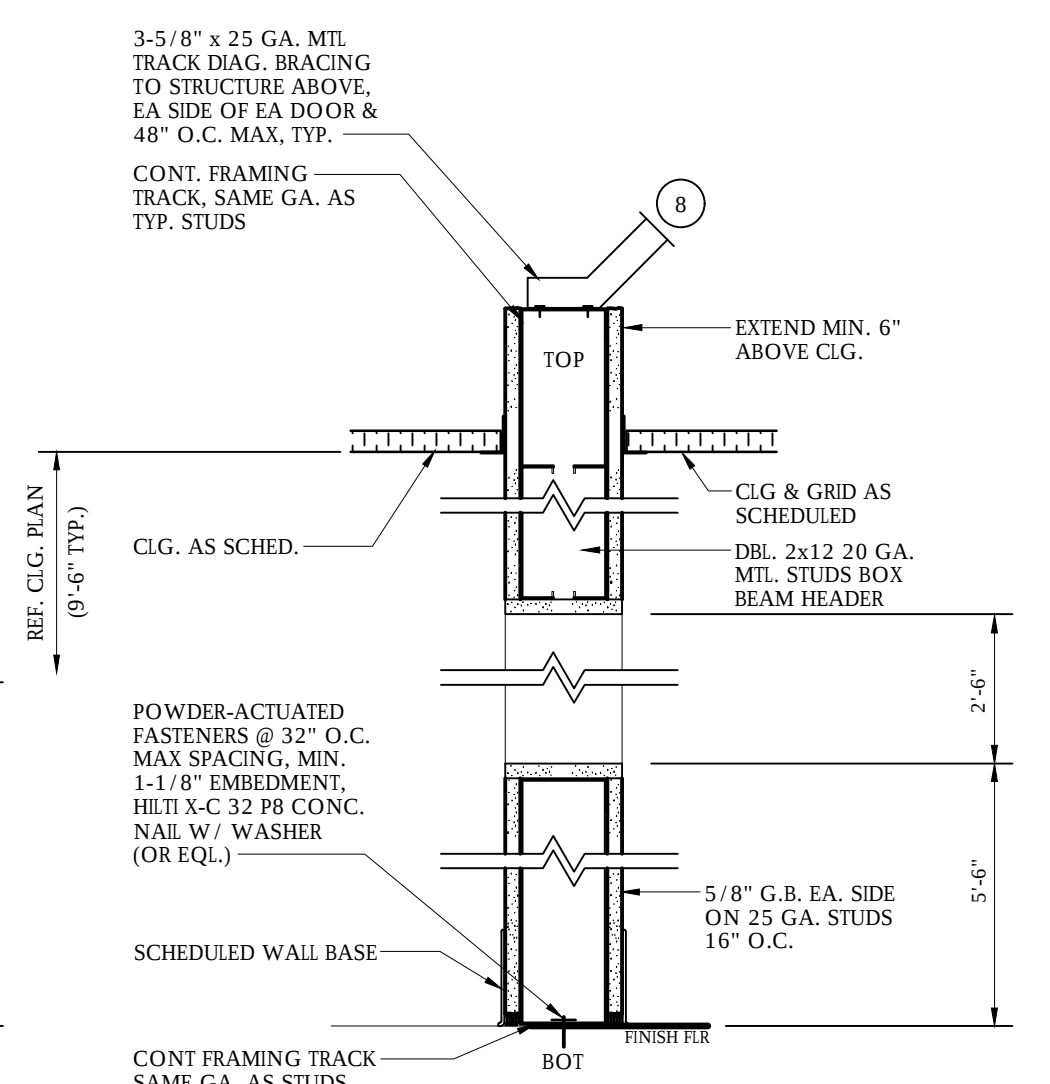
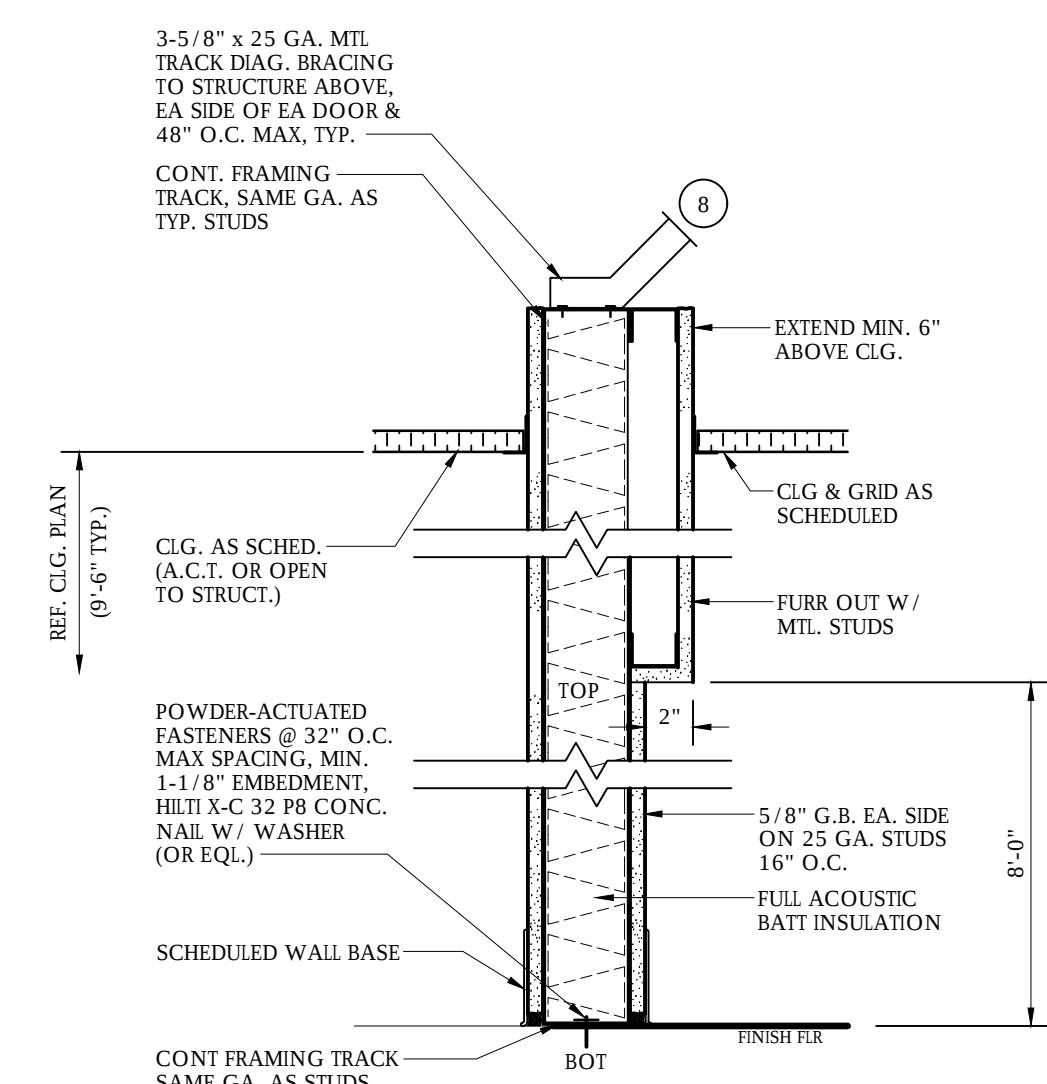
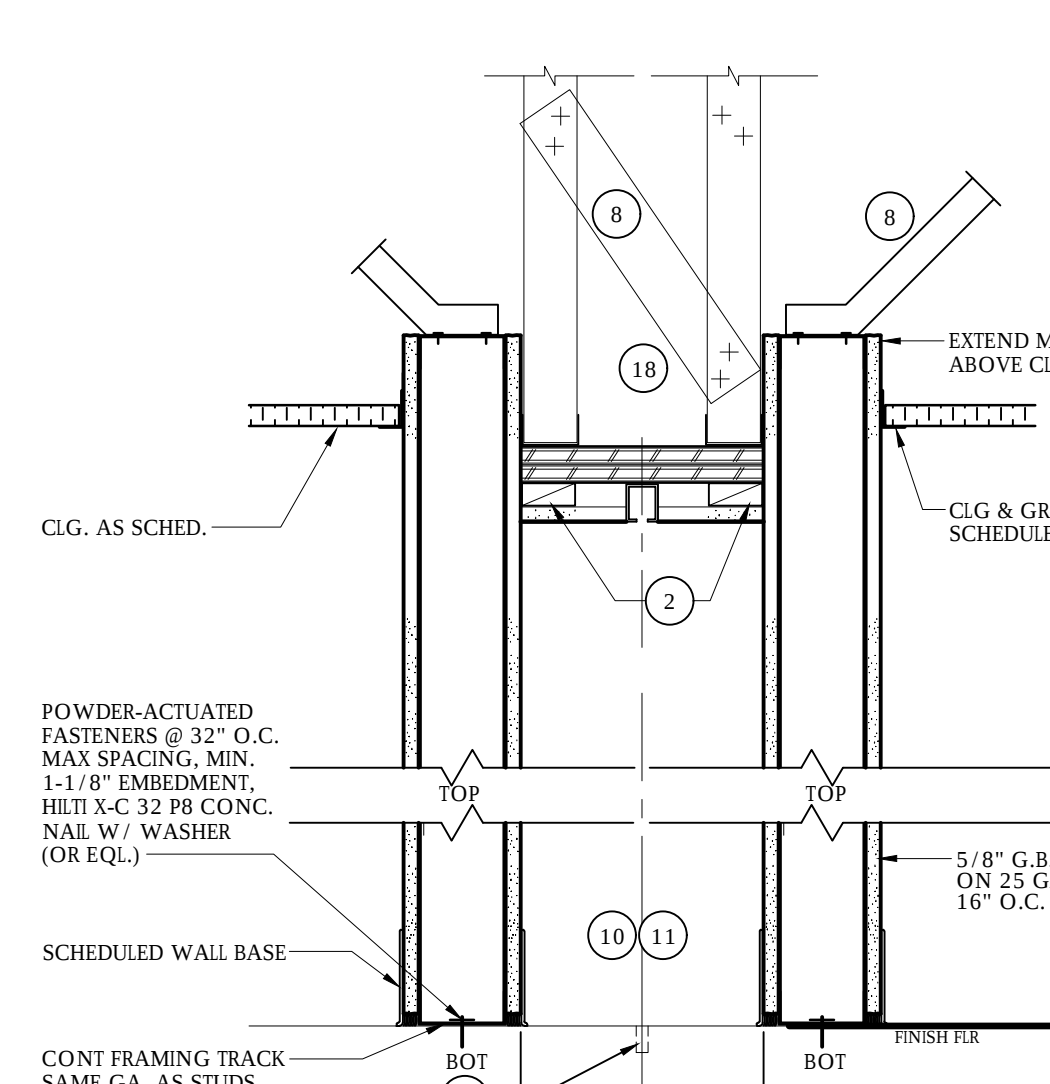
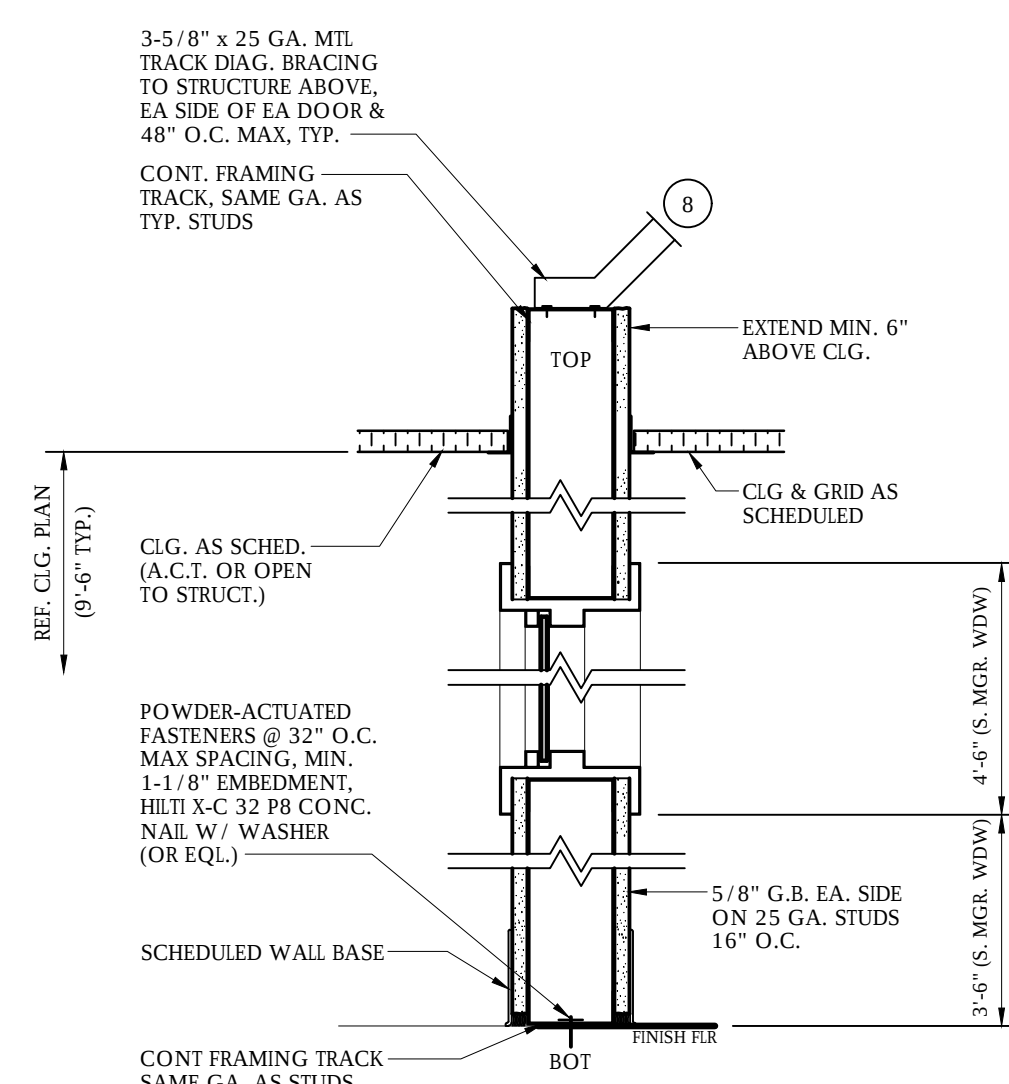
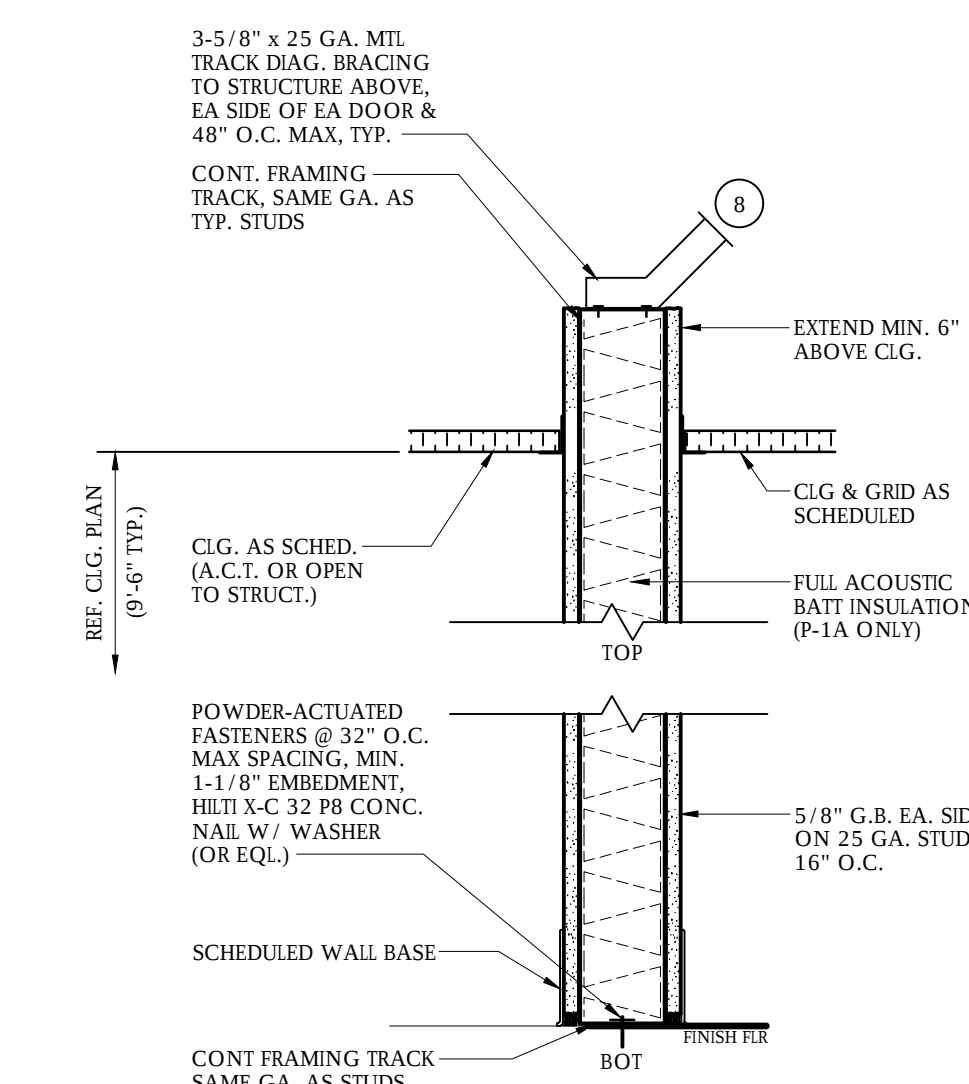
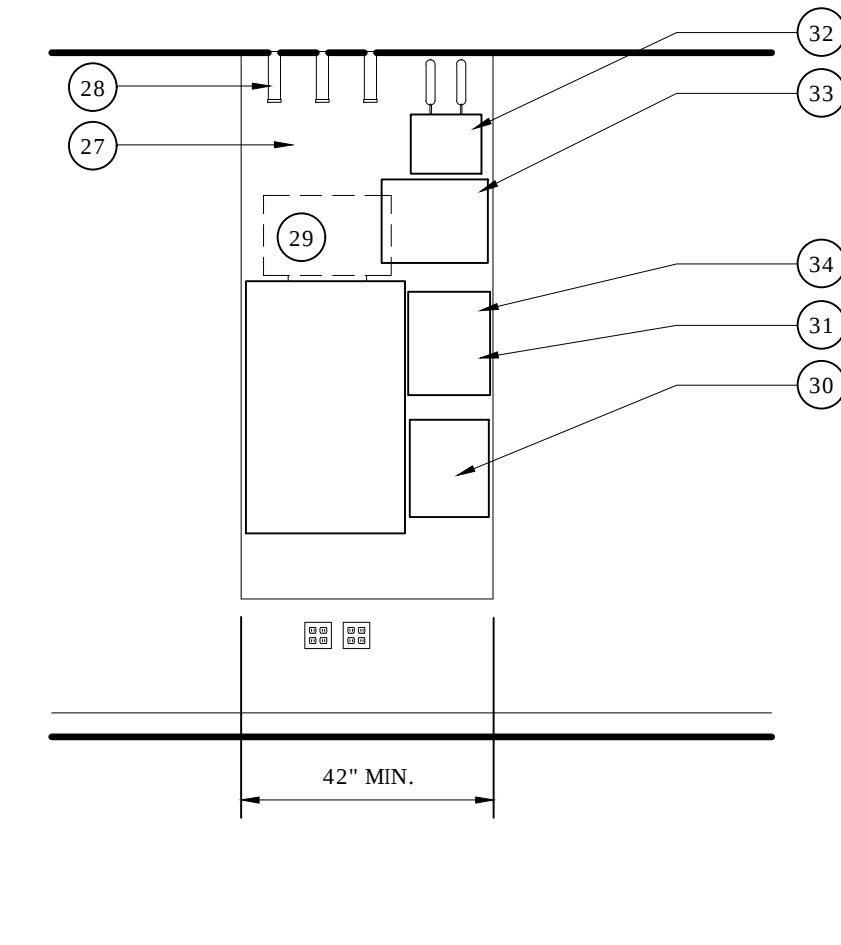
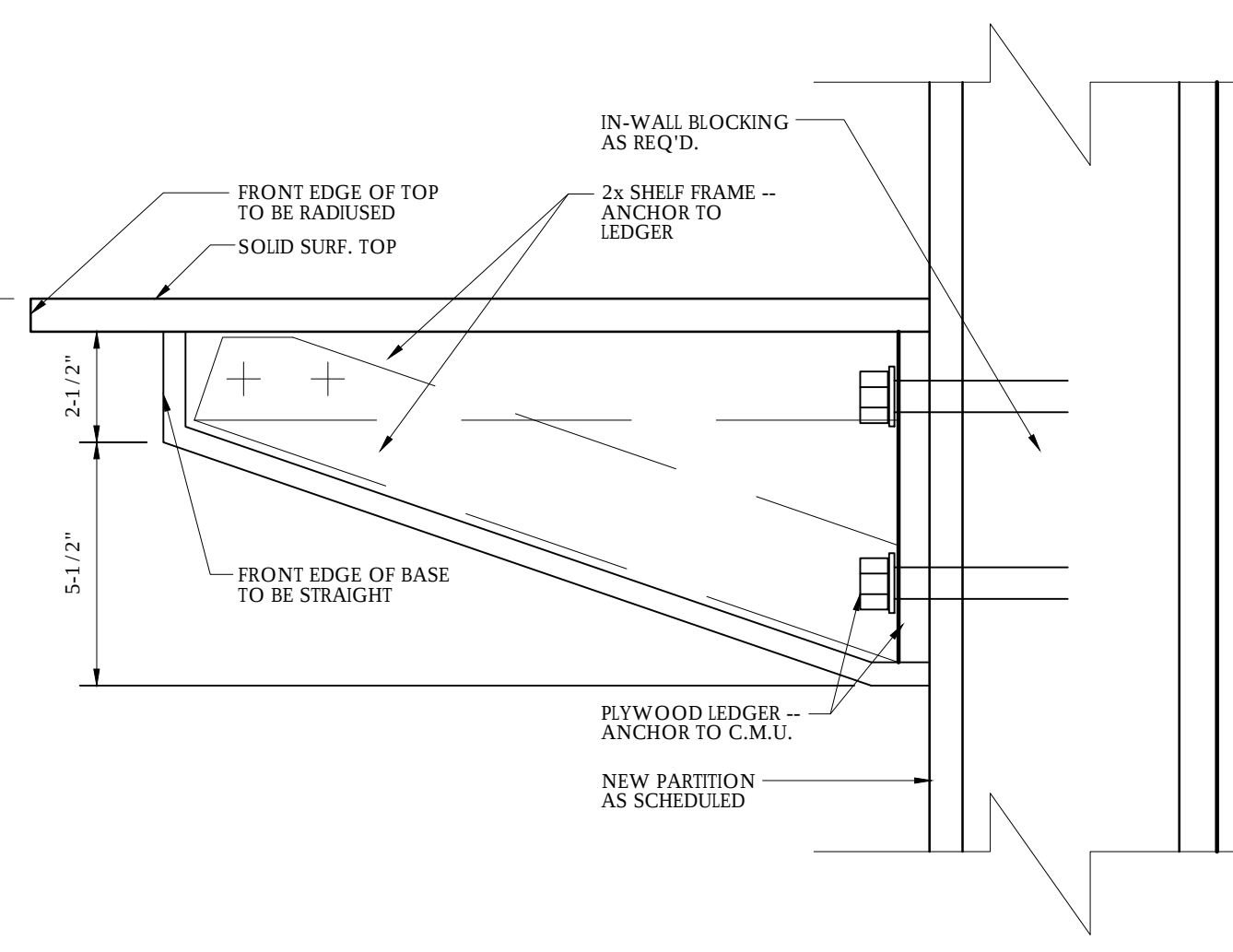
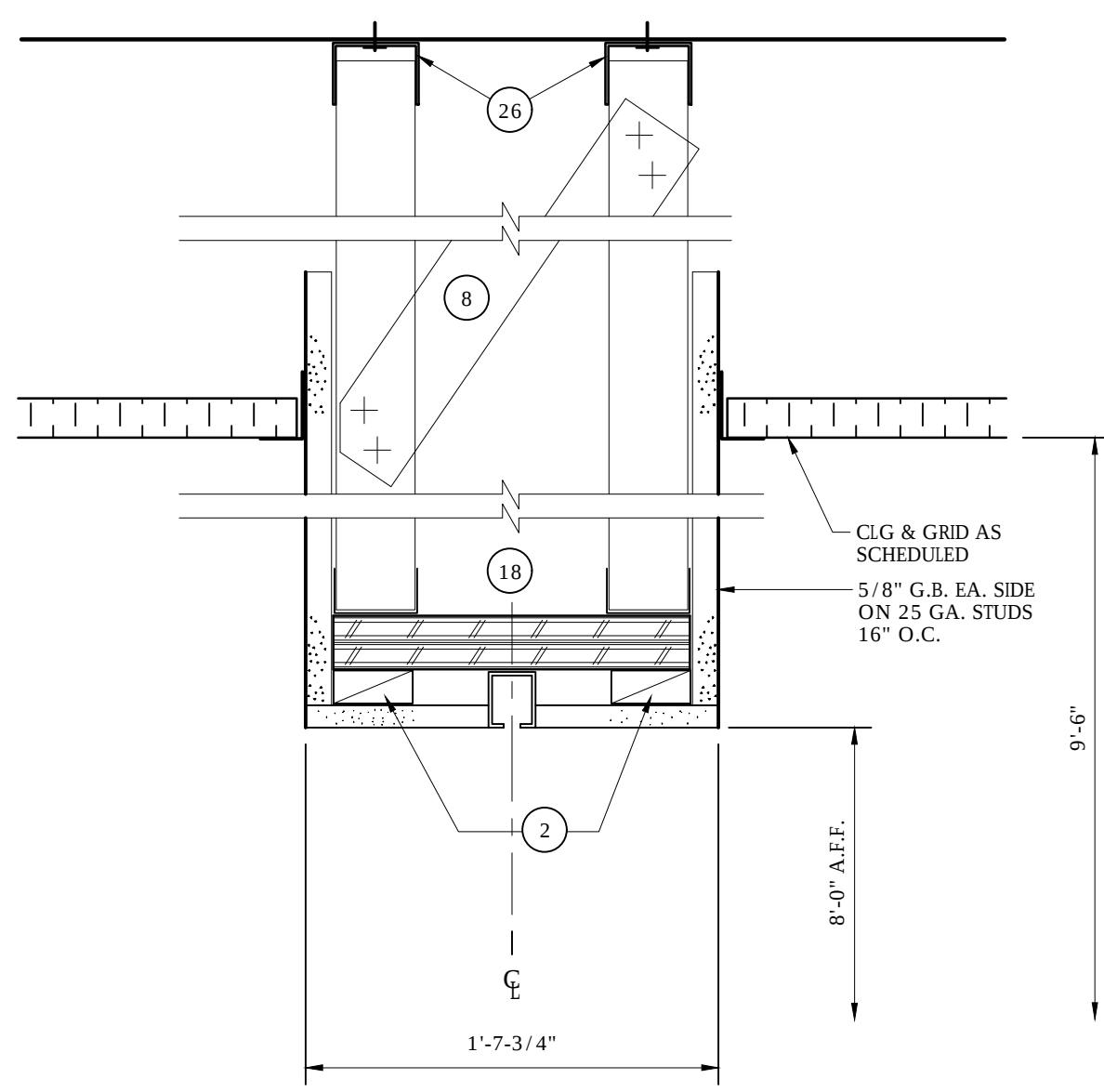
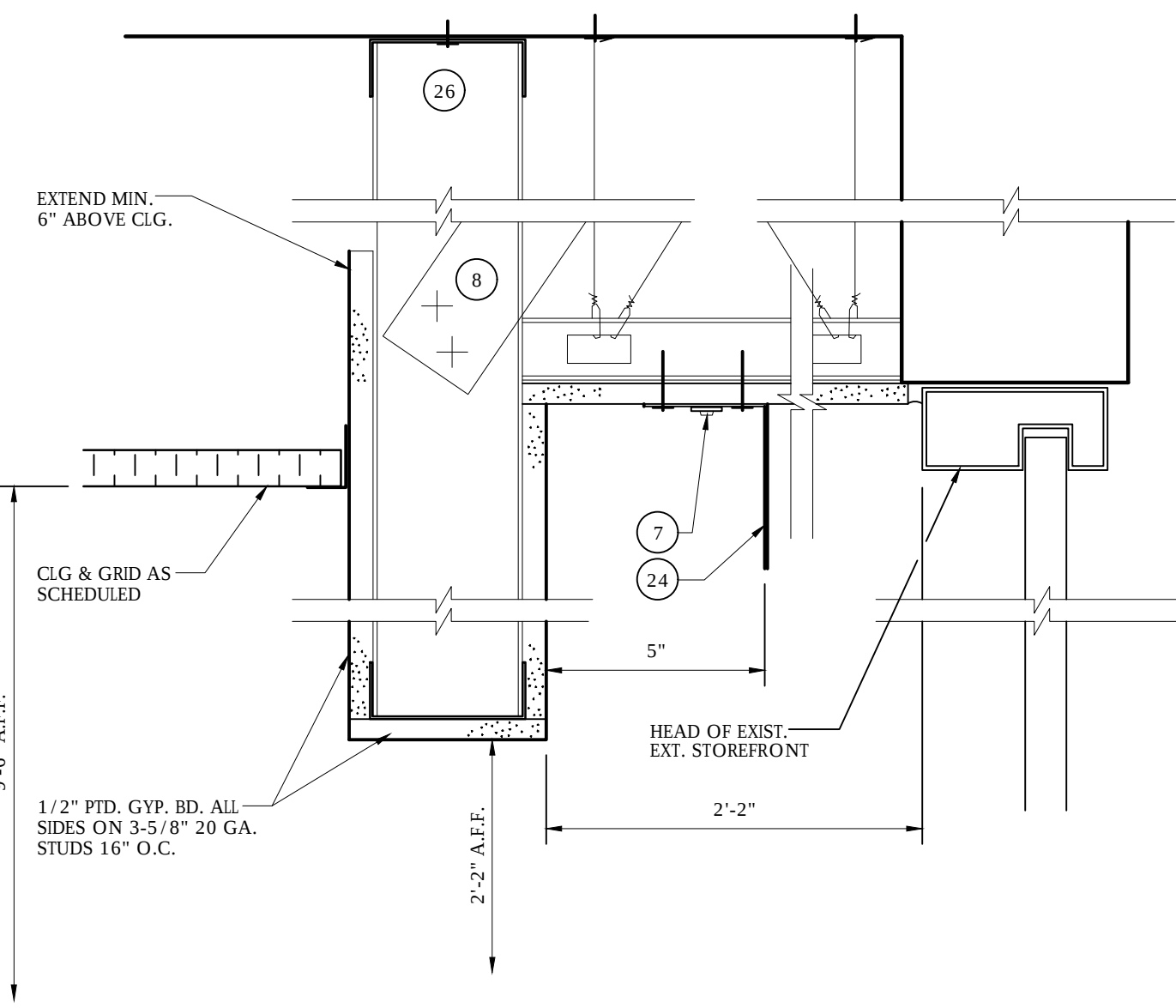
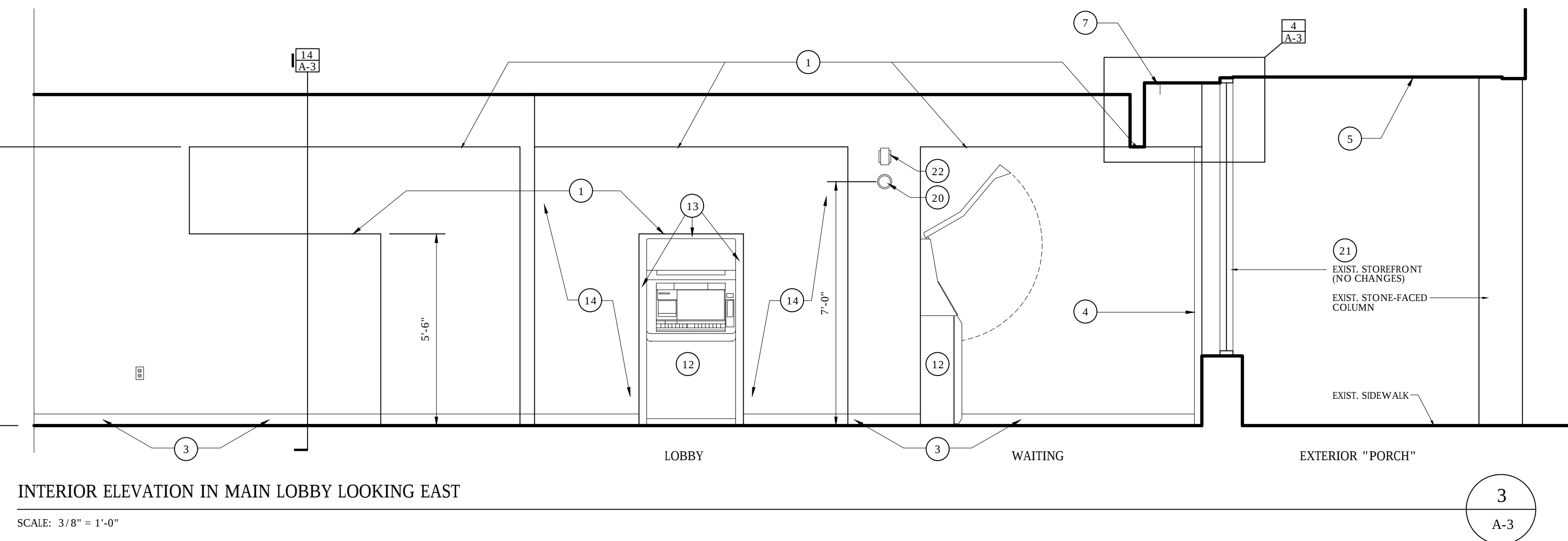
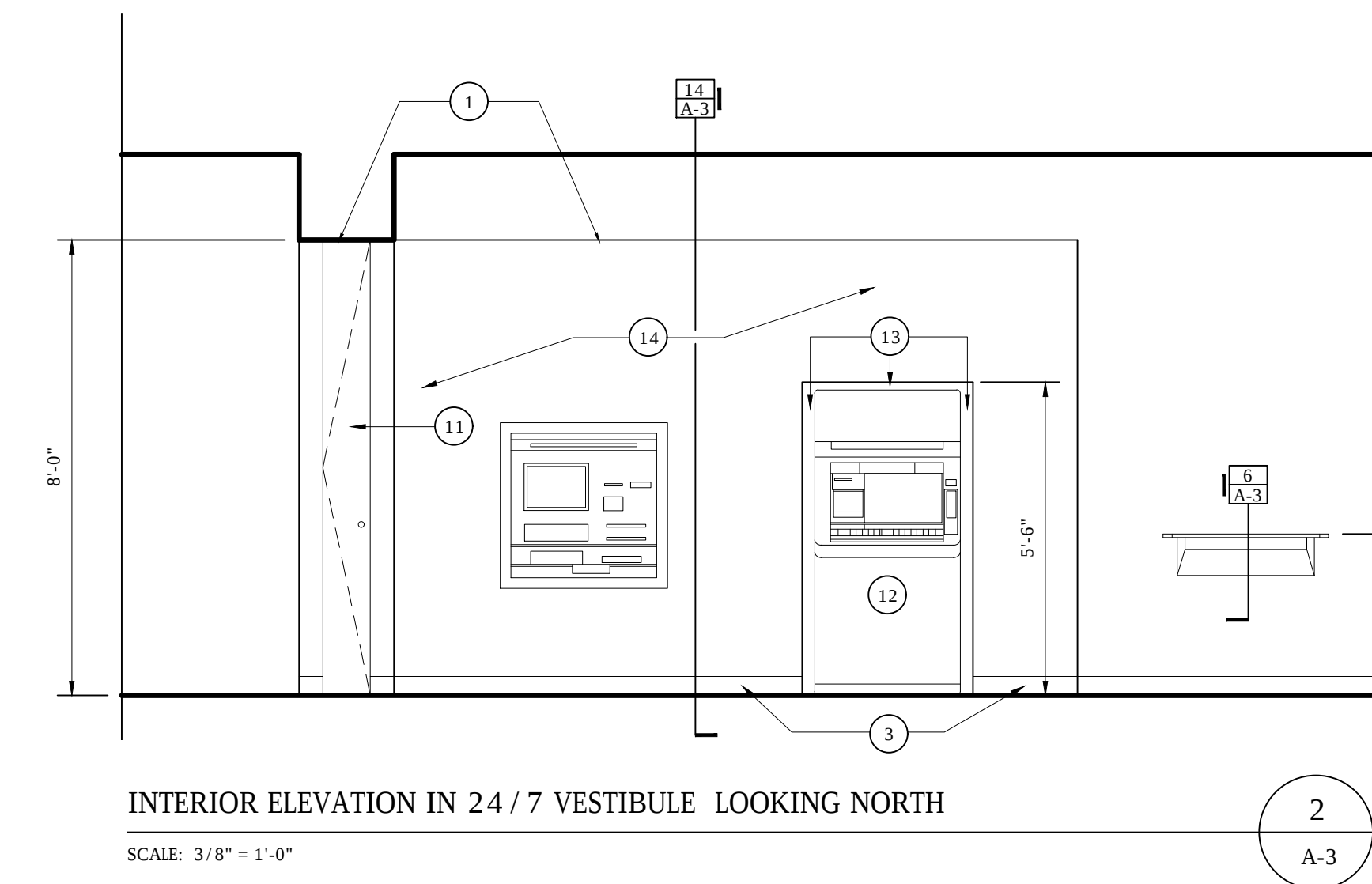
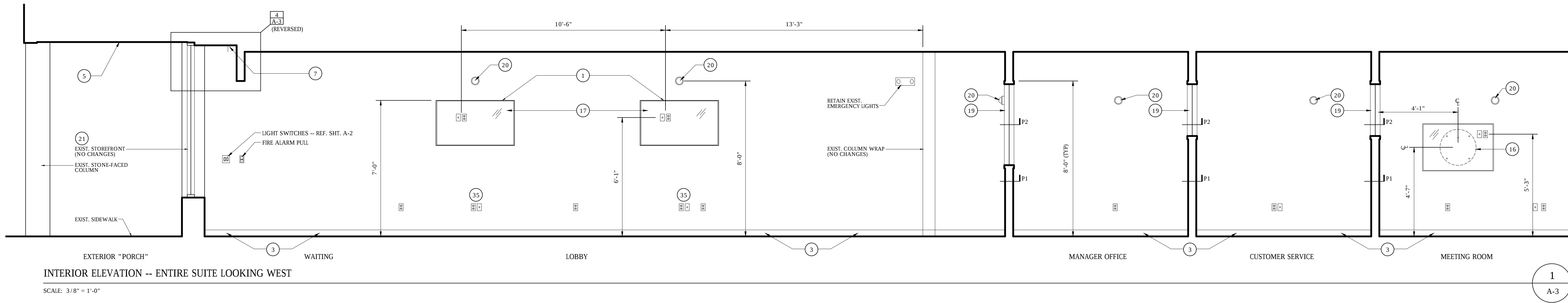
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DRAWING NAME:
CEILING PLAN & SCHEDULES

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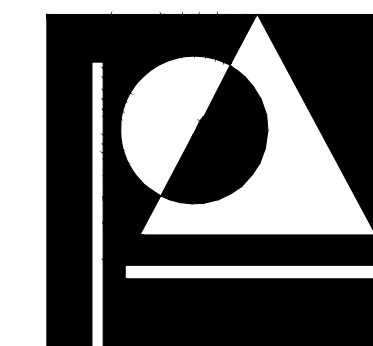


GENERAL NOTES

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- INTERIOR FINISH MATERIALS SHALL COMPLY W/ THE FLAME SPREAD AND SMOKE DEVELOPMENT LIMITATIONS AS FOLLOWS:
EXIT ENCLOSURES & EXIT PASSAGEWAYS CLASS B
CORRIDORS CLASS B
ROOMS & ENCLOSED SPACES CLASS C
- COMPLY W/ IBC / ADAG GUIDELINES FOR MOUNTING HEIGHTS. CONSULT ARCHITECT FOR HES. NOT INDICATED.
- THERE SHALL BE NO COMBUSTIBLE MATERIAL PRESENT IN ANY RETURN AIR PLenums.
- PROVIDE APPROPRIATE FIRE OR SMOKE RATED SAFING, SEALANT, AND / OR DAMPERS AT PENETRATIONS OF ANY NEW OR EXIST. SMOKE OR FIRE RATED PARTITIONS.
- THE TOPS OF WORK SURFACES SHALL BE 28" MIN. & 34" MAX. ABOVE FIN. FLOOR. WKB. STATIONS SHALL COMPLY W/ AISLE WIDTH & ENTRIES SHALL BE 32" MIN. WIDTH CLEAR.
- FACE OF OPENING JAMB ON DOORS SHALL BE 4" FROM ADJACENT WALL ON HINGE SIDE, U.N.O.

KEYED NOTES (NOTE: NOT ALL KEYED ON THIS SHEET)

- ALIGN NEW WALL / PARTITION / FEATURE W/ EXIST. OR NEW WALL / PARTITION OR FEATURE.
- SHIM AS REQ'D. TO ACHIEVE FLUSH-MOUNTED CEILING TRACK.
- RESIDENT BASE (AS SCHEDULED).
- NEW FIXED END POST BY MOBILEX TO MATCH NEW MOBILEX FOLDING SECURITY PARTITION. USE "TYPE 8" MOBILEX FIXED END POST, ANCHORED TO NEW WALL PER MFG'S. INSTRUCTIONS.
- EXIST. EXTERIOR PORCH SLOTT & OTHER EXTERIOR CONSTRUCTION TO REMAIN, TYP.
- FLOOR STOPS FOR FOLDING SECURITY (MOBILEX) PARTITION. SPACING APPROX. 5' O.C. -- REF. PLAN DETAIL.
- NEW, CONTINUOUS BLUE LED STRIP LIGHT MOUNTED IN LOCATION SHOWN. PROVIDE DIMMING SWITCH. VERIFY LOCATION OF SWITCH & TRANSFORMER (IF REQ'D) W/ OWNER / ARCHITECT.
- 25 GA. MTL. STUD DIAGONAL BRACING 16" O.C., TYP.
- 1-1/4" x 14" PLAM FINISHED SHELVE ON KV "MATRIX" WALL SYSTEM HEAVY-DUTY ADJUSTABLE (R2) TO BRACKETS & H-8 (R2) ADJUSTABLE BRACKETS. WHITE MELAMINE SHEET FINISH.
- CLG.-SUPPORTED FOLDING SECURITY CLOSURE BY MOBILEX (MOBILEX.COM) - TEMPERED GLASS MODEL "8" MODULES W/ CONT. ALUM. HINGE, CLEAR ANODIZED #1 METAL FINISH. TOP SHALL BE HUNG FROM CONCEALED, TEMPERED ALUM. ALLOY 6063-T5 TRACK, 1-5/16" WIDE x 1-9/16" HIGH W/ ROLLER CURVE @ 14" RADIIUS. LOCKING TO BE ADA THUMB LATCH FROM WAITING RM. SIDE ONLY. INCLUDE CONTACTS TO RECORD OPERATION & ALSO INCLUDE SPRING-LOADED DROP BOLTS, ACTIVATED FROM INSIDE ONLY THAT ENGAGE DUST-PROOF STAINLESS STEEL FLOOR RECEPTILES.
- POCKET DOOR & FRAME BY MOBILEX (MOBILEX.COM). DOOR TO BE FLOOR-TO-SOFTLIE, ALUM. HINGE, 12 GA. W/ MIN. (3) ST. 4" PIANO HINGES. ALL TO BE FACTORY PRIMED -- FINISH PAINTING TO MATCH ADJACENT WALL COLOR BY G.C. POCKET DOOR TO BE LATCH-CLOSED BUT NOT LOCKED -- NO LOCKSET REQUIRED.
- FRONT-LOADING TM BY BANK'S SECURITY EQUIPMENT OR OTHER VENDOR. PROVIDE FOR LIFT & OR FLOOR PROTECTION TO AVOID DAMAGE TO NEW OR EXIST. MATERIALS DURING INSTALLATION.
- FULL RECESSED (BLACK) SEAL CONTROLS BETWEEN TM HOUSING & SIGN SURROUND / WALL PARTITION BY BANK'S SIGN VENDOR. G.C. TO COORDINATE / SUPERVISE INSTALLATION.
- VINYL WALL GRAPHIC W/ ADHESIVE BACKING (OR PAINTED GRAPHIC) SIGN IN LEO OF TYPICAL FIRST BANK "WONDER WALL" ON THIS PARTITION. PROVIDE "LEVEL 4" DRYWALL FINISH.
- NEW PLAM 1-1/2" COUNTERTOP SUPPORTED ON PTD. MTL. BRACKETS & PTD. 2-1/2" WALL LEDGER SCREWED TO WALL BLOCKING.
- SPECIALTY STEELCASE CIRCULAR MOUNTING BRACKET FOR OWNER-SUPPLIED WALL-MOUNT MICROSOFT SURFACE HUB IS. VERIFY EQUIPMENT CRITERIA W/ FIRST BANK PROJECT MGR.
- RAT-SCREEN, WALL MTD. LCD -- COORD. EQUIP. W/ F.B. PROP. MGR.
- 25 GA. METAL STUD FRAMING @ 16" O.C. TO SUPPORT DOUBLE 3'-4" PLYWOOD FOLDING PARTITION TRACK SUPPORT. ANCHOR STUD FRAMING TO EXIST. BLDG. ROOF STRUCTURE, MIN. WEIGHT CAPACITY OF 3 LBS. PER SQ. FT. OF METAL GRILLE PARTITION.
- 1/4" GLASS IN PTD. HOLLOW METAL WINDOW FRAME, REF. DET. 11-A-3. PARTITION TYPE "C-2" PAINT FRAMES SAME COLOR AS SURROUNDING WALL PARTITION, TYP.
- SECURITY CAMERA -- REF. CEILING PLAN & SECURITY EQUIPMENT SCHEDULE ON SHEET A-2.
- INSULATED GLASS IN PREFIN. ALUM. FRAMED EXIST. STOREFRONT TO REMAIN, TYP.
- FIRE ALARM ANNUNCIATOR -- FIRE PROTECTION IS DESIGN-BUILD BY LICENSED INSTALLERS, TYP.
- WALL-MOUNTED BANK DISCLOSURE SIGN BY BANK'S GRAPHICS / MKTG. PERSONNEL -- NOT IN GENERAL CONTRACT.
- WHITE PAINTED 14 GA. ALUMINUM 3" x 4" BENT SHEET REFLECTOR / VALENCE FOR CONTINUOUS BLUE STRIP LIGHTING, TYP.
- 1/2" PTD. GYP. BD. CEILING / BULKHEAD ON SUSPENDED STL. CHANNEL HANGERS W/ DIAGONAL BRACING AS REQ'D.
- DEE-LEG TOP TRACKS W/ ROOM FOR STUD VIB. EXPANSION, TYP. ANCHORED TO EXIST. UNDERSIDE OF ROOF STRUCTURE.
- PLYWOOD BACKER BOARD FOR BANK SERVER RACK, SECURITY EQUIP., ETC. VERIFY REQUIREMENTS W/ F.B. TECH. MGR., TYP.
- THROUGH-CEILING CABLE SLEEVES FOR LOW VOLTAGE CABLING.
- SECURITY MONITOR (BY SECURITY VENDOR) ATOP SERVER RACK.
- GENETEC ACCESS CONTROL UNIT.
- PARABIT ACCESS CONTROLLER EQUIP.
- ALARM PANEL 4G CONNECTION
- ALARM PANEL -- MAIN ALARM EQUIP. BOX
- ALARM PANEL -- BATTERY
- SEE ELEC. NOTE "113" ON SHEET A-1.



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DATE: 06/17/22
DRAWN BY: TEB
CHECKED BY:
DRAWING NAME:
ELEVATIONS & DETAILS
SHEET NO.:
A-3
VOL. 1 OF 1 SHEET 4 OF 4

First Bank is requesting a Conditional Use Permit at 11947 Olive Boulevard. This request is to provide a temporary location for our Retail bank branch during the construction of our new Corporate Headquarters at 11901 Olive Boulevard (which will be addressed under a separate application). We have signed a lease for two years with Drury and are requesting that the CUP be provided solely for First Bank during that time frame.

First Bank is not making any modifications to the exterior elevations or landscaping. Improvements are solely within the leased space. No exterior ATM island will be constructed. No drive through services of any kind will be constructed or used. The intent is for all regular Retail bank branch services, including ATMs, to be within the interior of the leased premises.

The location will be 3,086 square feet and house a traditional retail bank, with several workspaces, as well as ATM and safety deposit services. It is unlikely that more than four employees will be occupying the space at any given time. Anticipated hours are Monday through Friday from 9:00 am to 5:00 pm, and Saturdays from 9:00 am through 12:00 pm.

Jason Gray

From: Prehm, Mike <Mike.Prehm@Drurydevelopment.com>
Sent: Friday, July 8, 2022 10:38 AM
To: Jason Gray
Cc: Kohl, Mark
Subject: [External] RE: CUP request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jason,

Drury Development Corporation does/will grant permission for First Bank to apply for a Conditional Use Permit in support of its tenancy in Creve Coeur Shopping Center. If you need us to sign the actual application form, please feel free to email it to me and I will sign, scan and return it to you.

The legal description for the shopping center is as follows:

Consolidated Lot "A" of the Subdivision Plat for 11921 Olive Boulevard & 942 Orchard Lakes Drive, according to the plat thereof recorded in Plat Book 367, Page 265-266 of the St. Louis County Records.

Please let me know if you need anything else.

Thank you,

Mike

Michael Prehm
 Director of Real Estate
Drury Development Corporation
 13075 Manchester Road, Suite 200
 St. Louis, MO 63131
 Direct 314.587.2566 - Cell 314.914.3103
 Main 314.423.6698
mike.prehm@drurydevelopment.com

From: Jason Gray <Jason.Gray@fbol.com>
Sent: Friday, July 8, 2022 9:19 AM
To: Prehm, Mike <Mike.Prehm@Drurydevelopment.com>; Kohl, Mark <Mark.Kohl@Drurydevelopment.com>
Subject: CUP request
Importance: High

Gents,

Attachment: Applicant's Materials (First Bank CUP)